



AGENDA

Ardsey Village Board of Trustees

8:00 PM - Monday, March 7, 2022

Meeting Held Via Zoom

BROADCAST LIVE ON VERIZON 32/35 & CABLEVISION 75

The meeting will be conducted virtually with no in-person attendance and in keeping with the Village's goal of protecting public health and in compliance Chapter 1 of the Laws of 2021, as extended by Chapter 1 of the Laws of 2022, permitting virtual participation by Board Members. For virtual participation, interested parties may be heard using Zoom, a web-based videoconferencing service which can be accessed by using the direct link below.

Join Zoom Meeting

<https://us02web.zoom.us/j/87275914721?pwd=ekFRb2w3UTJEdnp1dUpZNDcveW1uUT09>

Meeting ID: 872 7591 4721

Passcode: 415563

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1. PLEDGE OF ALLEGIANCE

Downtown Ardsley Revitalization Implementation Strategy Presentation

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PUBLIC HEARING

Public Hearing to Discuss the Proposed Application to convert the Vacant Commercial Space at 469 Ashford Avenue into a Grocery/Convenience store

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2. APPROVAL OF MINUTES:

35 - 54

2.a February 22, 2022 Regular Meeting Minutes

3. DEPARTMENT REPORTS

3.1. LEGAL

3.1.a Village Attorney, Robert Ponzini

3.2. MANAGER

3.2.a March 7, 2022 Village Manager Report

3.3. TREASURER

55 - 59

3.3.a March 7, 2022 Abstract Report

3.4. BUILDING

No Building Department Report

3.5. FIRE

No Fire Department Report

3.6. POLICE

No Police Department Report

3.7. MAYOR'S ANNOUNCEMENTS

3.8. COMMITTEE & BOARD REPORTS

4. VISITORS

5. OLD BUSINESS:

60 - 65

5.a Consider a Resolution Granting Permission to Convert the Vacant Space Located at 469 Ashford Avenue into a Grocery/Convenience Store

6. NEW BUSINESS:

66 - 140

6.a Consider a Resolution to Award Bid for the Audio Video Production Equipment for the Upgrade of the Cable Control Studio

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6.b Consider a Resolution Authorizing the Execution Of Addendum #3 To Library Services Between The Village Of Ardsley, The Ardsley Library Board and The Village Of Elmsford

144 - 147

6.c Consider a Resolution Declaring Lead Agency and Schedule a Public Hearing for River Rock Music, LLC. 721 Saw Mill River Road

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6.d Consider a Resolution to Approve the Placing of Little League Sponsorship Banners/Signs at McDowell Park Ballfields

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6.e Consider a Resolution Condemning Antisemitism

7. CALL FOR EXECUTIVE SESSION

8. ADJOURNMENT OF MEETING

9. ANNOUNCEMENTS

March 8, 2022 Recreation Commission Meeting
5:00 pm

March 8, 2022 Multicultural, Diversity, & Inclusion
Committee Meeting 7:30 pm

March 9, 2022 Board of Trustees Work Session
7:30 pm

March 14, 2022 Planning Board Meeting 8:00 pm

March 16, 2022 Board of Architectural Review
Meeting

10. NEXT BOARD MEETING:

March 21, 2022

**DOWNTOWN ARDSLEY
REVITALIZATION
IMPLEMENTATION STRATEGY:**

**ACTION PLAN FOR CREATING A
VILLAGE CENTER**

**WORKING DOCUMENT: LAST UPDATED
FEBRUARY 1ST 2022**

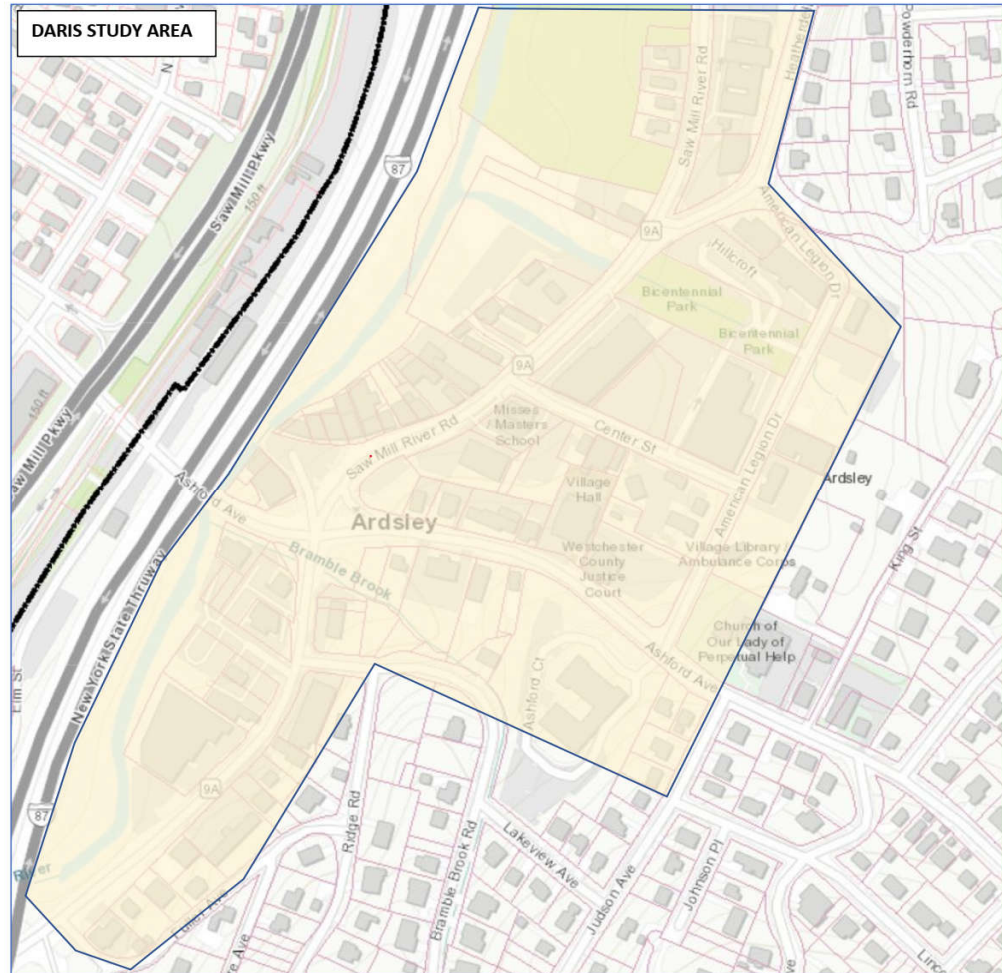


INTRODUCTION

Through the Downtown Ardsley Revitalization Implementation Strategy (“DARIS”), the Village of Ardsley will be well-positioned to create a vibrant, accessible, and economically productive Village center. As shown below in the DARIS Study Area map, the Village’s historic downtown features a fine-grain street network and a concentration of commercial and retail uses. However, residents of the Village have long observed that the current mix of land uses and prevailing infrastructure conditions do not support a walkable mixed-use environment. Public areas such as Addyman Square, the Village Green, and the riverfront underperform as spaces for community gathering.

More specifically, the current lack of housing, sidewalks, landscaping, parking, and urban design standards makes downtown Ardsley a difficult place to access and an undesirable place for gathering. By updating the downtown’s land use and design regulations in tandem with strategic infrastructure improvements in accordance with the recently adopted Comprehensive Plan, the Village can catalyze a new development pattern which will make it easier for residents to reach downtown Ardsley, walk between destinations, patronize local businesses, access natural resources like the Saw Mill River, and better enjoy recreational opportunities such as those at Macey Park. More broadly, a new development pattern will help the Village strengthen its fiscal position while also improving quality of life and environmental quality.

The project team will focus revitalization efforts within the Village’s historic core defined as the area between the Saw Mill River on the west, American Legion Road on the east, the entrance to Macey Park on the north, and the intersection of NYS Route 9A with the Thruway on the south. It is expected, however, that revitalization efforts will be even further spatially concentrated to create a focused hub of commercial activity with seamless transitions to less intense and more residential land uses on its edges.



DOWNTOWN ARDSLEY PAST, PRESENT, AND FUTURE

Originally settled by the Weckquaesgeek members of the Mohican Tribe, the Village of Ardsley came into being in 1883 with the establishment of a post office. With Ashford Avenue and Saw Mill River Road as its main arteries, the intersection of these two roadways came to define the Village’s commercial core with Addyman Square as the heart of the business community. But the introduction of major transportation arteries, the Saw Mill Parkway in the 1930s and New York State Thruway in the 1950s forever transformed Ardsley’s commercial center.

The roadway projects had the effect of creating a hard boundary on the Village’s western side and severing connection to the Saw Mill River. Meanwhile, older historic buildings were demolished while new suburban style shopping plazas came to define the Village’s center. Today, Ardsley’s downtown continues to consist largely of low-density auto-oriented retail strips that are fronted largely by surface parking with only very weak pedestrian infrastructure connecting them to each other. While Addyman Square’s historic buildings remains intact, a grocery store located between Saw Mill River Road and American Legion Road now serves as Downtown Ardsley’s physical and commercial center.

DARIS PLANNING APPROACH

In February 2021, The Village of Ardsley adopted a new Comprehensive Plan. The new comprehensive plan includes policy statements and preliminary actions focused on revitalization of the Village’s downtown. Recognizing the critical importance of Ardsley’s historic center to realizing the Village’s long-term goals, in August 2021, the Village’s Board of Trustees engaged Land Use Law Center and Kevin Dwarka LLC to prepare the Downtown Ardsley Revitalization Implementation Strategy.

OUTLINE OF DOCUMENT

- Section I: Comprehensive Planning Goals
- Section II: Assessment of Downtown Existing Conditions
- Section III: Vision for a New Village Center
- Section IV: Proposed Revitalization Actions



SECTION I: VILLAGE OF ARDSLEY 2021 COMPREHENSIVE PLAN POLICY GOALS

PROVIDE

- 1a. Strive for excellence, efficiency, cost effectiveness, and sound fiscal health in Village government and municipal services
- 1b. Ensure that Ardsley is a healthy place to live and work
- 1c. Provide safe, attractive, accessible and well-maintained parks and recreational facilities to serve residents of all ages and physical abilities
- 1d. Maintain excellent educational experiences
- 1e. Ensure the Village has access to safe, reliable and adequate infrastructure/utility systems

STRENGTHEN

- 2a. Pursue an economic development strategy for the Central Business District that helps to activate underutilized properties and provides the community with enhanced access to desired goods, services and cultural activities
- 2b. Grow the visibility of the Village through branding, marketing, outreach and promotional efforts
- 2c. Promote partnerships and effective communication between community leaders and the business community to support local businesses and facilitate economic development and revitalization
- 2d. Focus on sports, fitness and health as an economic driver

CONNECT

- 3a. Enhance sidewalk conditions, trail access, and pedestrian connectivity to destinations within the Village
- 3b. Expand parking opportunities in the Central Business District
- 3c. Improve traffic conditions and safety throughout the Village
- 3d. Expand mobility options

BUILD

- 4a. Adopt zoning changes, design regulations, and physical improvements that help transform the Central Business District into a walkable mixed-use neighborhood supporting a wide range of retail experiences, an attractive commercial environment, ample space for community activities, and strong connections to the riverfront and surrounding neighborhoods
- 4b. Enhance the public realm to be multifunctional, to accommodate a range of users of varied ages, abilities, and cultures, and to respond to daily, weekly, and seasonal use patterns
- 4c. Preserve and enhance the Village's residential neighborhoods to maintain their stability, value and character
- 4d. Diversify housing opportunities to increase housing availability and affordability and to generate new customers for the Village's businesses
- 4e. Adequately protect historic and cultural resources to preserve Ardsley's unique character, heritage, and identity and to benefit future generations
- 4f. Improve the northern Route 9A shopping centers and encourage new development along their frontage

PROTECT

- 5a. Adopt building and development practices that are environmentally responsible and resource efficient
- 5b. Adopt sustainable municipal practices
- 5c. Plan for resiliency and strengthen the Village's ability to respond to, endure, adapt to, and rebound from catastrophic events
- 5d. Increase public awareness and understanding of natural resources and environmental conservation measures
- 5e. Protect and improve the quality of the Village's surface waters, the Saw Mill River and Sprain Brook, by reducing nutrient loading, toxins, sedimentation and non-point source pollution
- 5f. Protect and conserve the Village's environmental sensitive lands and native habitat areas

SECTION II: ASSESSMENT OF DOWNTOWN ARDSLEY'S EXISTING CONDITIONS

ECONOMIC DEVELOPMENT CONDITIONS

Many small businesses in Ardsley struggle to attract enough customers and remain profitable.

Even before the onset of the Covid 19 pandemic in March 2020, it was difficult for local businesses to overcome the access and circulation barriers to Downtown Ardsley that made it difficult for small independently owned businesses to maintain a steady customer base.



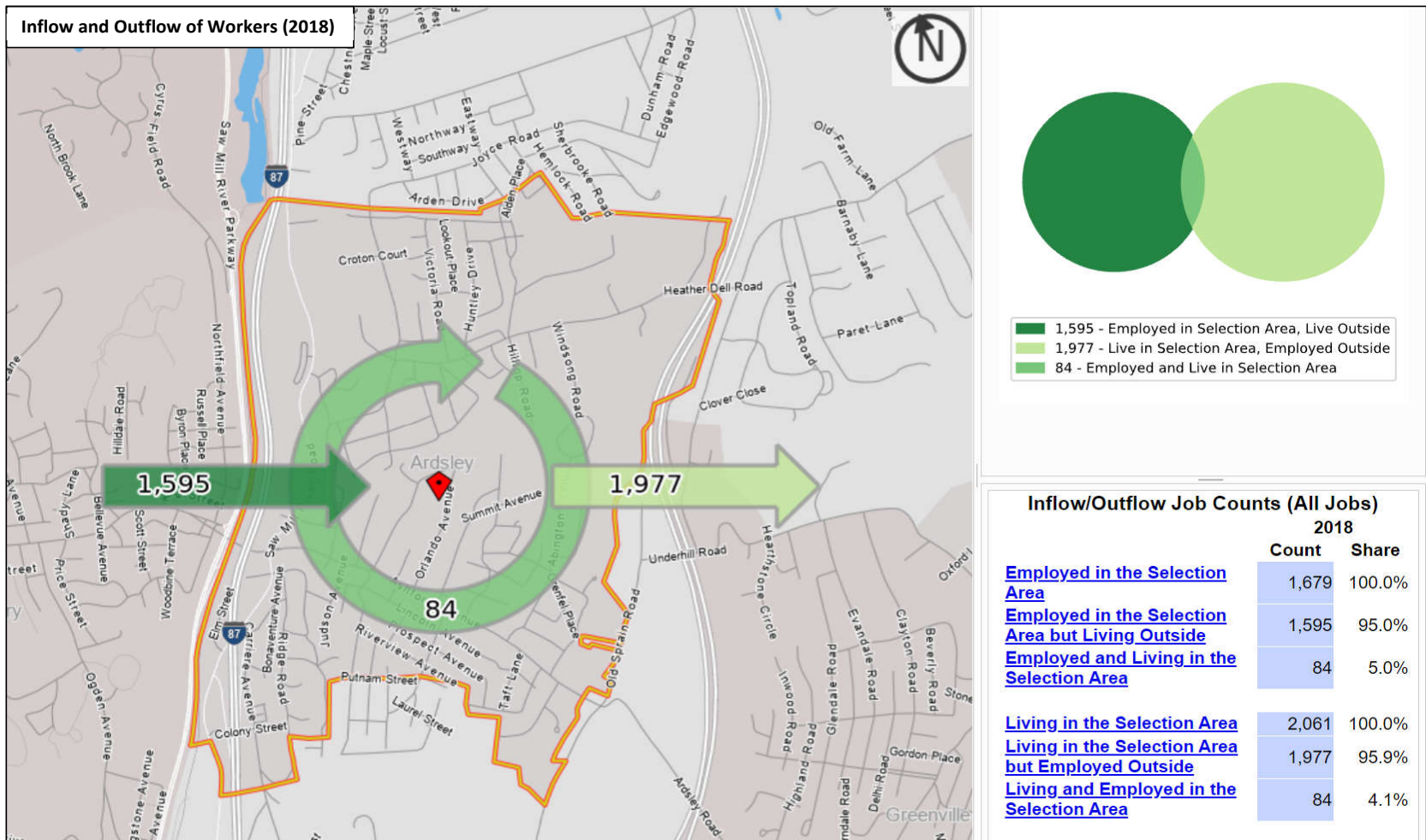
Ardley's Commercial Center provides only limited economic development benefits to the Village of Ardsley.

Designed as a collection of suburban strip malls, the current center lacks the density of buildings and intensity of land uses to create a truly robust economic center. Meanwhile, many of the parcels in Downtown Ardsley are either vacant or underutilized.



Ardley residents have few job opportunities within the Village.

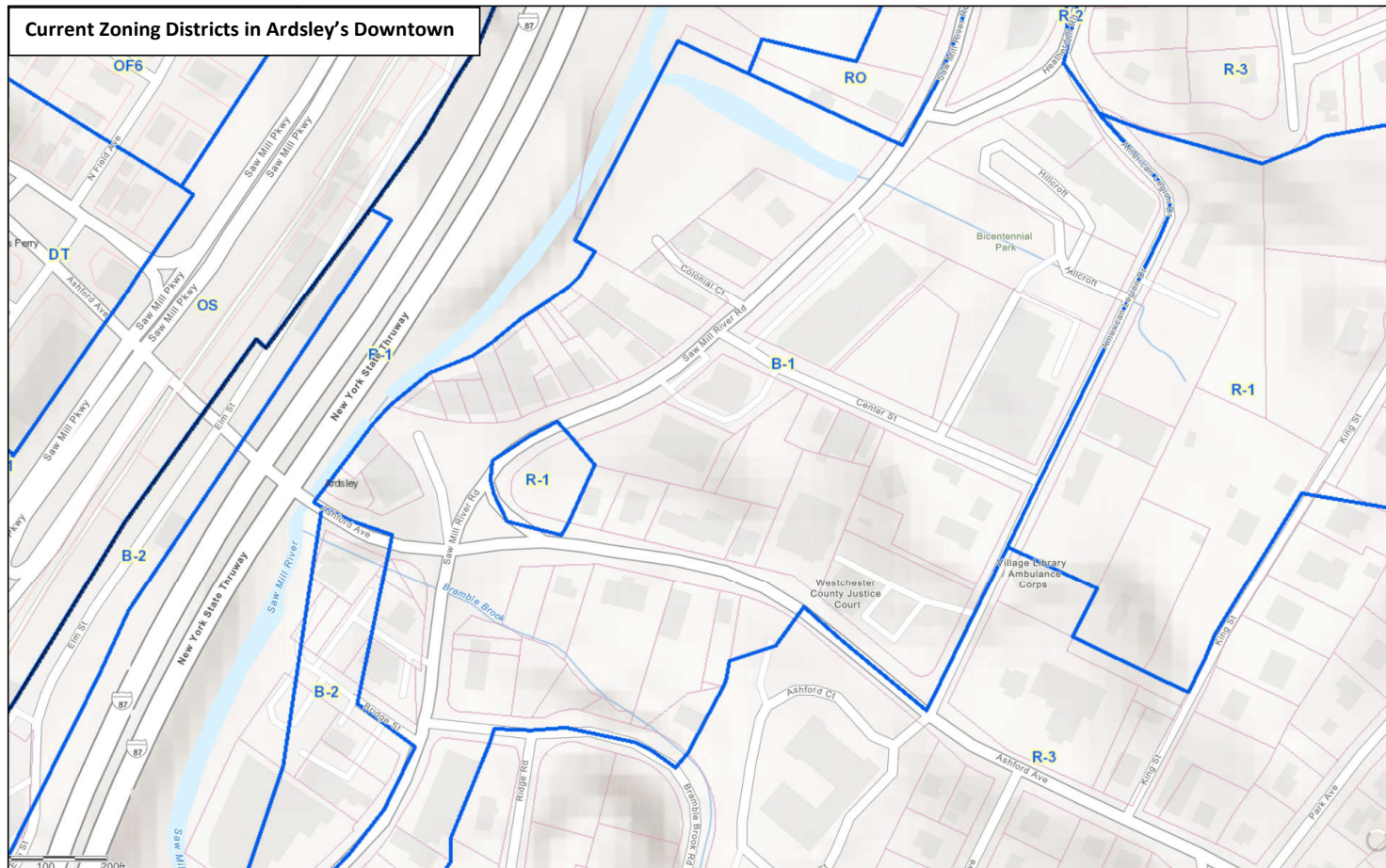
Ardley functions as a bedroom community in which the overwhelming majority of its working residents (95%) hold jobs that are located outside of the Village of Ardley. Meanwhile, almost 1,600 workers are employed within the Village of Ardley but live elsewhere.



LAND USE CONDITIONS

The current zoning does not follow best practices for stimulating a walkable, mixed-use Village Center.

Downtown Ardsley has four zoning codes: B-1, B-2, R-0, and R-1. None of these zoning codes support the kind of land use mix and urban design regulations that would create a walkable urban environment.



Current Zoning Codes within Ardsley Commercial Center

Zoning District	Summary Description of Zoning District	General Types of Uses Permitted	Affordable Housing Requirement	Parking Requirement	Special Provisions (odd quirks, special conditions, special use permit offerings, etc.)
B-1	General Business District	One family dwellings, condominiums on the Ashford Avenue School property, places of worship, public parks, schools, accessory buildings and uses, home occupations, customary noncommercial ag uses, retail stores, personal service shops, banks, undertaking, offices, studios, restaurants, assembly halls, mixed-use with residences above ground floor, bus stations, adult entertainment uses	No less than 10% of residential developments of 10 or more units	<ul style="list-style-type: none"> ▪ 1 per dwelling unit ▪ 1 per three patron seats for places of assemblage ▪ 1 per three seats or every 75 ft² for restaurants ▪ 1 per 150 ft² for retail or services ▪ 1 per 250 ft² for offices ▪ 1 per 200 ft² for clinics ▪ 5 per teller station but not less than 1 per 150 ft² for banks ▪ Village Board determination for all other uses 	<ul style="list-style-type: none"> ▪ Any nonresidential use with over 20,000 ft² of floor area requires special permit ▪ Quick service eating/drinking establishments require special permit ▪ All permitted uses are subject to Village Board approval after public hearing ▪ All uses not listed as permitted uses are prohibited
B-2	Special Business District	All uses not prohibited by law. The code prohibits certain trades, industries and other uses in B-2, including some that are compatible with mixed-use districts like residences, breweries, hotels.		<ul style="list-style-type: none"> ▪ Same as B-1. ▪ 1 per 35 ft² for quick service eating/drinking establishments 	<ul style="list-style-type: none"> ▪ ZBA may grant special permit for certain prohibited uses after public hearing and upon posting of adequate bond ▪ Quick service eating/drinking establishments require special permit
R-0	Resident Office District	One family dwellings, condominiums on the Ashford Avenue School property, places of worship, public parks, schools, accessory uses, home occupations, customary noncommercial ag uses, offices and studios located in existing structure or new structure compatible with district	No less than 10% of residential developments of 10 or more units	<ul style="list-style-type: none"> ▪ 2 per dwelling unit ▪ 1 per four patron seats for places of assemblage ▪ 1 per 250 ft² for offices 	<ul style="list-style-type: none"> ▪ Allows for all uses under R3
R-1	One-Family Residential District	One family dwellings, places of worship, public parks, schools, accessory uses, home occupations, customary noncommercial ag uses	No less than 10% of residential developments of 10 or more units	<ul style="list-style-type: none"> ▪ per dwelling unit ▪ 1 per four patron seats for places of assemblage 	

Dimensional Requirements for Four DARIS Zoning Districts

Zoning District	Use	Min. Lot Area (ft ²)	Min. Lot Width (ft.)	Min Street Frontage (ft.)	Min. Front Yard (ft.)	Min. Side Yard (ft.)	Min. Rear Yard (ft.)	Max. Height (stories)	Max. Height (ft.)	Max. Lot Coverage (%)	Min. Building Area for Principal Building (ft ²)
B-1		5,000 for business buildings			10	Not required but not less than 6 if provided	Not required but not less than 6 if provided	2	30	65%	
B-2		5,000			25	10*	25	3	45		
R-O	P	7,500		60	20	15	20	30** excluding places of worship	2 excluding places of worship	28%	800 for 1-story 600 for 2-story
	A				20	15	15	20	2		
R-1	P	40,000	150	100	40	30	40	30** excluding places of worship	2 excluding places of worship	12%	1,000 for 1-story 800 for 2-story
	A				40	30	40	20	2		

*Lots bordering a residential district shall have a side yard width not less than the minimum width required in the residential district.

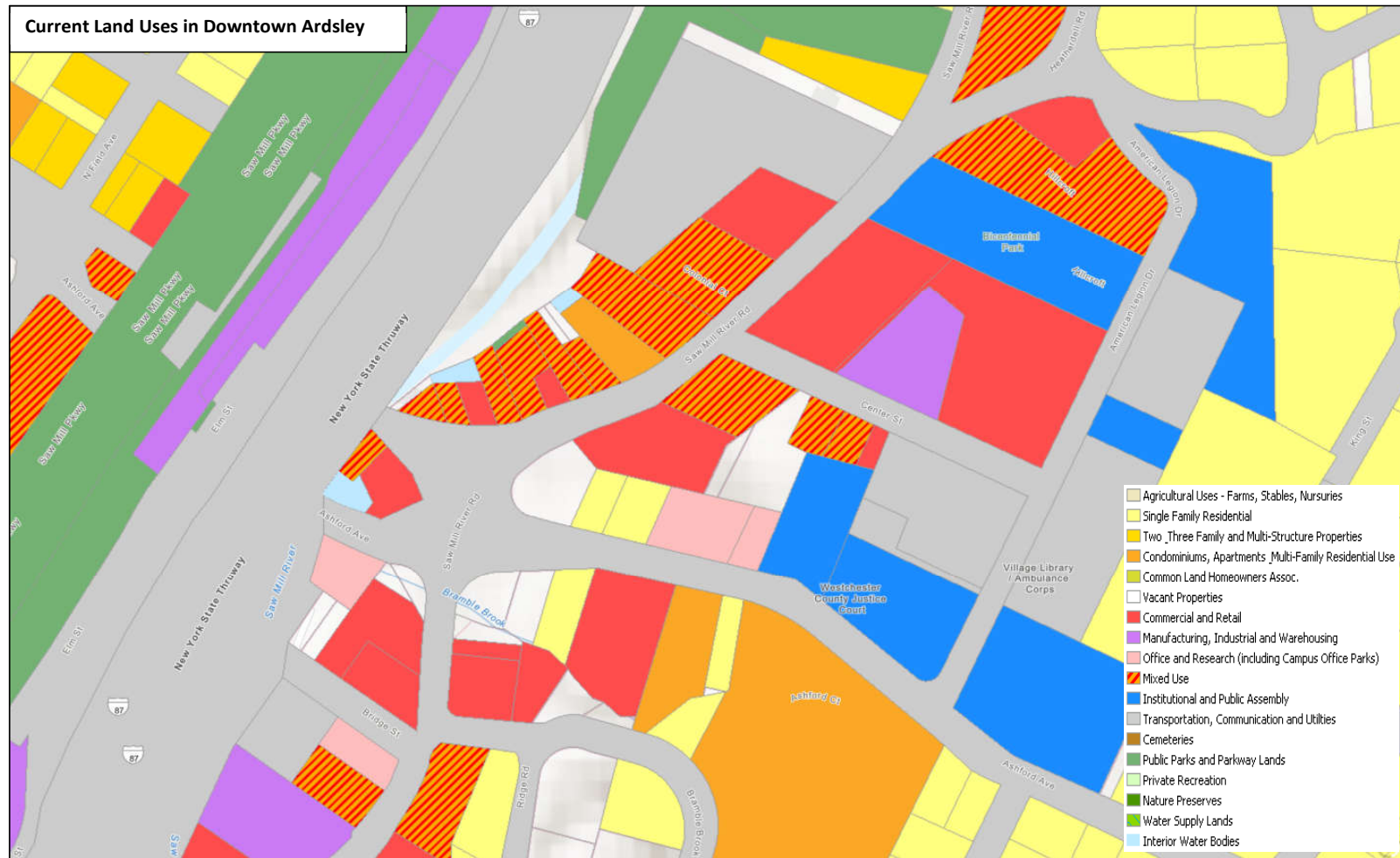
** In the case of any building or structure with a low-slope roof, the maximum height shall be 24 feet. The maximum vertical distance between the highest point of the roof of any building with a pitched roof shall not exceed 38 feet, and with a low-slope roof shall not exceed 32 feet, above the average grade along the base of any exterior wall of such building.

Critical Assessment of Zoning Districts in Downtown Ardsley

Zoning Code	Summary Description of Zoning Code	Ways in Which the Code Supports the Comprehensive Plan	Ways in Which the Code Contradicts the Comprehensive Plan	Changes that would be required to align the current zoning code with the Comprehensive Plan
B-1	General Business District	Provides a variety of commercial and retail uses that supports the creation of a downtown district	No language to support multifamily residential No language supporting design of buildings	<ul style="list-style-type: none"> • Allow for and specify retail, service and civic uses that Ardsley wants to encourage. • Allow a wide range of multifamily residences. • Consider requiring all development projects to include a residential component. • Allow renewable energy systems, ADUs, produce gardens, greenhouses and related facilities as accessory or special uses as appropriate. • Allow child/adult care centers, adult education centers and vocational schools as special uses. • Remove the prohibition of “all other uses” and consider adding “other compatible commercial uses subject to Planning Board approval.” • Remove special use requirements for condos. • Allow for 3 to 4 stories. • Remove minimum lot area requirements. • Remove front yard setback and remove or reduce other minimum yard requirements. • Eliminate minimum lot coverage requirement. • Allow further reductions in off-street parking requirements. • Add sustainable landscaping requirements. • Add design standards to enhance the pedestrian realm.
B-2	Special Business District	Provides a variety of commercial and retail uses that supports the creation of a downtown district	No language to support multifamily residential No language supporting design of buildings	<ul style="list-style-type: none"> • Include those uses currently allowed in and recommended for the B-1 district. • Allow residential uses and other currently prohibited uses that are compatible with a downtown district. • Allow for 4 stories. • Remove minimum lot area requirement. • Remove front yard setback and remove or reduce other minimum yard requirements where residential/nonresidential uses are compatible. • Eliminate minimum lot coverage requirement. • Allow further reductions in off-street parking requirements. • Add sustainable landscaping requirements. • Add design standards to enhance the pedestrian realm.
R-0	Resident Office District			<ul style="list-style-type: none"> • Allow multifamily residences. • Remove RO designation in study area and replace with B-1 or B-2.
R-1	One-Family Residential District			<ul style="list-style-type: none"> • Allow for mixed uses and multifamily residences. • Consider removing R1 designation in study area and replacing with B-1 or B-2.

Ardsey's downtown lacks a truly integrated mix of retail, commercial, and residential uses.

The land use map below suggests that Downtown Ardsey is supported by a wide mix of land uses. However, the commercial center actually consists of several retail strip malls that are wholly disconnected from each other, detached from civic buildings, largely devoid of open and green space, and providing only a small number of housing units.



Many of the properties in Downtown Ardsley, including ones owned by the Village, are underutilized or vacant.

As noted above, many properties in Ardsley are vacant or underutilized. These underutilized properties reduce the level of activity within the Village. Create map of underutilized properties.

Address	Current Owner	Historic and Current Land Use	Current Zoning	Current Redevelopment Status
500 Ashford Avenue	Ponder Properties LLC	Formerly used as Chase Bank	B-1	On market
486 Ashford Avenue	Boyajian Trust	Single Family Home	B-1	N/A
Northeastern corner of Saw Mill River Road and Ashford Avenue intersection (no address)	Village of Ardsley	Parking lot (11 spaces), parklet, bus stop, green infrastructure mechanism	R-1	The parking lot has been utilized less as a result of COVID-19 pandemic and vacancies in Addyman Square. The Village is not actively considering the site for disposition or redevelopment but might do so if a structured parking facility could be created as well as resolution of the site constraints including a high slope necessitating a retaining wall.
Southeastern corner of Saw Mill River Road and Ashford Avenue	Village of Ardsley	Converted into a park; Bramble Brook runs through the site	B-1	The Village did not formally designate the site as parkland. Some consideration has been given to the Village's potential acquisition of the single-family home at 486 Ashford Avenue as a means of facilitating redevelopment of a larger site.
657 Saw Mill River Road	Thorpe-McCarthy Family	Formerly used as the Getty Gas Station;	B-1	Property is leased to Thornwood Four Corners LLC, which has been undertaking remediation of the site and expects to open a new gas station, 1800sf convenience store, and 20 parking spaces at the site.
Bridge Street Lot	Village of Ardsley	Parking spaces	B-2	The Village of Ardsley explored the possibility of converting the Bridge Street lot into a landscaped green area that would allow for passive recreation activities and picnicking along the eastern bank of the Saw Mill River.
Addyman Square Properties				
468—472 Ashford Avenue:	1007-11 Yonkers Avenue LLC	Formerly tenanted by a deli that mostly did takeout but space has been empty for many years; Fiesta Mexico has been there many years; McGreevey's is a bar that replaced the Old Village tavern.	B-1	N/A
466 Ashford Avenue:	Day Moon LLC (Owned by Doctor)	Former uses include greenhouse, Thai restaurant, and nail salon; currently vacant; application filed for a nail salon.	B-1	N/A
463-471 Ashford Avenue:	Asma Realty Corp	Former tenants included hair salon and cleaners. Currently tenanted by Calcutta's Wrap and Roll.	B-1	N/A
473-475 Ashford Avenue (McCartney Building)	Ganesh Real Estate Venture	Formerly housed Bella's, Cutting Edge Salon	B-1	N/A
477-479 Ashford Avenue:	MCVR, LLC (Owned by McCartney Insurance Agency)	MVR Insurance Agency	B-1	N/A
686 Saw Mill Road	686 Saw Mill Ardsley LLC	Tribeca Pediatrics	B-1	N/A
690 Saw Mill Road	RSA Corp		B-1	N/A

Address	Current Owner	Historic and Current Land Use	Current Zoning	Current Redevelopment Status
701 Saw Mill Road	Butta Enterprises	The site was formerly used as a gas station and then subsequently repurposed as a firehouse. Around 2008, the Village explored acquiring the property along with other properties along Ashford Avenue to create a mixed-use development that would include a structured parking garage. The plan did not materialize due to concerns about eminent domain as well as contamination on the site from an oil spill.	B-1	Encouraged by the comprehensive plan, the new owners of 701 Saw Mill Road are seeking to redevelop the site as a mixed-use development.
718 Saw Mill Road	Ardley Village Green LLC (Same owner as DeCicco & Sons site)		B-1	N/A
730 Saw Mill Road	Thorpe-McCartney Family		B-1	Former Starbucks property available for lease
717-725 Saw Mill River Road	Ardley Associates	Strip Mall	B-1	
15 Center Street A	15-35 Center Street LLC	DeCicco & Sons Parking Structure	B-1	Property surrounding DeCicco & Sons includes Pizzeria, Nail salon, Trustco bank. The same family owns the grocery store site, the parking structure and the Village Green but each has a separate corporate name and ownership. The properties are all managed by the family's son Maurice Hyacinth under "HMH Management."
15 Center Street B	15-35 Center Street LLC	DeCicco & Sons Parking Structure + Grocery Store	B-1	No redevelopment plan currently under consideration by owner.
Community Center on Center Street	Village of Ardsley	Village of Ardsley Community Center	B-1	Village has attempted to make small-scale improvements to Center.

PUBLIC REALM CHALLENGES

Ardsey Lacks a Defined Cultural Center

Downtown Ardsley does not have a defined public commons where residents can come to gather. The closest that the Village has to a “center” would be the DiCicco’s and Son’s Grocery Store. Though it once served as the community’s business core, Addyman Square has several commercial vacancies, and its interior consists of unattractive surface parking spaces. Meanwhile, the western edge of Addyman Square borders the Saw Mill River Flood Control Project. This edge also includes the remnants of a former overpass that falls within the jurisdiction of the Village of Ardsley.



Downtown Ardsley is not aesthetically appealing.

Downtown Ardsley is characterized by physically unattractive uses including gas stations, old poorly maintained buildings, parking scape in front of retail strip malls, and a dearth of natural vegetation and street trees within the right of way.



Parks are uninviting spaces with few amenities.

Within the Study Area there are several parks including Bicentennial Park, Village Green, and the two pocket parks on the eastern side of Saw Mill River Road, just north and just south of its intersection of with Ashford Avenue. None of these parks provide inviting places for either passive or active recreation.



CIRCULATION & ACCESS CHALLENGES

Pedestrian access from Downtown Ardsley to surrounding neighborhoods is hampered by poor sidewalk conditions and high traffic volumes.

Ardsley's main thoroughfares along Ashford Avenue, Heatherdell Road, and Route 9 are busy high-traffic roads that are difficult for pedestrians and cyclists to navigate and cross. The problematic intersection at Addyman Square, in particular, creates a physical barrier to the Central Business District, and Route 9A bisects the Central Business District, representing a perceptual impediment to pedestrian circulation and connectivity.

Steep topography, a lack of public parking, and limited transit access also contribute to connectivity and accessibility challenges.

In 2014, New York State Department of Transportation completed a redesign of Saw Mill River Road (Route 9A) to enhance the flow of vehicular traffic through the creation of turning lanes. However, the redesign did not include consideration for pedestrian movements. Key issues along Saw Mill Road 9A include narrow sidewalks and hazardous pedestrian crossings.

Reaching Downtown Ardsley on foot from the surrounding neighborhoods is difficult because of high traffic volumes, the absence of sidewalks on certain road segments, and the narrowness of sidewalks along

Saw Mill River Road and Ashford Avenue. The Village is in the process of upgrading the sidewalks on both sides of Heatherdell Road from 9A to American Legion Drive. The upgrade includes replacing the black top pedestrian pathways with poured concrete.



The Intersection between Ashford Avenue and Saw Mill River Road is Difficult to Navigate.

DARIS WORKING DOCUMENT (LAST UPDATED FEBRUARY 1st, 2022)

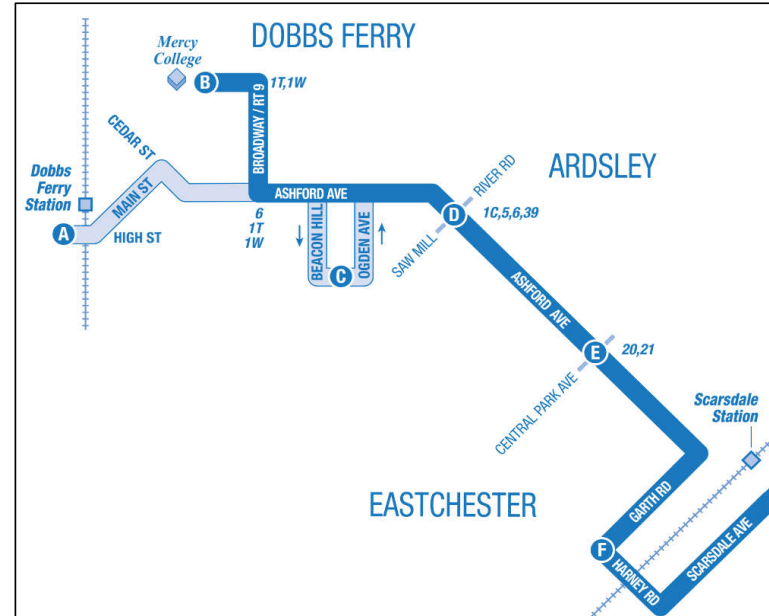
LAND USE LAW CENTER AND KEVIN DWARKA LLC | 18

The current geometry includes a right turn slip lane that enables westbound traffic to proceed northward along Route 9A without entering into the intersection. This slip lane further impedes walkability around the intersection by introducing a median (or “pork chop”) into the eastern crosswalk that makes it harder for pedestrians to experience a safe, seamless, and continuous crossing to the south side of the intersection. The intersection also does not provide simple or pleasant pedestrian connections to the western side of Route 9A. The steep slope of the Ashford Bridge discourages pedestrian access either across it or through it toward Dobbs Ferry. The broader effect of the intersection’s design, including its complex system of channelization and weak pedestrian infrastructure, is to essentially divide the Village’s gateway into four discrete quadrants with little connection between them.



Transit Access between Downtown and Metro North Rail is Limited.

Bus Service is infrequent and limited to a few routes (1C, 5, 6, 39, 65, and 66). These routes provide only very limited and slow connections to Dobbs Ferry, Scarsdale, and Hartsdale from Downtown Ardsley with a primary stop located at Addyman Square.



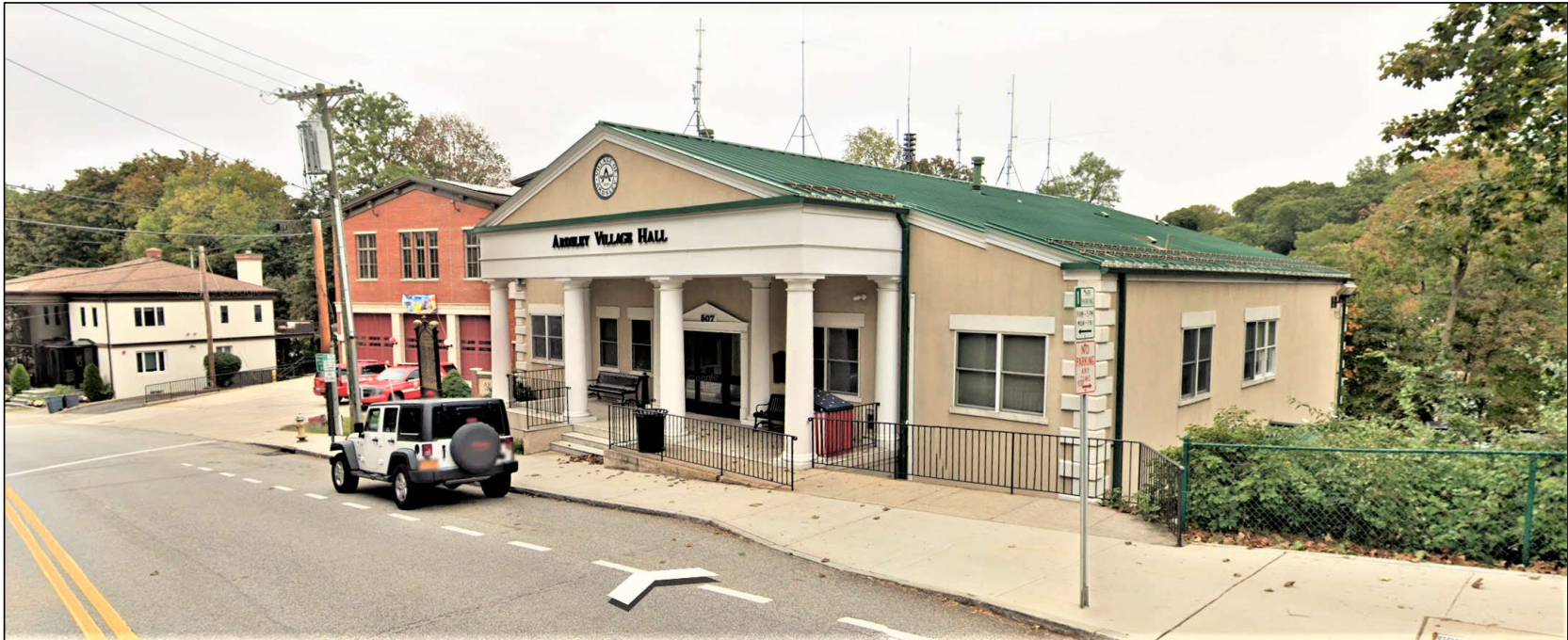
Parks are Difficult to Access.

Nowhere in the downtown is there easy access from Saw Mill River Road to the eastern bank of the Saw Mill River. Just north of Saw Mill River Road's intersection with Heatherdell Road is a pedestrian pathway leading to Macey Park. This pathway is not only poorly marked but also lacks connection to a continuous bi-directional sidewalk along the western side of Saw Mill River Road.



Civic Areas are Difficult to Access.

The north side of Ashford Avenue is lined by three governmental buildings including Westchester County Justice Court, Village Hall, and the Ardsley Fire Department. Access to Village Hall is impeded by the grade separation between the front façade of the building and the parking in the rear lot, the absence of access to the Village Hall parking lot from Ashford Avenue, the narrowness of the sidewalks along Ashford Avenue, and the uphill slope of Ashford Avenue. Also, there is no access between Village Hall and Center Street. All these civic uses are disconnected from each other.



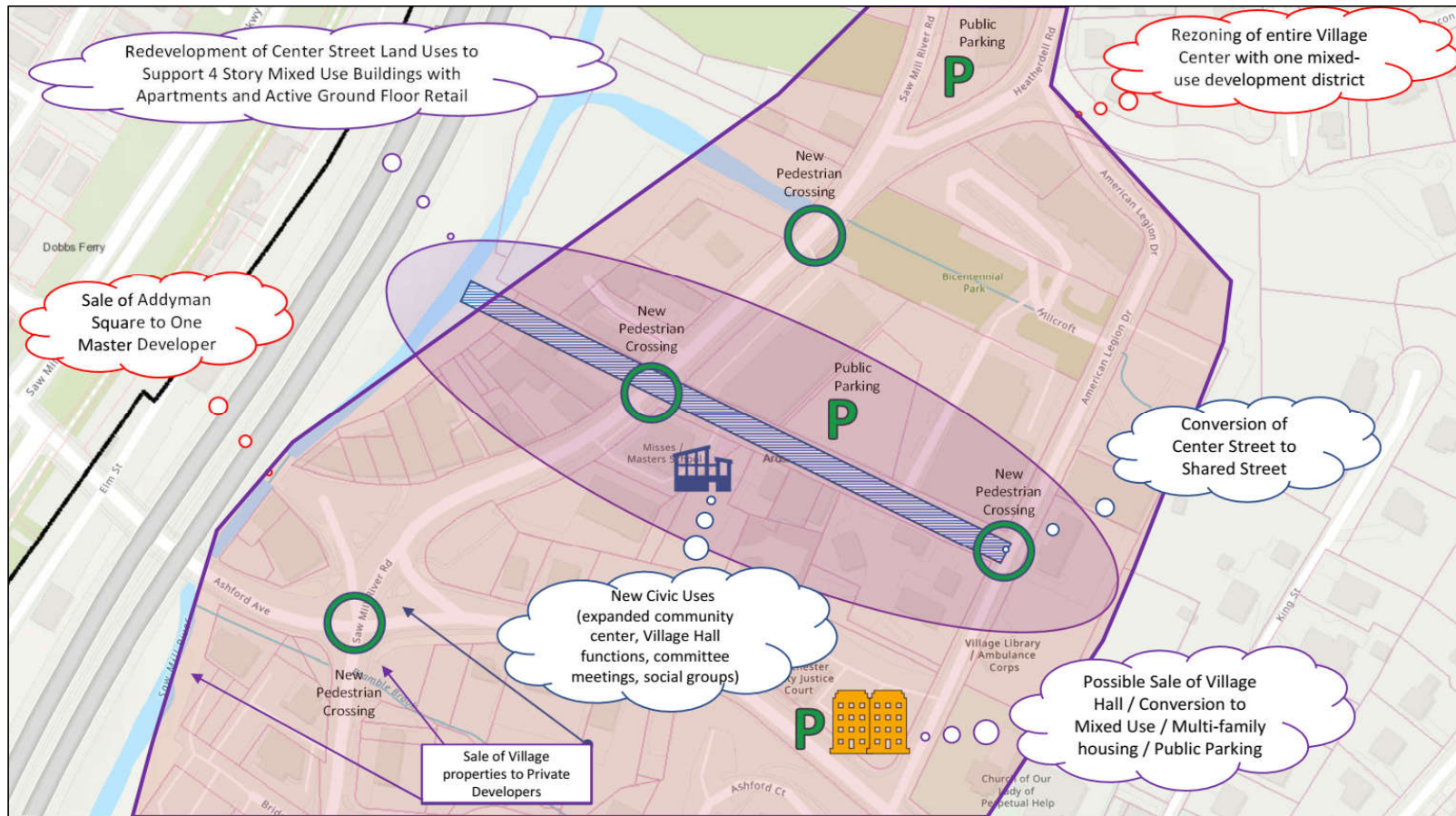
Downtown parking spaces are limited, scattered across multiple disconnected shopping plaza, and difficult to secure during peak periods while level of availability is not tracked at any lot.

Ardsey has not performed a parking utilization study. As such, it is not known what the day, time, or extent of parking availability is either pre-pandemic or during the present. Google Earth indicates that parking lots can reach close to capacity. Anecdotal evidence suggests that lots do reach capacity, thereby raising demand for the spaces in the Village owned lot across from Addyman Square. Several years ago, the Village engaged AKRF to assess the feasibility of building a parking garage behind the Village Green Shopping Plaza and above the flood control project. The absence of pedestrian infrastructure increases the need or desire of visitors to park directly in front of their destination rather than walk a bit to their destination.



SECTION III: VISION FOR A NEW VILLAGE CENTER

Ardsey's scattered collection of suburban style strip malls will be transformed into a walkable mixed-use environment. The Village Center will be located along a revitalized Center Street that would be anchored by a new Civic Center Building that could include an expanded community center and public Village Hall functions. Center Street would be redesigned as a "Shared Street" in which pedestrian movements, landscaping, and public amenities alongside active ground floor uses would finally give Ardsey residents a Main Street. Funding the creation of this new Village Center could be done through the sale of Village-owned properties to developers who would be able to build new mixed-use development including multi-family housing as-of-right throughout the Village Center.



SECTION IV: PROPOSED ACTIONS FOR BUILDING A NEW VILLAGE CENTER

The tables below present proposed actions aimed at achieving the vision for a new Village Center presented in Section II. Actions are assigned to three phases of implementation (Phase I: Complete Within One Year; Phase II: Completed within Three Years; Phase III: Requires more than Three Years).

LAND USE ACTIONS

Action ID	Action	Comprehensive Plan Policy Goals Addressed	Responsible Implementation Parties	Implementation Steps	Priority Phase (I, II, III)
LU1	<p>Appoint a junior urban planner with expertise in the following areas:</p> <ul style="list-style-type: none"> Land use and zoning guidance Economic development Downtown improvement Business community outreach Grant Writing 	<p>2a. Pursue an economic development strategy for the Central Business District that helps to activate underutilized properties and provides the community with enhanced access to desired goods, services and cultural activities</p>	<ul style="list-style-type: none"> Village Manager 	<ol style="list-style-type: none"> Secure allocation of funding within Village budget for the appointment of a new full-time or part-time staff person. Draft job description for Junior Urban Planner Distribute job description through American Planning Association, urban planning school alumni networks, and 	Phase I
LU2	<p>Rezone Ardsley's Village Center with one single Village Center (VC) Zoning Code. The new zoning code would feature the following elements:</p> <ul style="list-style-type: none"> Inclusion of mixed uses throughout the Village Center including multi-family housing, retail, commercial office, civic space, and green space Allowance for industrial uses through a special permit provision aimed at encouraging industrial uses south of Ashford Avenue. Allowance for land use development within the flood plain provided that new development complies with FEMA Base Flood Elevation standards and best practices in flood management. Allowances for 4 story buildings as of right with ground floor retail required for all multi-family buildings. Removal of requirements for minimum lot area, minimum yard, side setbacks. 	<p>4a. Adopt zoning changes, design regulations, and physical improvements that help transform the Central Business District into a walkable mixed-use neighborhood supporting a wide range of retail experiences, an attractive commercial environment, ample space for community activities, and strong connections to the riverfront and surrounding neighborhoods</p> <p>4d. Diversify housing opportunities to increase housing availability and affordability and to generate new customers for the Village's businesses</p> <p>5a. Adopt building and development practices that are environmentally responsible and resource efficient</p>	<ul style="list-style-type: none"> Village Board of Trustees Land Use Consultant SEQRA Consultant 	<ol style="list-style-type: none"> Establish consensus amongst Board of Trustees for the creation of a new Village Center Zoning Code Contemplate interim changes including the issuance of variances or minor zoning textual changes. Engage a land use consultant to draft the new zoning code Engage a SEQRA consultant to prepare the GEIS required for the adoption of the new zoning code and preparation of mitigations. Adopt the new Village Center zoning code. 	Phase I

Action ID	Action	Comprehensive Plan Policy Goals Addressed	Responsible Implementation Parties	Implementation Steps	Priority Phase (I, II, III)
	<ul style="list-style-type: none"> ▪ Requirement for all new development to be built directly at the front lot line with zero front setback. ▪ Inclusionary housing requirements mandating a minimum of 15% affordable housing units at 60% - 80% AMI ▪ Reduction of parking requirements for new housing and require that new parking be built below or behind the housing but in front of the building. ▪ Introduction of a height bonus (allowing for 5 stories) if building provides: more affordable housing, green building elements, public space amenities, or green infrastructure elements. ▪ Preparation of a fast-tracked approach to development approval that eliminates further site plan review and environmental review so long as the development concept does not deviate from the new zoning code or the build out assumptions in the GEIS. 				
LU3	<p>Redevelop the land uses along Center Street between the Saw Mill River and American Legion Road with ground floor community and cultural spaces including a new Civic Center Building, ground floor restaurants and cafes, and local retail stores. Key opportunity sites include:</p> <ul style="list-style-type: none"> ▪ 718 Saw Mill Road (Ardsley Village Green) ▪ 715 Saw Mill River Road (Evergreen Cleaners) ▪ 717-725 Saw Mill River Road (CVS Shopping Plaza) ▪ Center Street Parking Lot (on south side of Center Street between 715 Saw Mill River Road and 12 Center Street) ▪ 12 Center Street (Center Street Barbers) ▪ 18 Center Street (Village Community Center) ▪ 20 Center Street (Charles Strick Dentistry) ▪ 15 Center Street (retail complex including the DeCicco grocery store) 	<p>4a. Adopt zoning changes, design regulations, and physical improvements that help transform the Central Business District into a walkable mixed-use neighborhood supporting a wide range of retail experiences, an attractive commercial environment, ample space for community activities, and strong connections to the riverfront and surrounding neighborhoods</p>	<ul style="list-style-type: none"> ▪ Development and Design Consultant 	<ol style="list-style-type: none"> 1) Undertake a feasibility study for converting the Ardsley Community Center into a new Civic Center Building. 2) Explore the possibility of the Village acquiring 12 Center Street and 20 Center Street and redeveloping both sites as part of a new Civic Center building. 3) Provide zoning guidance and redevelopment assistance to all property owners within the Center Street corridor 4) Contact Suez Water to determine their long-term plans for 22 Center Street. 	Phase II

ECONOMIC DEVELOPMENT ACTIONS

Action ID	Action	Comprehensive Plan Policy Goals Addressed	Responsible Implementation Parties	Implementation Steps	Priority Phase (I, II, III)
ED2	Engage a marketing and design consultant to create a new branding strategy for the Village Center that will include the following elements: <ul style="list-style-type: none"> ▪ Messaging Platform ▪ Promotional Materials (maps, brochure, website) ▪ Event Planning Recommendations ▪ Urban Design Enhancements (signage, benches, landscaping elements) 	2b. Grow the visibility of the Village through branding, marketing, outreach and promotional efforts	<ul style="list-style-type: none"> ▪ Village Planner 	<ol style="list-style-type: none"> 1) Survey business owners on the types of support they would most like to receive from a Village Center marketing and design program. 2) Issue an RFP for a marketing and design 	Phase II
ED3	Create a Village Center Business Association to facilitate greater networking between merchant owners and foster greater cooperation on core issues including: <ul style="list-style-type: none"> ▪ Joint marketing campaigns ▪ Shared parking arrangements ▪ Building code compliance ▪ Infrastructure planning ▪ Labor recruitment and management ▪ Participation with the Rivertown Chamber of Commerce ▪ Contemplation of a Village Center Business Improvement District as formed in other Westchester communities including White Plains, Yonkers, and Peekskill. 	2c. Promote partnerships and effective communication between community leaders and the business community to support local businesses and facilitate economic development and revitalization	<ul style="list-style-type: none"> ▪ Village Planner 	<ol style="list-style-type: none"> 1) Identify a small group of business owners willing to help organize the business community 2) Organize a merchants association kickoff meeting 3) Create shared communication portal (ie. Whats App group) where business owners can exchange information. 4) Consider creating a CBD Business Improvement District (BID) funded through a special assessment on CBD properties that generates funds for reinvestment into CBD improvements and services. 	Phase II
ED4	Help promote the occupancy and redevelopment of underutilized privately owned development sites including: <ul style="list-style-type: none"> ▪ Addyman Square ▪ 500 Ashford Avenue 	2a. Pursue an economic development strategy for the Central Business District that helps to activate underutilized properties and provides the community with enhanced access to desired goods, services and cultural activities 4e. Adequately protect historic and cultural resources to preserve Ardsley's unique character, heritage, and identity and to benefit future generations	<ul style="list-style-type: none"> ▪ Village Planner 	<ol style="list-style-type: none"> 1) Provide zoning guidance, redevelopment assistance, and marketing support for landowners 2) Facilitate land assembly for Addyman Square through active engagement of owners and assistance on securing funding for historic preservation. 	Phase II
ED5	Sell Village owner properties to developers committed to realizing the objectives presented in the New Village Center Zoning Code. These properties include: <ul style="list-style-type: none"> ▪ Village Hall site 	2a. Pursue an economic development strategy for the Central Business District that helps to activate underutilized properties and	<ul style="list-style-type: none"> ▪ Village Planner ▪ Development & Design Consultant 	<ol style="list-style-type: none"> 1) As part of the feasibility study for converting the Ardsley Community Center into a new Civic Center Building, assess the 	Phase II

Action ID	Action	Comprehensive Plan Policy Goals Addressed	Responsible Implementation Parties	Implementation Steps	Priority Phase (I, II, III)
	<ul style="list-style-type: none"> ▪ Bridge Street Parking Lot ▪ Saw Mill / Ashford: Northeastern Corner Saw Mill / Ashford: Southwestern Corner 	provides the community with enhanced access to desired goods, services and cultural activities	<ul style="list-style-type: none"> ▪ Assessor ▪ 	<p>value of the Village owned properties under the new zoning code</p> <p>2) Draft and Release Request for Proposals from Developer</p> <p>3) Use the sale proceeds (or lease revenue) from the properties to fund the construction of the new Civic Center Building.</p>	

CIRCULATION & ACCESS ACTIONS

Action ID	Action	Comprehensive Plan Policy Goals Addressed	Responsible Implementation Parties	Implementation Steps	Priority Phase (I, II, III)
CA1	Design and Implement pedestrian crossing improvements (raised crosswalks, pedestrian refuges, and signal changes) at four intersections: <ul style="list-style-type: none"> Ashford Avenue & Saw Mill River Road Saw Mill River Road & Center Street Saw Mill River Road & Heatherdell Road Center Street & American Legion Road 	3a. Enhance sidewalk conditions, trail access, and pedestrian connectivity to destinations within the Village 3c. Improve traffic conditions and safety throughout the Village	<ul style="list-style-type: none"> Ardsley Department of Public Works Traffic Engineering Consultant Junior Planner NYSDOT 	<ol style="list-style-type: none"> Contact NYSDOT to determine receptiveness to changes along Saw Mill Road that would enhance pedestrian safety and movements. Engage traffic engineer to redesign the 4 designated intersections 	Phase III
CA2	Partner with a developer to develop a public parking garage as part of a multi-family housing development on three candidate sites: <ul style="list-style-type: none"> Village Hall 15 Center Street 800 Saw Mill River Road 	3b. Expand parking opportunities in the Central Business District	<ul style="list-style-type: none"> Junior Planner Development & Design Consultant Traffic Engineering Consultant 	<ol style="list-style-type: none"> As part of the feasibility study for converting the Ardsley Community Center into a new Civic Center Building, determine options for below-ground and structured parking as part of the site. Provide zoning and redevelopment guidance to owners of 15 Center Street and 800 Saw Mill River Road 	Phase III
CA3	Build continuous bi-directional sidewalks along Saw Mill River Road between the Village Center and the Northern Shopping Plaza, providing multiple points of pedestrian access into Macey Park and to the banks of the Saw Mill River Road	1c. Provide safe, attractive, accessible and well-maintained parks and recreational facilities to serve residents of all ages and physical abilities 3a. Enhance sidewalk conditions, trail access, and pedestrian connectivity to destinations within the Village	<ul style="list-style-type: none"> Ardsley Department of Public Works Village Planner NYSDOT Westchester County 	<ol style="list-style-type: none"> Convene a meeting between Village of Ardsley, NYSDOT, and Westchester County Contact property owners on both sides of Saw Mill River Road to determine receptiveness to easements that would enhance pedestrian access to their properties Engage a Traffic Engineer to plan bi-directional sidewalk plan for Saw Mill River Road from Village Center to Northern Shopping Plaza. 	Phase III
CA4	Work with Westchester County DOT and Bee-Line to update and refine bus stop locations and facilities	3d. Expand mobility options	<ul style="list-style-type: none"> Village Planner 	<ol style="list-style-type: none"> Assess viability of creating a new "Ardsley Center" stop at intersection of Saw Mill River Road and Centre Street to help define the intersection as the new center of the Village. 	Phase III

PUBLIC REALM ACTIONS

Action ID	Action	Comprehensive Plan Policy Goals Addressed	Responsible Implementation Parties	Implementation Steps	Priority Phase (I, II, III)
PR1	<p>Build a Community Center within a new Civic Center Building that serves multiple community uses including:</p> <ul style="list-style-type: none"> ▪ Village Hall public functions ▪ Art exhibitions ▪ Performances ▪ Social gatherings ▪ Place of Worship ▪ Meeting space for Community organization ▪ Work Space ▪ Private event rental space ▪ Fitness classes 	<p>4b. Enhance the public realm to be multifunctional, to accommodate a range of users of varied ages, abilities, and cultures, and to respond to daily, weekly, and seasonal use patterns</p>	<ul style="list-style-type: none"> ▪ Village Planner ▪ Design & Development Consultant 	<p>1) Engage a design and development consultant to determine the feasibility of building a new Civic Center Building that would serve as an anchor for a new “Main Street” on Center Street and serve as a possible location for Village Hall functions open to the public.</p>	Phase II
PR2	<p>Convert Center Street into a Shared Street with extensive pedestrian and gathering amenities including:</p> <ul style="list-style-type: none"> ▪ Pedestrian right of way throughout the street ▪ Benches ▪ Picnic Tables outside the proposed Civic Center Building ▪ Landscaping ▪ Lighting ▪ Public Art ▪ New pedestrian connection/stairway to Ashford Avenue 	<p>1c. Provide safe, attractive, accessible and well-maintained parks and recreational facilities to serve residents of all ages and physical abilities</p> <p>4b. Enhance the public realm to be multifunctional, to accommodate a range of users of varied ages, abilities, and cultures, and to respond to daily, weekly, and seasonal use patterns</p>	<ul style="list-style-type: none"> ▪ Ardsley Department of Public Works ▪ Village Planner ▪ Transportation Planning and Urban Design Consultant 	<p>1) Undertake Shared Streets Public Education Program</p> <p>2) Survey all landowners along Center Street on receptiveness to Shared Streets Concept</p> <p>3) Engage a Transportation Planning & Urban Design firm to develop a Shared Streets concept plan</p>	Phase II
PR3	<p>As part of the private redevelopment of Addyman Square, undertake public realm improvements including:</p> <ul style="list-style-type: none"> ▪ Improvement of existing pedestrian areas to include more space for gathering, special events, outdoor dining. ▪ Removal of bridge and installation of a landscaped viewing terrace ▪ Potential conversion of parking area into a landscaped public plaza if and only if structured public parking is available at 15 Center Street or another nearby location 	<p>1c. Provide safe, attractive, accessible and well-maintained parks and recreational facilities to serve residents of all ages and physical abilities</p> <p>4b. Enhance the public realm to be multifunctional, to accommodate a range of users of varied ages, abilities, and cultures, and to respond to daily, weekly, and seasonal use patterns</p>	<ul style="list-style-type: none"> ▪ Village Manager ▪ Master Developer ▪ Village Planner ▪ Current Owners 	<p>1) Assemble Land</p>	Phase III

NOTICE OF PUBLIC HEARING

PLEASE TAKE NOTICE that the Board of Trustees of the Village of Ardsley will hold a public hearing on Monday, March 7, 2022 at 8:00 p.m. or soon thereafter to discuss the proposed application to convert the vacant commercial space at 469 Ashford Avenue into a Grocery/Convenience store.

Notwithstanding the provisions of Article 7 of the Public Officers Law to the contrary, the meeting will be conducted remotely in accordance with Chapter 417 of the Laws of 2021, as extended by Chapter 1 of the Laws of 2022, permitting virtual participation by Board Members. As such there will be no public participation in person. Members of the Board of Trustees and Village Officers and staff participating in the meeting will be participating remotely through video conference.

The Board will use Zoom, a web-based video conferencing service to conduct the meeting. The public will have the opportunity to see and hear the meeting live and provide comments. If any interested members of the public would like to comment on this proposed permit, comments will be taken online via the Zoom platform during the public hearing by using the “raise hand” feature and waiting for the meeting host to unmute them. Written comments may be sent to Village Clerk, Ann Marie Rocco arocco@ardsleyvillage.com or regular mail to 507 Ashford Avenue, Ardsley, NY 10502 Attn: Village Clerk. All comments will be shared with the Board of Trustees and questions will be answered as quickly as possible.

Join Zoom Meeting:

<https://us02web.zoom.us/j/87275914721?pwd=ekFRb2w3UTJEdnp1dUpZNDcveW1uUT09>

Meeting ID: 872 7591 4721

Passcode: 415563

Dial by your location

+1 929 205 6099 US (New York)

Meeting ID: 872 7591 4721

Find your local number: <https://us02web.zoom.us/u/kbvOvjpl0T>

All residents and taxpayers are invited to attend and be heard via zoom.

**BY ORDER OF THE BOARD OF TRUSTEES OF THE
VILLAGE OF ARDSLEY, NEW YORK**

Ann Marie Rocco

Village Clerk

Dated: February 23, 2022



MINUTES

Ardsey Village Board of Trustees

8:00 PM - Tuesday, February 22, 2022

Meeting Held Via Zoom Platform

Present: Mayor Nancy Kaboolian
Trustee Asha Bencosme
Trustee Craig Weitz
Village Manager Joseph L. Cerretani
Village Clerk Ann Marie
Village Attorney Robert J. Ponzini

Absent: Deputy Mayor/Trustee Andy DiJusto
Trustee Steve Edelstein

1. PLEDGE OF ALLEGIANCE

PUBLIC HEARING Override the Property Tax Levy for Fiscal Year 2022-2023

1. Public Hearing - Override the Property Tax Levy for Fiscal Year 2022-2023
Mayor Kaboolian opened the Public Hearing at 8:00 P.M and read the notice into the record.

At 8:39 P.M. Moved by Trustee Weitz , Seconded by Trustee Bencosme and passed 3-0-0. RESOLVED, Resolved that this public hearing be closed for the Override of the Property Tax Levy for Fiscal Year 2022-2023.

2. APPROVAL OF MINUTES:

- 2.1 February 7, 2022 Regular Meeting Minutes

Moved by Trustee Weitz, Seconded by Trustee Bencosme and passed 3-0-0
RESOLVED, that the Village Board of the Village of Ardsley hereby approves the minutes of the Regular Meeting of Tuesday, February 7, 2022 as submitted.

3. DEPARTMENT REPORTS

1. LEGAL

- 1.a Village Attorney Robert Ponzini stated there is nothing to report and has been working with staff on various ongoing items. Village Attorney has spoken to the Village Manager and there will be an Executive Session following tonight's meeting.

2. MANAGER

- 2.a February 22, Village Manager Report

Village Manager Joseph Cerretani read the following report:

1. **Notification System**

The Village has enacted a new text messaging notification system, Nixle. We will be utilizing this platform as an additional method of keeping residents informed with emergency notifications and traffic updates. To sign up, text "ArdsleyAlert" to 888777, or go to ardsleyvillage.com to register.

2. **Mobile Shredder**

The Village will be hosting the Westchester County Mobile Shredder at the Ardsley Middle School on Saturday, February 26 from 10:00am to 1:00pm. This event is free to Ardsley residents.

All residents attending shredder events must follow these safety guidelines to protect themselves and staff:

- Residents must remain in their vehicles at all times.
- Documents should be boxed and placed in the truck/hatchback of the resident's vehicle, if possible, or in the back seat of the resident's vehicle.
- Staff will remove the box(es) directly from the resident's vehicle and place them in the shredder mechanism.
- Vehicles will be queued at a safe distance from staff and only one vehicle will be serviced at a time.
- Within designated areas, residents are required to wear masks.
- Please be mindful to observe all posted signage and directions from staff

3. **Welcoming New Staff** We would like to Welcome Patricia Carboy to the Village staff as the new Assistant Court Clerk. Her first day with the Village was today and we wish her the best in her new position.

4. **Updated Mask Policy**

Per Governor Hochul's announcement on February 9, 2022, the mask mandate for most indoor public locations expired effective on February 10, 2022.

Masks will be optional in Village facilities, but everyone is strongly encouraged to wear masks inside Village facilities at all times. People are also encouraged to maintain social distancing when appropriate and possible.

Ardsey Justice Court will follow the guidance provided by the New York State Unified Court System. Posted information in the Court will outline what the policy is related to masking at the time. The current guidance is that masks are required in any municipal court facilities.

The Ardsley Public Library policy on masking mirrors that of the Ardsley School District. The current guidance from NY State left the masking requirement in place though the policy is under review with a decision currently slated for early March.

Individuals who test positive for COVID-19 should not enter Village facilities during their quarantine period. Individuals with a known exposure to someone who tested positive with COVID-19 are asked not to enter Village facilities and not to participate in Village events/activities.

The following are the locations where one is still required to wear a mask:

- In any business or locality that has its own mask requirement in place
- On all forms of public transportation and in transportation hubs (stations, airports, etc)
- Health care facilities
- Adult care facilities and nursing homes
- Homeless shelters
- Correctional facilities
- Schools

5. **Senior Center** The Senior Center at the Recreation Department will resume activities tomorrow, February 12, 2022. The Seniors meet every Wednesday each week.

3. TREASURER

3.a February 22, 2022 Abstract Report

Village Manager Joe Cerretani read the Treasurer's Report for February 22, 2022.

Village Manager Cerretani stated that the bills for the past two weeks totaled as follows: From the General Fund: \$278,236.06; from the Sewer Fund: \$1,289.90; from the Trust & Agency fund: \$4,422.80 and from the Capital Fund: \$109,073.30

Moved by Trustee Bencosme, Seconded by Trustee Weitz and passed 3-0-0.

RESOLVED, that the Village Board of the Village of Ardsley hereby authorizes the Village Treasurer to make the following payments: From the General Fund: \$278,236.06; from the Sewer Fund: \$1,289.90; from the Trust & Agency Fund \$4,422.80 and from the Capital Fund: \$109,073.30.

4. BUILDING

4.a January 2022 Building Department Report

Building Inspector, Larry Tomasso provided the Board with totals from January 2022

Building Department report:

- 8 Building permits
- 9 Application fees
- 4 Certificates of Occupancy
- 5 Plumbing permits
- 10 Electrical permits
- 2 Title Searches
- 0 Miscellaneous

Total received - \$6,131.75

Other activities-

- 42 Building inspections
- 28 Zoning inspection
- 9 Violations
- 2 Warnings

5. FIRE

5.a January 2022 Fire Department Report

Mayor Kaboolian accepted the January 2022 Fire Department under submission.
Fire Department Report for the month of January 2022:

January 20,27 Department Held Drills

January 8 Chief Murray and Knoesel met for a budget meeting

January 11 Chief Murray met with D.P. Wolff regarding boiler issues and heating issues

January 12 Chief Murray attended the FEMA Meeting with the village

January 12 Chief Murray, Knoesel and Podolski hosted the Battalion 14 Monthly Meeting

January 14 Chief Murray and Knoesel met for a second Budget Meeting

January 18 Chief Murray and Knoesel attended a Village Meeting

January 18 Chief Murray attended the Village Board Meeting

January 19 Chief Murray met with TNT Tools for annual PMP on the tools

January 19 Chief Murray assisted APD with the funeral for Ardsley Resident

January 20 Chief Murray attended a special Board Meeting

January 20 Chief Knoesel and Podolski attended Bailout training

January 21 Chief Murray met with Ardsley School District Security Team

January 24 Chief Murray received additional 60 COVID Test kits from the county

January 27 Chief Murray attended a meeting on the NYPD Funeral coming through the village

Total calls for the month of January: 33

Training Officers Report- January 2022:

- January 6th No Drill
- January 13th- No Drill
- January 20th Monthly Drill-Bailout/Tool Maintenance Training Hours 40.00. 20 Members Present
- January 27th Bailout/Snow Prep Training Hours. 34.00, 17 Members Present

Training Hrs. 000.00, 00 Member's Present

Online Training McNeil & Company E-Learning:

Training: 74.00 Hours

Inspection: 00.00 Hours

Maintenance: 00.0 Hours

New York State: 00.00 Hours

Online Training McNeil & Company E-Learning: 0.0 Hours

Total: 74.00 Hours

6. POLICE

6.a January 2022 Police Department Report

Chief Piccolino reported the following activities for January 2022:

- Court fine and fees - \$70,300.00
- Property lost or stolen - \$3,431.00
- Property Recoverd- \$11.00
- Alarm fines and fees - \$2,400.00
- Meter collection - \$1,582.15
- 13 Traffic Accidents
- 2 Arrests
- 280 Calls for service
- 6 Investigations
- 3 Impoundment
- 9 UTT summonses issued
- 7 Parking summonses issued
- 1 Appearance tickets issued
- 17 Summonses issued

Training in January:

16 hours which consisted of SWAT.

COMMUNITY POLICING:

- Our child passenger safety officers-installed 6 car seats and issued 0.
- Participated in Westchester County Coalition Meeting (zoom)
- Attended SAYF coalition meeting (zoom)
- Conducted 2 lock down drills at Concord Road School
- School resource officers performed routine checks with the schools on day to day events

COMMUNITY INFORMATION:

The police department has received many calls about Coyote’s in the area. Coyotes are common in this area and generally do not pose a risk to humans but caution should be taken when encountering a coyote.

Coyote Conflicts

The Eastern coyote is firmly established in New York. They live in New York as an integral part of our ecosystems. People and coyotes can usually coexist if coyotes’ natural fear of people is maintained. Coyotes provide many benefits to New Yorkers through observation, photography, hunting, and trapping; however, not all interactions are positive. While most coyotes avoid interacting with people, some coyotes in suburbia become emboldened and appear to have lost their fear of people. This can result in a dangerous situation with pets and young children at the greatest risk.

Below are steps you should take to reduce and prevent coyote problems from occurring.

Coyote Encounters

A coyote that does not flee from people should be considered dangerous. Coyotes in residential areas can be attracted to garbage, pet food, and other human-created sources of food. Coyotes can associate people with these food attractants. In some cases human behavior is perceived to be non-threatening by coyotes (running into your home after seeing a coyote is behaving like prey). In short, people may unintentionally attract coyotes with food and people may behave like prey. Add to the mix people intentionally feeding coyotes and the potential for a coyote attack becomes very real.

How to handle coyote encounters:

- Do not let a coyote approach anyone.
- If you see a coyote, **be aggressive** in your behavior-stand tall and hold arms out to look large. If a coyote lingers for too long, then make loud noises, wave your arms, or throw sticks and stones.
- Contact your local police department and DEC regional office for assistance if you notice that coyotes are exhibiting "bold" behaviors and have little or no fear of people.

- Teach children to appreciate coyotes from a distance. Children are at greatest risk of being injured by coyotes. If a coyote has been observed repeatedly near an area where children frequent, be watchful.

Potential does exist for coyote attacks in New York. However, a little perspective may be in order. On average, 650 people are hospitalized and one person killed by dogs each year in New York State. Nationwide, only a handful of coyote attacks occur annually. Nevertheless, these conflicts are bad for people, pets, and coyotes

Make your Yard Less Hospitable

Unintentional food sources attract coyotes and other wildlife, as well as increase risks to people and pets.

To reduce risks:

- Do not feed coyotes and discourage others from doing so.
- Do not feed pets outside.
- Make any garbage inaccessible to coyotes and other animals.
- Eliminate availability of bird seed. Concentrations of birds and rodents that come to feeders can attract coyotes.

Protect your Pets

Take action:

- Do not allow coyotes to approach people or pets.
- Do not allow pets to run free. Supervise all outdoor pets to keep them safe from coyotes and other wildlife, especially at sunset and at night.
- Fencing your yard may deter coyotes. The fence should be tight to the ground, preferably extending 6 inches below ground level, and taller than 4 feet.
- Remove brush and tall grass from around your property to reduce protective cover for coyotes. Coyotes are typically secretive and like areas where they can hide.
- Dogs
- dog owners need to be concerned about coyotes? The answer is maybe. Conflicts between dogs and coyotes can happen any time of the year, but are more likely in the months of March and April. It is during this time that coyotes are setting up their denning areas for their soon-to-arrive pups. Coyotes become exceptionally territorial around these den sites in an attempt to create a safe place for their young. In general, coyotes view other canines (dogs) as a threat. Essentially, it comes down to a territorial dispute between your dog and the coyote. Both believe that your yard is their territory.

Owners of large and medium sized dogs have less to worry about, but should still take precautions. Owners of small dogs have cause for concern. Small dogs are of greatest risk of being harmed or killed by

coyotes. Small dogs are at risk when left unattended in backyards at night and should be supervised by owners. Coyotes have attacked and killed small dogs unattended in backyards. Coyotes may approach small dogs along streets at night near natural areas, even in the presence of dog owners.

- Cats:
- Do coyotes kill cats? Absolutely, but so do foxes, dogs, bobcats, vehicles, and even great horned owls. Cat owners need to be aware that cats allowed to roam free are at risk from many different factors. To protect your cat, keep it indoors, or allow it outside only under supervision. Coyotes in some areas appear to become specialists at catching and killing cats.
- Livestock Risk

Problems with coyotes and livestock do occur in New York. Most problems involve sheep or free ranging chickens and ducks. Most problems can be avoided with proper husbandry techniques. It is much easier to prevent depredation from occurring than it is to stop it once it starts.
- Coyote Incident Standard Operating Procedures (SOP)

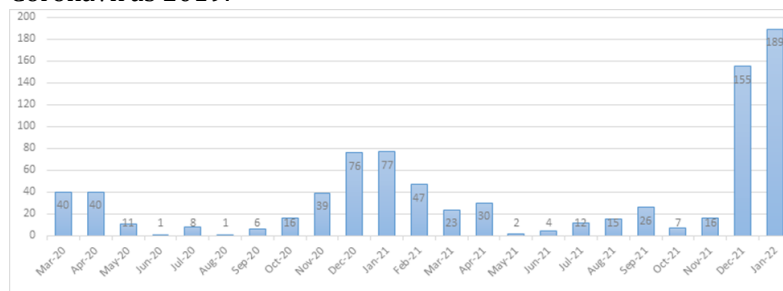
The New York State Coyote Incident Standard Operating Procedures (SOP) have been developed for use primarily by DEC staff who routinely handle phone calls pertaining to coyotes but may be a valuable reference document for other entities interacting with public experiencing conflicts with coyotes (e.g., municipal law enforcement and animal control officers).

View the [New York State Coyote Incident Standard Operating Procedures \(Revised 2018\)](#) (PDF).

Contacts

- [Regional DEC Wildlife Office](#)
- USDA APHIS
1930 Route 9, Castleton NY 12033
- Phone: (518) 477-4837
 - [Wildlife Damage website](#) (leaves DEC website)
 - Find a [Nuisance Wildlife Control Operator](#) (NWC0)

Coronavirus 2019:



Prevention:

The best way to prevent illness is to avoid being exposed to this virus. However, as a reminder, CDC always recommends everyday preventative actions to help the spread of respiratory disease including:

- Avoid close contact with people who are sick.
- Avoid touching your eyes, nose & mouth.
- Stay home when you are sick.
- Cover your cough or sneeze with a tissue, then throw the tissue in the trash.
- Clean and disinfect frequently touched objects and surfaces using a regular household cleaning spray or wipe.
- Follow CDC's recommendations for using a facemask.

For information about handwashing, see CDC's Handwashing website:

<https://www.cdc.gov/handwashing/index.html>

For information specific to healthcare, see CDC's Hand Hygiene in Healthcare Settings:

<https://www.cdc.gov/handhygiene/index.html>

These are everyday habits that can help prevent the spread of several viruses. CDC does have specific guidance for travelers. <https://www.cdc.gov/coronavirus/2019-ncov/travelers/index.html>

Delta Variant: What we know about the science

On July 27, 2021, CDC released [updated guidance](#) on the need for urgently increasing COVID-19 vaccination coverage and a recommendation for everyone in areas of [substantial or high transmission](#) to wear a mask in public indoor places, even if they are fully vaccinated. CDC issued this new guidance due to several concerning developments and newly emerging data signals.

First, a significant increase in new cases reversed what had been a steady decline since January 2021. In the days leading up to our guidance update, CDC saw a rapid and alarming rise in the COVID-19 case and hospitalization rates around the country.

- In late June, the 7-day moving average of reported cases was around 12,000. On July 27, the 7-day moving average of cases reached over 60,000. This case rate looked more like the rate of cases we had seen before the vaccine was widely available.

Second, new data began to emerge that the Delta variant was more infectious and was leading to increased transmissibility when compared with other variants, even in some vaccinated individuals. This includes recently published data from CDC and our public health partners, unpublished surveillance data

that will be publicly available in the coming weeks, information included in CDC's updated [Science Brief on COVID-19 Vaccines and Vaccination](#), and ongoing outbreak investigations linked to the Delta variant.

Delta is currently [the predominant variant](#) of the virus in the United States.

Below is a high-level summary of what CDC scientists have recently learned about the Delta variant. More information will be made available when more data are published or released in other formats.

- **The Delta variant is more contagious:** The Delta variant is highly contagious, more than 2x as contagious as previous variants.
- **Some data suggest the Delta variant might cause more severe illness than previous variants in unvaccinated people.** In two different studies from Canada and Scotland, patients infected with the Delta variant were more likely to be hospitalized than patients infected with Alpha or the original virus that causes COVID-19. Even so, the vast majority of hospitalization and death caused by COVID-19 are in unvaccinated people.
- **Unvaccinated people remain the greatest concern:** The greatest risk of transmission is among unvaccinated people who are much more likely to get infected, and therefore transmit the virus. Fully vaccinated people get COVID-19 (known as [breakthrough infections](#)) less often than unvaccinated people. People infected with the Delta variant, including fully vaccinated people with symptomatic breakthrough infections, can transmit the virus to others. CDC is continuing to assess data on whether fully vaccinated people with asymptomatic breakthrough infections can transmit the virus.
- **Fully vaccinated people with Delta variant breakthrough infections can spread the virus to others. However, vaccinated people appear to spread the virus for a shorter time:** For prior variants, lower amounts of viral genetic material were found in samples taken from fully vaccinated people who had breakthrough infections than from unvaccinated people with COVID-19. For people infected with the Delta variant, similar amounts of viral genetic material have been found among both unvaccinated and fully vaccinated people. However, like prior variants, the amount of viral genetic material may go down faster in fully vaccinated people when compared to unvaccinated people. This means fully vaccinated people will likely spread the virus for less time than unvaccinated people.

Vaccines

Vaccines in the US are highly effective, including against the Delta variant

- The COVID-19 vaccines approved or authorized in the United States are highly effective at preventing severe disease and death, including against the Delta variant. But they are not 100% effective, and some fully vaccinated people will become infected (called a breakthrough infection)

and experience illness. For all people, the vaccine provides the best protection against serious illness and death.

- Vaccines are playing a crucial role in limiting spread of the virus and minimizing severe disease. Although vaccines are highly effective, they are not perfect, and there will be vaccine breakthrough infections. Millions of Americans are vaccinated, and that number is growing. This means that even though the risk of breakthrough infections is low, there will be thousands of fully vaccinated people who become infected and able to infect others, especially with the surging spread of the Delta variant. [Low vaccination coverage](#) in many communities is driving the current rapid surge in cases involving the Delta variant, which also increases the chances that even more concerning variants could emerge.
- Vaccination is the best way to protect yourself, your family, and your community. High vaccination coverage will reduce spread of the virus and help prevent new variants from emerging. CDC recommends that everyone aged 12 years and older get vaccinated as soon as possible.

Masks

Given what we know about the Delta variant, vaccine effectiveness, and current vaccine coverage, layered prevention strategies, including wearing masks, are needed to reduce the transmission of this variant

- At this time, as we build the level of vaccination nationwide, we must also use all the prevention strategies available, including masking indoors in public places, to stop transmission and stop the pandemic. Everyone who is able, including fully vaccinated people, should wear masks in public indoor places in areas of [substantial or high transmission](#).

Omicron Variant: What You Need to Know

Updated Dec. 5, 2021

Languages

[Print](#)

Emergence of Omicron

On November 24, 2021, a new variant of [SARS-CoV-2](#), B.1.1.529, was reported to the World Health Organization (WHO). This new variant was first detected in specimens collected on November 11, 2021 in Botswana and on November 14, 2021 in South Africa.

On November 26, 2021, WHO named the B.1.1.529 Omicron and classified it as a Variant of Concern (VOC). On November 30, 2021, the United States designated Omicron as a [Variant of Concern](#), and on December 1, 2021 the first confirmed U.S. case of Omicron was identified.

CDC has been collaborating with global public health and industry partners to learn about Omicron, as we continue to monitor its course. CDC has been using [genomic surveillance](#) throughout the course of the pandemic to track variants of SARS-CoV-2, the virus that causes COVID-19, and inform public health practice. We don't yet know how easily it spreads, the severity of illness it causes, or how well available vaccines and medications work against it.

Despite the increased attention of Omicron, [Delta](#) continues to be the main variant circulating in the United States.

What We Know about Omicron

Infection and Spread

- **How easily does Omicron spread?** The Omicron variant likely will spread more easily than the original SARS-CoV-2 virus and how easily Omicron spreads compared to Delta remains unknown. CDC expects that anyone with Omicron infection can spread the virus to others, even if they are vaccinated or don't have symptoms.
- **Will Omicron cause more severe illness?** More data are needed to know if Omicron infections, and especially reinfections and breakthrough infections in people who are fully vaccinated, cause more severe illness or death than infection with other variants.
- **Will vaccines work against Omicron?** Current vaccines are expected to protect against severe illness, hospitalizations, and deaths due to infection with the Omicron variant. However, [breakthrough infections](#) in people who are fully vaccinated are likely to occur. With other variants, like Delta, vaccines have remained effective at preventing severe illness, hospitalizations, and death. The recent emergence of Omicron further emphasizes the importance of vaccination and boosters.
- **Will treatments work against Omicron?** Scientists are working to determine how well existing treatments for COVID-19 work. Based on the changed genetic make-up of Omicron, some treatments are likely to remain effective while others may be less effective.

We have the Tools to Fight Omicron

Vaccines remain the best public health measure to protect people from COVID-19, slow transmission, and reduce the likelihood of new variants emerging. COVID-19 vaccines are highly effective at preventing severe illness, hospitalizations, and death. Scientists are currently investigating Omicron, including how protected fully vaccinated people will be against infection, hospitalization, and death. CDC recommends that everyone 5 years and older protect themselves from COVID-19 by getting [fully vaccinated](#). CDC recommends that everyone ages 18 years and older should get a [booster](#) shot at least two months after their initial J&J/Janssen vaccine or six months after completing their primary COVID-19 vaccination series of Pfizer-BioNTech or Moderna.

Masks offer protection against all variants. CDC continues to recommend wearing a mask in public indoor settings in areas of substantial or high [community transmission](#), regardless of vaccination status. CDC provides [advice about masks](#) for people who want to learn more about what [type of mask](#) is right for them depending on their circumstances.

Tests can tell you if you are currently infected with COVID-19. Two types of tests are used to [test for current infection](#): nucleic acid amplification tests ([NAATs](#)) and [antigen tests](#). NAAT and antigen tests can only tell you if you have a current infection. Individuals can use the [COVID-19 Viral Testing Tool](#) to help

determine what kind of test to seek. Additional tests would be needed to determine if your infection was caused by Omicron. Visit your [state](#), [tribal](#), local, or [territorial](#) health department's website to look for the latest local information on testing.

[Self-tests](#) can be used at home or anywhere, are easy to use, and produce rapid results. If your self-test has a positive result, stay home or isolate for 10 days, wear a mask if you have contact with others, and call your healthcare provider. If you have any questions about your self-test result, call your healthcare provider or public health department.

Until we know more about the risk of Omicron, it is important to use **all tools available** to [protect yourself and others](#).

What CDC is Doing to Learn about Omicron

Virus Characteristics

CDC scientists are working with partners to gather data and virus samples that can be studied to answer important questions about the Omicron variant. Scientific experiments have already started. CDC will provide updates as soon as possible.

Variant Surveillance

In the United States, CDC uses [genomic surveillance](#) to track variants of SARS-CoV-2, the virus that causes COVID-19 to more quickly identify and act upon these findings to best protect the public's health. CDC established multiple ways to connect and share genomic sequence data being produced by CDC, public health laboratories, and commercial diagnostic laboratories within publicly accessible databases maintained by the [National Center for Biotechnology Informationexternal icon](#) (NCBI) and the [Global Initiative on Sharing Avian Influenza Dataexternal icon](#) (GISAID). CDC's national genomic surveillance can detect a variant that is circulating at 0.1% frequency with 99% statistical confidence.

What to do if you test positive for COVID-19

If you test positive for COVID-19 and have [one or more health conditions](#) that increase your risk of becoming very sick, [treatment may be available](#). Contact a health professional right away after a positive test to determine if you may be eligible, even if your symptoms are mild right now. Don't delay: Treatment must be started within the first few days to be effective.

If you have a fever, cough, or [other symptoms](#), you might have COVID-19. Most people have mild illness and are able to recover at home. If you are sick:

- Keep track of your symptoms.
- **If you have [an emergency warning sign \(including trouble breathing\)](#), call 911.**

Steps to help prevent the spread of COVID-19 if you are sick

[If you are sick with COVID-19 or think you might have COVID-19](#), follow the steps below to care for yourself and to help protect other people in your home and community.

house user light icon

Stay home except to get medical care

- **Stay home.** Most people with COVID-19 have mild illness and can recover at home without medical care. Do not leave your home, except to get medical care. Do not visit public areas and do not go to places where you are unable to wear a mask.
- **Take care of yourself.** Get rest and stay hydrated. Take over-the-counter medicines, such as acetaminophen, to help you feel better.
- **Stay in touch with your doctor.** Call before you get medical care. Be sure to get care if you have trouble breathing, or have any other [emergency warning signs](#), or if you think it is an [emergency](#).
- **Avoid public transportation**, ride-sharing, or taxis if possible.
- If you have [symptoms of COVID-19](#), get [tested](#). While waiting for test results, stay away from others, including staying apart from those living in your household.
- **Get tested as soon as possible after your symptoms start.** Treatments may be available for people with COVID-19 who are at risk for becoming very sick. Don't delay: Treatment must be started early to be effective—some treatments must begin within 5 days of your first symptoms.

○ Supply of treatments may be limited, and treatments are reserved for those at high risk for becoming very sick. Contact your healthcare provider right away if your test result is positive to determine if you may be eligible.

· [Self-tests](#) are one of several options for [testing for the virus that causes COVID-19](#) and may be more convenient than laboratory-based tests and point-of-care tests. Ask your healthcare provider or your local health department if you need help interpreting your test results.

· You can visit your [state, tribal, localexternal icon](#), and [territorial health department's website](#) to look for the latest local information on testing sites.

bed light icon

Separate yourself from other people

As much as possible, stay in a specific room and away from other people and pets in your home. If possible, you should use a separate bathroom. If you need to be around other people or animals in or outside of the home, wear a well-fitting [mask](#).

Tell your close contacts that they may have been exposed to COVID-19. An infected person can spread COVID-19 starting 48 hours (or 2 days) before the person has any symptoms or tests positive. By letting your [close contacts](#) know they may have been exposed to COVID-19, you are helping to protect everyone.

· See [COVID-19 and Animals](#) if you have questions about pets.

· If you are diagnosed with COVID-19, someone from the health department may call you. [Answer the call](#) to slow the spread.

temperature high light icon

Monitor your symptoms

· [Symptoms](#) of COVID-19 include fever, cough, or other symptoms.

- Follow care instructions from your healthcare provider and local health department. Your local health authorities may give instructions on checking your symptoms and reporting information.

When to seek emergency medical attention

Look for emergency warning signs* for COVID-19. If someone is showing any of these signs, seek emergency medical care immediately:

- Trouble breathing
- Persistent pain or pressure in the chest
- New confusion
- Inability to wake or stay awake
- Pale, gray, or blue-colored skin, lips, or nail beds, depending on skin tone

*This list is not all possible symptoms. Please call your medical provider for any other symptoms that are severe or concerning to you.

Call 911 or call ahead to your local emergency facility: Notify the operator that you are seeking care for someone who has or may have COVID-19.

mobile light icon

Call ahead before visiting your doctor

- Call ahead. Many medical visits for routine care are being postponed or done by phone or telemedicine.
- If you have a medical appointment that cannot be postponed, call your doctor's office, and tell them you have or may have COVID-19. This will help the office protect themselves and other patients.

head side mask light icon

If you are sick, wear a well-fitting mask

- You should wear a [mask](#) if you must be around other people or animals, including pets (even at home).
- Wear a [mask](#) with the best fit, protection, and comfort for you.
- You don't need to wear the mask if you are alone. If you can't put on a mask (because of trouble breathing, for example), cover your coughs and sneezes in some other way. Try to stay at least 6 feet away from other people. This will help protect the people around you.
- Masks should not be placed on young children under age 2 years, anyone who has trouble breathing, or anyone who is not able to remove the mask without help.

box tissue light icon

Cover your coughs and sneezes

- Cover your mouth and nose with a tissue when you cough or sneeze.
- Throw away used tissues in a lined trash can.
- Immediately wash your hands with soap and water for at least 20 seconds.

If soap and water are not available, clean your hands with an alcohol-based hand sanitizer that contains at least 60% alcohol.

hands wash light icon

Clean your hands often

- Wash your hands often with soap and water for at least 20 seconds. This is especially important after blowing your nose, coughing, or sneezing; going to the bathroom; and before eating or preparing food.
- Use hand sanitizer if soap and water are not available. Use an alcohol-based hand sanitizer with at least 60% alcohol, covering all surfaces of your hands and rubbing them together until they feel dry.
- Soap and water are the best option, especially if hands are visibly dirty.
- Avoid touching your eyes, nose, and mouth with unwashed hands.
- [Handwashing Tips](#)

ban light icon

Avoid sharing personal household items

- Do not share dishes, drinking glasses, cups, eating utensils, towels, or bedding with other people in your home.
- Wash these items thoroughly after using them with soap and water or put in the dishwasher.

spraybottle icon

Clean surfaces in your home regularly

- Clean and disinfect high-touch surfaces (for example, doorknobs, tables, handles, light switches, and countertops) in your “sick room” and bathroom. In shared spaces, you should clean and disinfect surfaces and items after each use by the person who is ill.
- If you are sick and cannot clean, a caregiver or other person should only clean and disinfect the area around you (such as your bedroom and bathroom) on an as needed basis. Your caregiver/other person should wait as long as possible (at least several hours) and wear a mask before entering, cleaning, and disinfecting shared spaces that you use.
- Clean and disinfect areas that may have blood, stool, or body fluids on them.
- Use household cleaners and disinfectants. Clean visible dirty surfaces with household cleaners containing soap or detergent. Then, use a household disinfectant.
 - o Use a product from [EPA’s List N: Disinfectants for Coronavirus \(COVID-19\)external icon](#)
 - o Be sure to follow the instructions on the label to ensure safe and effective use of the product. Many products recommend keeping the surface wet with a disinfectant for a certain period of time (look at “contact time” on the product label).
 - o You may also need to wear personal protective equipment, such as gloves, depending on the directions on the product label.
 - o Immediately after disinfecting, [wash your hands](#) with soap and water for 20 seconds.
 - o For completed guidance on cleaning and disinfecting your home, visit [Complete Disinfection Guidance](#).

Take steps to improve ventilation at home

- [Improve ventilation \(air flow\) at home](#) to help prevent from spreading COVID-19 to other people in your household.
- Clear out COVID-19 virus particles in the air by opening windows, using air filters, and turning on fans in your home.
- Use [this interactive tool](#) to learn how to improve air flow in your home.

7. MAYOR’S ANNOUNCEMENTS Mayor Kaboolian did not have anything to report.

8. COMMITTEE & BOARD REPORTS

Trustee Weitz stated that the Recreation Commission is planning to host their first 5K. More information to follow on this event. Stay tuned!

Trustee Bencosme announced the following:

- Homework Helpers meets every Wednesday of the week at the community center from 3:00 pm-5:00 pm for 6th-8th graders.
- Middle School Hangout meets every Friday of the week at the community center from 3:00 pm-5:00 pm for 6th-8th graders.
- These programs follow the school schedule. If school is closed these activities are cancelled.

4. VISITORS

5. OLD BUSINESS:

5.1 Consider a Resolution Regarding Override to Property Tax Levy 2022-2023

Moved by Trustee Bencosme, Seconded by Trustee Weitz and passed 3-0-0.

RESOLVED, that the Village Board of the Village of Ardsley hereby enacts a local law establishing a property tax levy in excess of the limit established in General Municipal Law Section 3-c as follows:

Section 1. Legislative Intent

It is the intent of this local law to allow the Village of Ardsley to adopt a budget for the fiscal year commencing June 1, 2022 that requires a real property tax levy in excess of the “tax levy limit” as defined by General Municipal Law § 3-c.

Section 2. Authority

This local law is adopted pursuant to subdivision 5 of General Municipal Law §3-c, which expressly authorizes a local government’s governing body to override the property tax cap for the coming fiscal year by the adoption of a local law approved by a vote of sixty percent (60%) of said governing body.

Section 3. Tax Levy Limit Override

The Village Board of Trustees of the Village of Ardsley, County of Westchester, is hereby authorized to adopt a budget for the fiscal year commencing June 1, 2022 that requires a real property tax levy in excess of the amount otherwise prescribed in General Municipal Law §3-c.

Section 4. Severability

If a court determines that any clause, sentence, paragraph, subdivision, or part of this local law or the application thereof to any person, firm or corporation, or circumstance is invalid or unconstitutional, the court's order or judgment shall not affect, impair, or invalidate the remainder of this local law, but shall be confined in its operation to the clause, sentence, paragraph, subdivision, or part of this local law or in its application to the person, individual, firm or corporation or circumstance, directly involved in the controversy in which such judgment or order shall be rendered.

Section 5. Effective date

This local law shall take effect immediately upon filing with the Secretary of State by the Village Clerk.

6. NEW BUSINESS:

- 6.1 Consider a Discussion to Request from David Fink & Jessica Perez at 34 Lincoln Avenue for a Licensing Agreement for a Portion of a Retaining Wall and Patio that were previously constructed in the Right of Way.

Mr. David Fink and Ms. Jessica Perez were present to discuss their project at 34 Lincoln Ave. Their contractor advised them that they didn't need a permit for the work that was being done. They received a notice from the Village Building Department that they needed to stop the project. They have been working with Building Inspector Larry Tomasso on getting the project approved.

Building Inspector, Larry Tomasso explained that the Zoning Board will be voting on this project February 23, 2022. The owners have been working on getting this legalized.

Village Attorney Robert Ponzini explained that no one has the right to build in the Village's right of way and we generally require some insurance from the property owner.

Mayor Kaboolian does not see a problem with entering into a licensing agreement with the owners given all of these stipulations.

Village Attorney Ponzini will be drafting the agreement and will submit to the Board for approval.

- 6.2 Consider a Resolution to Schedule a Public Hearing for Ardsley Convenience Store-469 Ashford Avenue

Moved by Trustee Bencosme, Seconded by Trustee Weitz and passed 3-0-0.
RESOLVED, that the Village Board of the Village of Ardsley hereby declares itself Lead Agency for site plan approval for a proposed application to convert the vacant commercial space at 469 Ashford Avenue into a grocery/convenience store; and

NOW THEREFORE BE IT FURTHER RESOLVED, that the Village Board of the Village of Ardsley hereby schedules a public hearing on Monday, March 7, 2022 to discuss the proposed application.

6.3 Consider a Resolution for Appointment to the Recreation Commission-Christina Hansbury

Moved by Trustee Weitz, Seconded by Trustee Bencosme and passed unanimously.
RESOLVED, that the Mayor of the Village of Ardsley hereby makes the appointment of Christina Hansbury to the Recreation Commission effective through December 5, 2022.

7. CALL FOR EXECUTIVE SESSION-LEGAL ADVICE

8. ADJOURNMENT OF MEETING

8.1 Adjournment

Moved by Trustee Weitz, Seconded by Trustee Bencosme and passed 3-0-0.
RESOLVED, that the Village Board of the Village of Ardsley hereby adjourns the regular meeting of Tuesday, February 22, 2022 to enter into Executive Session for legal advice at 8:43 P.M.

9. ANNOUNCEMENTS

- February 23, 2022 Zoning Board of Appeals Meeting 8:00 pm
- February 26, 2022 Westchester County Shredder Event 10:00 am at the Middle School
- March 1, 2022 Board of Architectural Review Meeting 8:00 pm
- March 2, 2022 Board of Architectural Review Meeting 8:00 pm

10. NEXT BOARD MEETING:

- Monday, March 7, 2022 -Board of Trustees Meeting
- Wednesday, March 9, 2022-Board Of Trustees Work Session

Village Clerk, Ann Marie Rocco

Date:

ABSTRACT FOR VILLAGE BOARD MEETING OF MARCH 7TH, 2022

GENERAL FUND \$103,422.49

TRUST & AGENCY FUND \$79.00

CAPITAL FUND \$14,597.78

SEWER FUND \$27,289.90

Date	Vendor Name	Description	Amount
9/28/2021	PRECISE TRANSLATIONS LLC	Professional Translation	\$340.00
9/28/2021	FUNDAMENTAL BUSINESS SERVICE I	Receivables Service	<u>\$22.50</u>
		Village Court Subtotal	\$362.50
3/1/2022	Event DJ Team LLC	Christmas Tree	\$200.00
3/4/2022	NICHOLAS MARANINO	Senior Supplies	\$106.46
3/4/2022	NICHOLAS MARANINO	senior Supplies	\$48.43
2/23/2022	NSI Clean Worldwide Inc.	February Cleaning Unit	\$260.00
3/2/2022	READERS HARDWARE INC	toilet seat, tennis keys	\$68.08
3/1/2022	TERMINIX PROCESSING CENTER	Service for 2-15-22	\$63.00
3/2/2022	ULINE	10x10 pop up tents	<u>\$917.19</u>
		Community Center Subtotal	\$1,663.16
3/4/2022	GRAINGER	Bathroom Fixed	\$32.10
2/23/2022	NSI Clean Worldwide Inc.	February Cleaning Service	\$195.00
2/24/2022	RESCUESTUFF INC.	T-Shirts	\$1,230.00
3/1/2022	VERIZON	Usage for 2-22 to 3-21	<u>\$34.63</u>

		Fire Dept. Subtotal	\$1,491.73
3/4/2022	A-1 HYDRO	cleaner/degreaser	\$606.00
3/2/2022	ARDSLEY MOTORS	inspection car 1	\$37.00
3/2/2022	ARGENTO AND SONS INC	roller/drive/chain frame	\$442.26
3/2/2022	GABRIELLI TRUCK SALES LTD	constant fuses	\$75.02
3/2/2022	HOY PLUMBING INC.	fix heater at garage	\$352.59
3/4/2022	New York Freightliner	coolant/sensor	\$231.49
3/4/2022	New York Freightliner	nt flang/studs/coolant	\$179.08
3/3/2022	PARKWAY PEST SERVICES	March Pest Service	\$150.00
3/2/2022	PRO ASPHALT LLC	Blacktop	\$259.20
3/2/2022	PRO ASPHALT LLC	Blacktop	\$354.00
2/25/2022	READERS HARDWARE INC	Threadlocker	\$11.18
3/3/2022	SAW MILL STONE & MASONRY SUPPL	Concrete	\$25.00
3/3/2022	SAW MILL STONE & MASONRY SUPPL	Lime Mix	\$60.43
3/3/2022	SAW MILL STONE & MASONRY SUPPL	Diamond Blade	\$79.97
3/3/2022	WESTCHESTER COUNTY DEF	January 2022 Tipping Fee	\$5,363.26
3/2/2022	WESTCHESTER TOOL RENTALS	Chainsaw Chains	\$126.33
3/4/2022	White Cap, L.P.	Synthetic Oil	<u>\$40.92</u>
		Highway Dept. Subtotal	\$8,393.73
3/4/2022	BLUE MOUNTAIN SPORTSMAN'S CENT	Range V. Bonadonna	\$250.00
1/26/2022	BOUND TREE MEDICAL, LLC.	medical supplies	\$265.98
2/23/2022	CENTRAL AVE CHRYSLER JEEP	vehicle 80 repair parts	\$25.80
8/12/2021	DUNCAN PARKING TECHNOLOGIES IN	Parking Meters	\$465.00
2/15/2022	Lawmen Supply Company	New Officer Supplies	\$221.80
2/24/2022	OPTIMUM	Usage for 2-23 to 3-22	\$25.83
3/1/2022	VERIZON	Usage for 2-22 to 3-21	\$39.48
2/24/2022	VERIZON WIRELESS	Usage for 1-13 to 2-12	<u>\$519.29</u>
		Police Dept. Subtotal	\$1,813.18
3/2/2022	THE RIVERTOWNS ENTERPRISE	ZBA Hearing	\$32.00
3/2/2022	THE RIVERTOWNS ENTERPRISE	Tax Override	\$78.00
3/4/2022	A1 COMPUTER SERVICES INC.	March IT Service	\$980.00
3/4/2022	A1 COMPUTER SERVICES INC.	Fire Server Setup & Upgrade	\$436.00
3/4/2022	A1 COMPUTER SERVICES INC.	March IT Service	\$1,362.50
3/4/2022	AMERITAS LIFE INSURANCE CORP	March Premium	\$5,981.60
3/2/2022	BARBARA BERARDI	Medical Reimbursement	\$1,020.60

3/2/2022	BARBARA BERARDI	November Adjustment	\$43.20
3/2/2022	BP	Fuel 1/28/22 Statement	\$602.63
2/24/2022	BRUNI & CAMPISI INC	Woman's Locker Room Duct Work	\$478.74
2/23/2022	Con Edison	Usage for 1-11 to 2-11	\$86.59
3/2/2022	DIPIKA PATEL	Med Reimb for Dec, Jan, Feb	\$1,020.60
3/2/2022	EMIL CALIFANO	Med Reimb for Dec, Jan, Feb	\$1,020.60
3/2/2022	EMIL CALIFANO	November Adjustment	\$21.60
3/2/2022	Frank Quattrocchi Jr	Med Reimb for Dec, Jan, Feb	\$891.00
6/14/2021	GEORGE MALONE	Direct Public Govt Access	\$811.24
3/3/2022	JAMES J HAHN ENGINEERING PC	Paving	\$4,876.25
3/3/2022	JAMES J HAHN ENGINEERING PC	Heatherdell Fence & Slope	\$142.50
3/3/2022	JAMES J HAHN ENGINEERING PC	Heatherdell Fence & Slope	\$1,425.00
3/3/2022	JAMES J HAHN ENGINEERING PC	Heatherdell Fence & Slope	\$241.59
3/3/2022	JAMES J HAHN ENGINEERING PC	Heatherdell Fence & Slope	\$3,318.75
3/3/2022	JAMES J HAHN ENGINEERING PC	Heatherdell Fence & Slope	\$10,291.25
3/3/2022	JAMES J HAHN ENGINEERING PC	Heatherdell Fence & Slope	\$2,981.25
3/3/2022	JAMES J HAHN ENGINEERING PC	Heatherdell Fence & Slope	\$143.75
3/3/2022	JAMES J HAHN ENGINEERING PC	Amer Legion Dr,Revolutionary	\$412.50
3/3/2022	JAMES J HAHN ENGINEERING PC	Milling & Paving	\$287.50
3/3/2022	JAMES J HAHN ENGINEERING PC	Milling & Paving	\$858.06
3/3/2022	JAMES J HAHN ENGINEERING PC	Milling & Paving	\$12,877.50
3/3/2022	JAMES J HAHN ENGINEERING PC	Milling & Paving	\$2,351.25
3/3/2022	JAMES J HAHN ENGINEERING PC	Milling & Paving	\$1,003.81
3/3/2022	JAMES J HAHN ENGINEERING PC	Milling & Paving	\$402.50
3/3/2022	JAMES J HAHN ENGINEERING PC	Con Ed Paving	\$825.00
3/3/2022	JAMES J HAHN ENGINEERING PC	Con Ed Paving	\$2,887.50
3/3/2022	JAMES J HAHN ENGINEERING PC	Milling & Paving	\$47.74
3/3/2022	JAMES J HAHN ENGINEERING PC	Milling & Paving	\$2,901.25
3/3/2022	JAMES J HAHN ENGINEERING PC	Milling & Paving	\$59.92
3/3/2022	JAMES J HAHN ENGINEERING PC	Milling & Paving	\$11,461.25
3/2/2022	Jennifer Herrick Stasko	Med Reimb for Dec, Jan, Feb	\$445.50
3/2/2022	LILLIAN MANNING	Med Reimb for Dec, Jan, Feb	\$510.30
3/2/2022	LILLIAN MANNING	November Adjustment	\$21.60
3/2/2022	MARION DEMAIIO	Med Reimb for Dec, Jan, Feb	\$1,247.40
3/3/2022	MATELLI BROS ELEC INC	Repair Fan in Bathroom	\$460.39
2/23/2022	NSI Clean Worldwide Inc	February Cleaning Unit	\$845.00
3/4/2022	PARKWAY PEST SERVICES	Cableroom Service	\$250.00
2/28/2022	Patricia Leone	Tree & Shrub Work	\$40.00

3/4/2022	PAYLOCITY	February Service	\$1,716.35
3/1/2022	Pitney Bowes	Postage Refill	\$1,000.00
3/2/2022	RICHARD GEREGHTY	Med Reimb for Dec, Jan, Feb	\$629.40
3/2/2022	RICHARD THOMPSON	Med Reimb for Dec, Jan, Feb	\$1,128.00
3/2/2022	RICKY LAPINE	Med Reimb for Dec, Jan, Feb	\$510.30
3/2/2022	RICKY LAPINE	November Adjustment	\$21.60
3/1/2022	STANDARD INSURANCE COMPANY	March 2022 Premium	\$1,001.00
8/2/2021	STUDENT ASSISTANCE SERVICE COR	Youth Advocate Program	\$3,842.25
3/2/2022	THOMAS GREEN	Med Reimb for Dec, Jan, Feb	\$629.40
3/2/2022	VINCENT PASCUCCI	Med Reimb for Dec, Jan, Feb	\$314.70
6/16/2021	W.B. MASON CO. INC.	Mouse	\$19.98
3/2/2022	WILLIAM WATSON JR	Med Reimb for Dec, Jan, Feb	<u>\$402.00</u>
		Village Hall Subtotal	\$89,698.19
		General Fund Total	\$103,422.49
3/2/2022	Madaba Deli	Snacks for Event	<u>\$79.00</u>
		Trust & Agency Total	\$79.00
3/3/2022	JAMES J HAHN ENGINEERING PC	Curbs	\$1,495.00
3/3/2022	JAMES J HAHN ENGINEERING PC	Comfort Station	\$450.00
3/3/2022	JAMES J HAHN ENGINEERING PC	Comfort Station	\$225.00
3/3/2022	JAMES J HAHN ENGINEERING PC	Tennis Court Pascone Park	\$658.75
3/3/2022	JAMES J HAHN ENGINEERING PC	Tennis Court Pascone Park	\$299.03
3/3/2022	GEORGE MALONE	Cable Station Overhaul phase 1	\$1,350.00
3/3/2022	JAMES J HAHN ENGINEERING PC	Eastern Drainage	\$318.75
3/3/2022	JAMES J HAHN ENGINEERING PC	Agnes Circle Drainage	\$1,326.25
3/4/2022	JAMES J HAHN ENGINEERING PC	Powder Horn Drainage	\$7,500.00
3/3/2022	JAMES J HAHN ENGINEERING PC	Summit Drainage	<u>\$975.00</u>
		Capital Fund Total	\$14,597.78
3/1/2022	Delaware Engineering, D.P.C.	Sanitary Sewer Record Review	\$26,000.00
3/2/2022	MINOL, INC	February Sewer Rent Billing	<u>\$1,289.90</u>
		Sewer Fund Total	\$27,289.90



**RESOLUTION GRANTING PERMISSION TO CONVERT THE VACANT
SPACE LOCATED AT 469 ASHFORD AVENUE INTO A
GROCERY/CONVENIENCE STORE**

RESOLVED, that the Village Board of the Village of Ardsley hereby authorizes the proposed change of use to convert the vacant space at 469 Ashford Avenue into a grocery/convenience store as presented by the applicant.

Any approvals should contain the following provisions:

1. The applicant must provide plans for the remainder of the build-out showing full compliance with the NYS Building Code.
2. The applicant must obtain the required permits prior to commencing construction for the build-out.
3. The applicant must obtain a sign permit and BAR approval for all proposed signage.
4. The hours of operation should be identified/confirmed.
5. The business owner must install a Knox Box on the building.
6. The employees of the business must obtain parking permits

MEMO

TO: Mayor Kaboolian
Village Board of Trustees

FROM: Larry J. Tomasso 

DATE: March 3, 2022

RE: Ardsley Convenience Store, 469 Ashford Avenue

As you know, Muhemmed K. Abisse, of the Ardsley Convenience Store applied for a permit to convert the vacant space that was the former Roslyn Cleaners into a convenience store. A letter from Mr. Abisse detailing the operation is attached and a copy of the preliminary floor plan are attached to the agenda. This is a permitted use in the B-1 Business District and VB approval is required for this project pursuant to §200-65A of the Village Code.

The VB had previously determined that all of the businesses in Addyman Square are “grandfathered” for parking requirements for retail and business office uses so parking is not an issue. However, the VB does require the employees of these stores to obtain parking permits. Mr. Abisse is also aware of the limitations on the floor area that can be allotted to tobacco product sales.

Any approvals should contain the following provisions:

1. The applicant must provide plans for the remainder of the build-out showing full compliance with the NYS Building Code.
2. The applicant must obtain the required permits prior to commencing construction for the build-out.
3. The applicant must obtain a sign permit and BAR approval for all proposed signage.
4. The hours of operation should be identified/confirmed.
5. The business owner must install a Knox Box on the building.
6. The employees of the business must obtain parking permits

Let me know if you need any additional information.

MEMO

TO: Mayor Kaboolian
Village Board of Trustees

FROM: Larry J. Tomasso 

DATE: February 17, 2022

RE: Ardsley Convenience Store, 469 Ashford Avenue

Muhemmed K. Abisse, of the Ardsley Convenience Store applied for a permit to convert the vacant space that was the former Roslyn Cleaners into a convenience store. A letter from Mr. Abisse detailing the operation is attached. This is a permitted use in the B-1 Business District and VB approval is required for this project pursuant to §200-65A of the Village Code. The last tenant in this space was a hair salon.

The VB had previously determined that all of the businesses in Addyman Square are “grandfathered” for parking requirements for retail and business office uses so parking is not an issue. However, the VB does require the employees of these stores to obtain parking permits.

The VB should declare itself Lead Agency for site plan review and schedule a public hearing for the 3/7/22 meeting.

Let me know if you need any additional information.

Files: VILLAGE BOARD/ashford469 ardsley convenience store 02-17-22

RECEIVED

FEB 15 2022

BUILDING DEPT.

Muhammed K. Abisse
252 E 204th St #2
Bronx, NY 10458
(347) 681-7372
Muhammed2014@yahoo.com

February 14, 2022

Village of Ardsley Building Department
507 Ashford Ave
Ardsley, NY 10502
(914) 693-1550

Dear To Whom it May Concern,

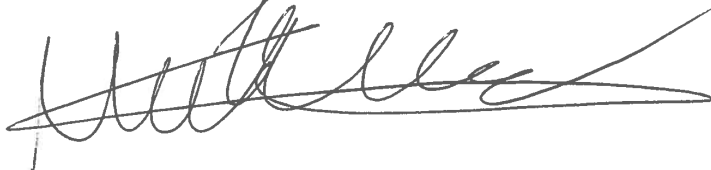
May this letter briefly outline the nature of my business and operations at the newly leased retail location of 469 Ashford Ave, Ardsley, NY 10502. The use of the retail location entails NYS lottery sales, and grocery/convenience items such as snacks, candy, cold drinks, essential household, everyday items, as well as a self-service hot coffee station.

There will be a total of two employees, one morning shift and one evening shift, behind the counter. The business hours of operations are intended to be 7:00 AM through 12:00 PM Midnight, Seven days per week and 365 Days per year offering a beneficial convenience factor to the community. Please feel free to contact me on my cell phone (above) or email (above) if you require any further information.

Thank you for your consideration.

Sincerely,

Muhammed K. Abisse

A handwritten signature in black ink, appearing to read 'Muhammed K. Abisse', written over a horizontal line.

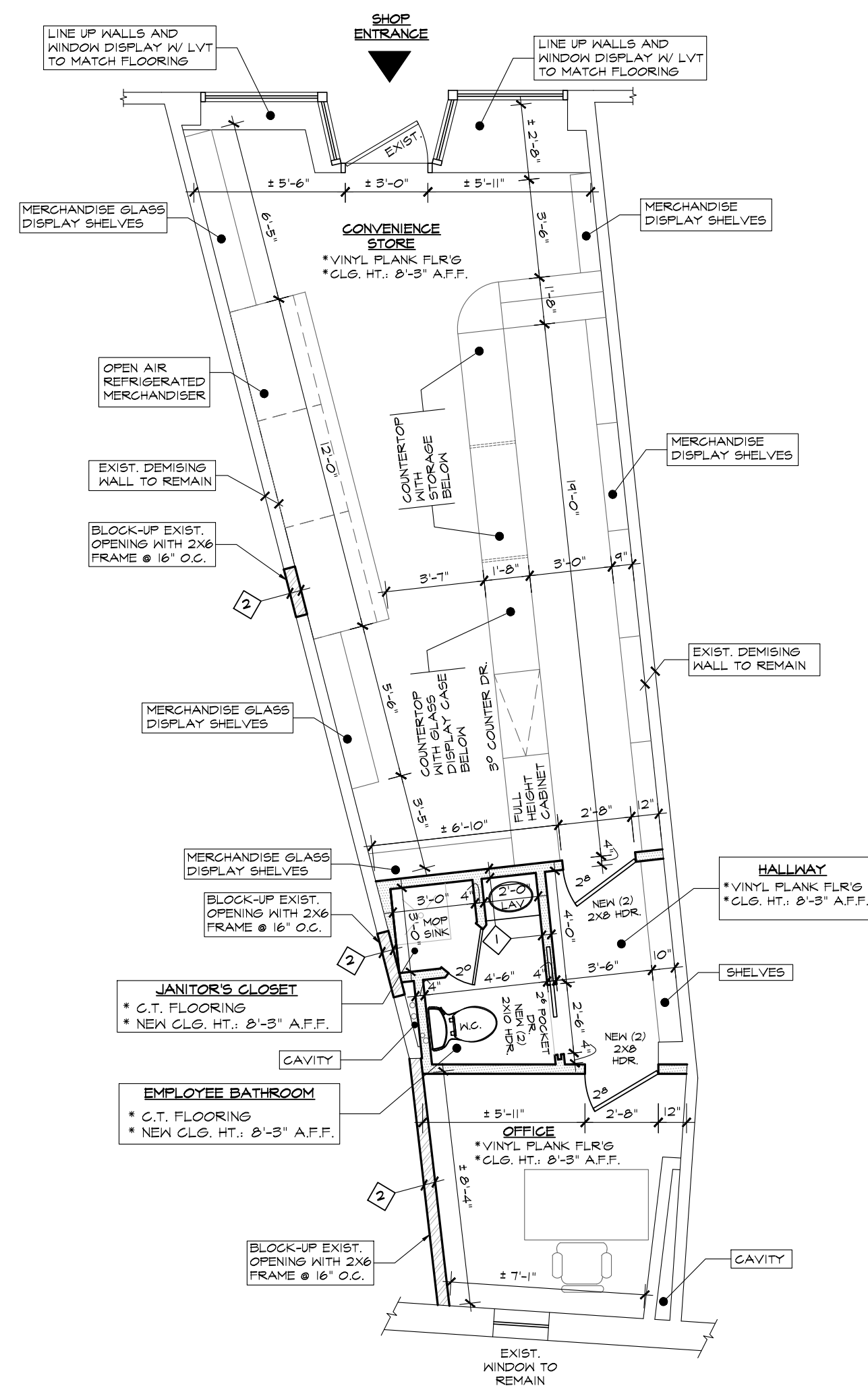
469 ASHFORD AVE.

ARDSLEY, NEW YORK

GENERAL SPECIFICATIONS

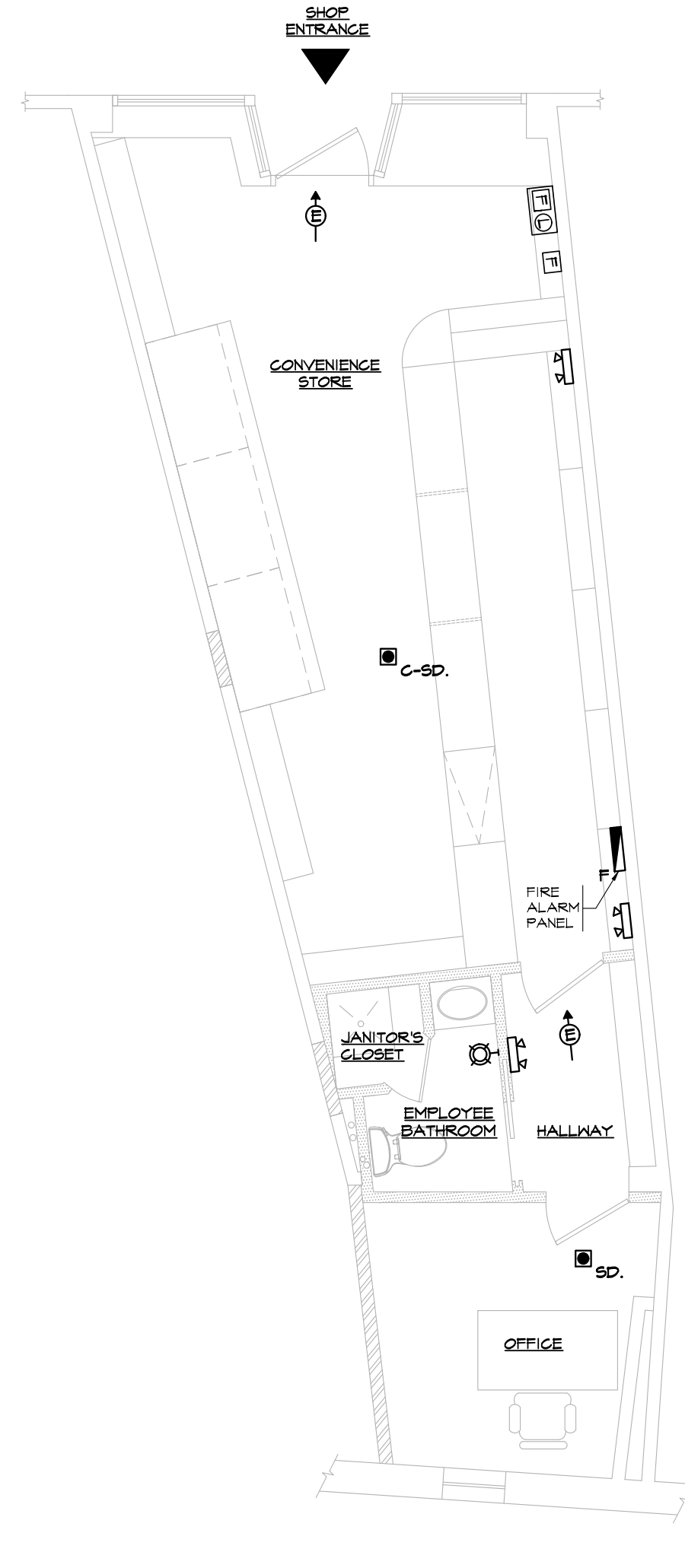
- All work performed shall comply with the Zoning Ordinance of the Village of Ardsley, 2020 Building Code of New York State (BCNYS) and 2020 Energy Conservation Code of New York State (ECCNYS).
- All Electrical work shall comply with requirements of 2017 National Electrical Code, shall be approved by Village of Ardsley, and shall be performed by a NY State Licensed Electrical Contractor.
- All Plumbing work shall be approved by the local Board of Health or Bldg. Department, and shall be performed by a NY State Licensed Plumber.
- Contractor or any subcontractors doing any work under this contract shall carry liability & property damage insurance against accidents of any kind and to provide owner with certificates of said insurance. The General Contractor shall be responsible for obtaining all necessary permits.
- Prior to commencement of work, the Contractor or any Subcontractor(s) doing any work under this contract shall file all required Certificates of Insurance with Building Department, and shall be entirely responsible for obtaining all required permits from all Authorities having jurisdiction on this matter, including but not limited to, environmental & asbestos removal permits if necessary. The Owner shall be responsible for paying permit fees required by the local Building Department and fees required by all other Governmental Agencies having jurisdiction thereof.
- No exterior modifications to store front & exterior facade under this application. Sign and/or awning application, if any, shall be filed under separate application.
- Do not scale drawings. All written measurements shall take precedence over scaled dimensions.
- The Contractor shall check all dimensions on Plans against field conditions prior to construction and shall immediately report any discrepancies to the Architect prior to commencement of project.
- Contractor shall be responsible for inspections by all Authorities and/or Governmental Agencies having jurisdiction on this matter, as may be necessary.
- Minor details not usually shown or specified but necessary for proper construction of any part of the work shall be included as if they were indicated in the Drawings, and the Architect shall be notified in writing prior to commencement of work.

- Minor details not usually shown or specified but necessary for proper construction of any part of the work shall be included as if they were indicated in the Drawings, and the Architect shall be notified in writing prior to commencement of work.
- The Contractor shall comply with and keep himself informed of all Federal, State, Municipal and Departmental Laws, Ordinances, Rules and Regulations, Notices, Orders and Requirements.
- Contractor or any subcontractors doing any work under this contract shall carry liability & property damage insurance against accidents of any kind and to provide owner with certificates of said insurance.
- The Architectural Firm has not been retained for construction inspection services construction supervision and / contract administration of any kind. Architect is not responsible for Contractor's performance, means and methods. Architect has not been retained for asbestos investigative services and / or for preparation of asbestos abatement specifications. Architect not responsible for shop drawing review and execution of project. Architect's responsibility is strictly limited to the contents of working drawings and their related specifications only. Architect is not responsible for any changes to plans & specifications unless specifically authorized by him in writing.
- Damaged Work: Each Contractor shall be held responsible for all damage caused to any work on this project by his own forces or those of his Sub-contractors, or by others connected with his operation on this project in any way and shall make all necessary repairs and replacement of such damaged work at his expense, to the reasonable satisfaction of the Owner. Contractor shall be responsible for adequately bracing all work during construction against damage, breakages, collapse, distortions and off-alignment according to applicable codes, standards and good practice.
- Safety Requirements: The Contractor shall provide necessary bracing and barricades including temporary walks, fences and other protective structures to safeguard construction and public safety.
- The Contractor shall guarantee all work under this contract to be free from defects for a period of one year following acceptance of the completed project by Owner. All unsatisfactory work shall be corrected at no cost to the owner.
- Unless otherwise noted the contractor shall provide & pay for all labor, equipment, tools, machinery transportation, rubbish removal and other facilities necessary for the proper execution of the work.
- Contractor shall protect and be responsible for adjacent structures and spaces within the area or under this contract shall be promptly restored, replaced or repaired at no extra cost to the owner.



FLOOR PLAN
SCALE : 1/4" = 1'-0"

NOTES:
1. NO INTERIOR SPRINKLER SYSTEM DESIGN UNDER THIS APPLICATION
2. NO CHANGES TO EXTERIOR STOREFRONT & WINDOWS UNDER THIS APPLICATION



FIRE ALARM PLAN
SCALE : 1/4" = 1'-0"

NOTE: 1. SEE DETAIL 'X' SHEET A-2 FOR TYPICAL INSTALLATION AND ADA REQUIREMENTS PER NFPA 72 (EDITION 2014)

ELECTRICAL GENERAL NOTES

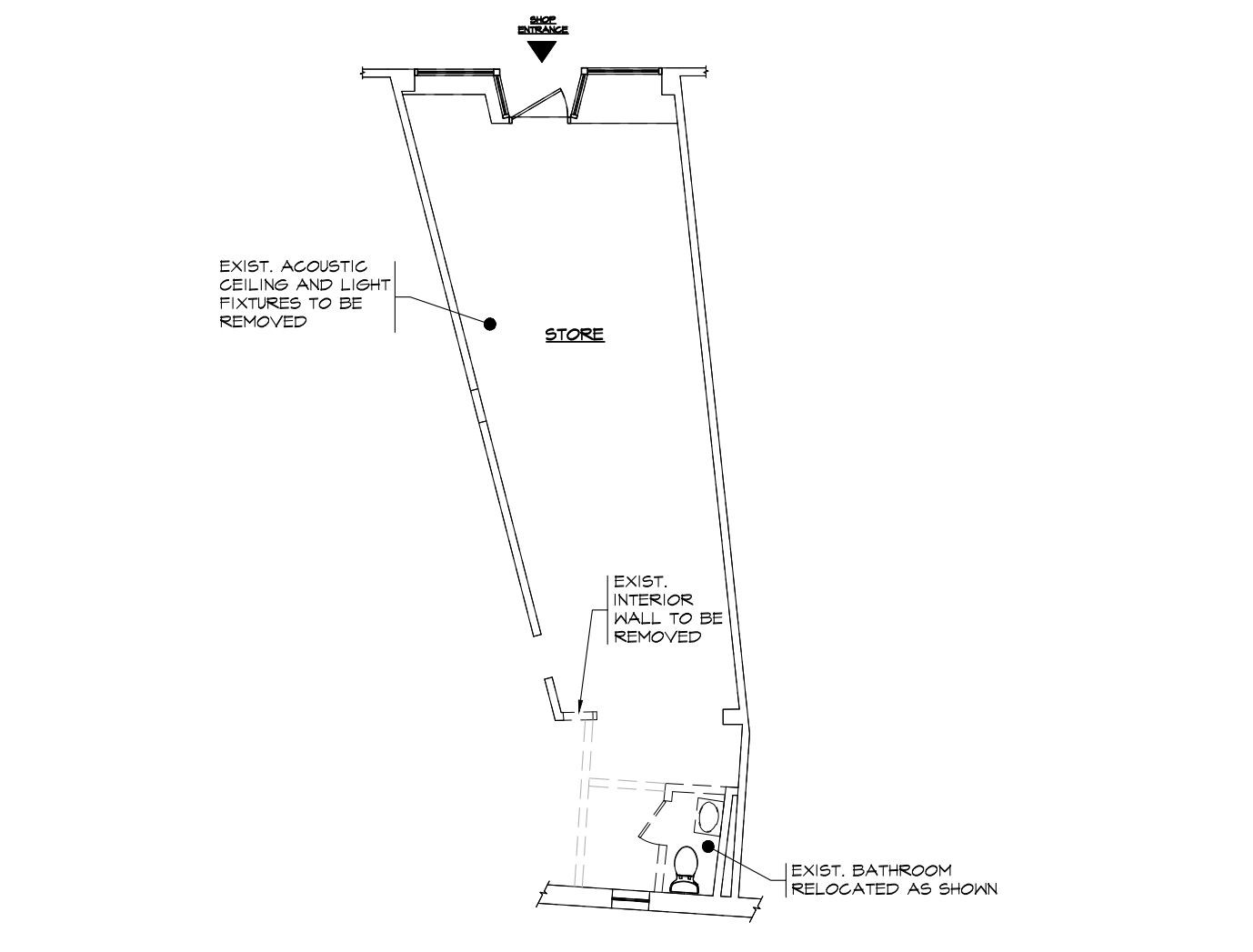
- All materials and workmanship shall conform to the National Electric Code (NEC), National Fire Code (NFPA), State building codes, codes and requirements of the local city, and owners requirements.
- All conduits and equipment shall be installed and ground in accordance with the latest rules and regulations of the applicable local and national codes.
- All material shall be underwriters' laboratories listed for its application where such listing is applicable.
- Drawings are diagrammatic and indicate general arrangement of systems and work. Follow drawings in laying out work and check drawings of other trades to verify space conditions, maintain headroom and space conditions.
- Secure all supports to building structure utilizing toggle bolts (hollow masonry), expansion shields or inserts (concrete and brick), machine screws (metal), beam clamps (framework), wood screws (wood) or pan thru straps (metal deck), nails, rawl plugs and wood plugs are not permitted, where required by structure, provide thru bolts and fish plates. support horizontal runs of metallic raceways not more than 10 ft apart. support raceway risers at each floor level. run exposed raceways parallel with or at right angles to walls.
- Pass raceways over water, steam or other piping when pull boxes are not required. no raceway within 3 inches of steam or hot water pipes or appliances (except pipe crossings where raceway shall be at least 1 inch from pipe covers).
- Verify locations of outlets and switches in finished rooms with architectural drawings of interior details and finish. In centering outlets and locating boxes and outlets, allow for overhead pipes, ducts and mechanical equipment, variations in fireproofing and plastering, window and door trim, paneling, hung ceilings and the like.
- No conduit smaller than 3/4", nor wire size smaller than no. 12 a.w.g. for power shall be used unless otherwise noted.
- All 120V branch circuits greater than 100 linear feet shall be #10 AWG min.
- Leave wires with sufficient slack to permit making final connections, raceways over 10 ft long in which wiring is not installed: furnish fish wire.

FIRE ALARM NOTES

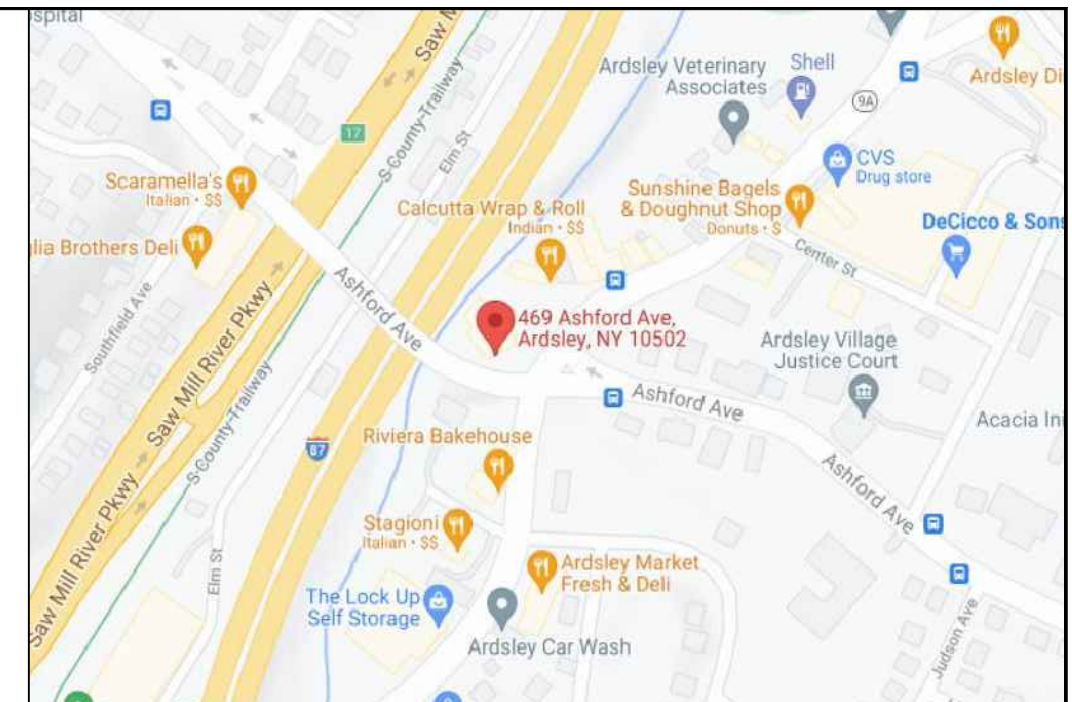
- Provide new fire alarm devices and wiring as indicated on floor plans and risers. All fire alarm wiring shall be #14 twisted for strobes panel #18 twisted/shielded for speakers (plenum rated)
- Contractor shall extend fire alarm wiring and conduit to new fire alarm devices. All new fire alarm devices shall be ADA compliant. All fire alarm device shall be synchronized. Where existing fire alarm devices do not have synchronizing ability the fire alarm device shall be replaced with new.
- Contractor is responsible for programming/ modifying, updating, control modules, etc. as required to provide a complete and code compliant system. Fire alarm contractor to do final fire alarm connections. Contractor responsible to install end of line resistor for new devices, and provide control panel parts as required.
- Contractor is responsible for all fire alarm permit and inspection cost.
- Contractor to confirm that fire alarm panel is adequate to handle new fire strobes. If inadequate, contractor shall provide and install a new strobe interface panel with (2) strobe circuits to accommodate fire alarm strobes.
- Building fire alarm system to remain active during construction. contractor shall notify building owner if construction floors are taken off system. Contractor to pay any cost associated with any fire watch required by local officials during the time that system is off line.
- Provide remote alarm indicator over door of each locked room that contains a smoke or heat detector whether or not shown on the floor plans: such as elevator machine rooms, electric rooms, mechanical rooms, it rooms, etc. (if applicable)

TENANT SAFETY NOTES

- General: All work is to be done in accordance with the NYS Building Code, Village of Ardsley Requirements and all other regulatory agencies having jurisdiction thereof, and/or in any way affected by this project.
- Structural: The contractor is to provide adequate temporary shoring and bracing whenever any existing structural element is being removed or any new structural element is being put into place. All demolition operations, repair operations, and alteration operations are to be done in accordance with New York State Building Code.
- Means of Egress: all existing means of egress from building are to be maintained clear and free of all obstructions, such as building materials, debris, tools etc.
- Fire Safety: All building materials stored at the construction area, and/or in any other area of the building are to be secured in a locked area. Access to such secured areas is to be controlled by the owner and/or the general contractor. All materials are to be stored in an orderly fashion and all flammable materials are to be kept stored in their respective manufacturers' containers. Such materials are to be kept away from sources of heat or combustion and stored in well ventilated areas. All electrical power is to be shut off in areas where there is an open conduit and in construction areas after working hours. The contractor shall at all times make sure that there is no leakage of natural gas in the building or any flammable gas that is used in construction. Contractor shall comply with all applicable laws, ordinances, rules, and regulations for the safety of persons and property, and NYS Building Code.
- Dust Control: Debris, dust, and dirt is to be kept to a minimum and confined to the immediate construction area. The Contractor is to isolate the construction area from occupied building areas by means of temporary partitions or heavy weight drop clothes.
- Noise/Vibration: Noise interference to other tenants shall be kept to a minimum during the work process. All work that may cause noise or vibration disturbance to adjacent tenants shall be performed after normal business hours. Vibrations shall be limited to standard construction. All work that may cause vibration shall be reviewed and approved in advance by the Landlord's designated engineer.
- Occupancy during construction: No one shall occupy portions of spaces under construction during construction operations.
- All required building system shutdowns - electrical, HVAC, plumbing, fire protection and life safety (Class "E" systems) - must be requested in writing and coordinated with, and approved by, Building Management at least three (3) days in advance of desired shutdown.
- EMERGENCIES: In case of an emergency affecting the safety, life & property of the building occupants, including adjoining properties & buildings, general contractor shall act even without special instructions at his/her discretion to immediately prevent such loss or injury.



DEMOLITION PLAN
SCALE : 1/8" = 1'-0"



LOCATION MAP

N.T.S.



WALL LEGEND

	EXIST. WALL TO REMAIN
	EXIST. WALL TO BE REMOVED
	ALL NEW INTERIOR WALLS TO BE 2 X 4 STUDS @ 16" O.C. UNLESS OTHERWISE INDICATED ON PLAN

FIRE ALARM LEGEND

	FIRE ALARM PULL STATION
	FIRE ALARM HORN WITH STROBE LIGHT, MOUNT AT 80" A.F.F.
	STROBE LIGHT WARNING SYSTEM, MOUNT AT 80" A.F.F.
	DUAL LAMP EMERGENCY LIGHTING W/ BATTERY BACK-UP & TEST BUTTON
	FIRE ALARM PANEL
	SMOKE DETECTOR (HARDWIRED & INTERCONNECTED)
	SMOKE AND CARBON MONOXIDE DETECTOR

CLIENT/PROJECT
ARDSLEY CONVENIENCE STORE
MR. MUHEMMED K. ABISSE
469 ASHFORD AVE
ARDSLEY, NY 10502

DRAWING
- GENERAL SPECIFICATIONS
- LOCATION MAP
- TENANT SAFETY NOTES
- FLOOR PLAN
- FIRE ALARM LAYOUT

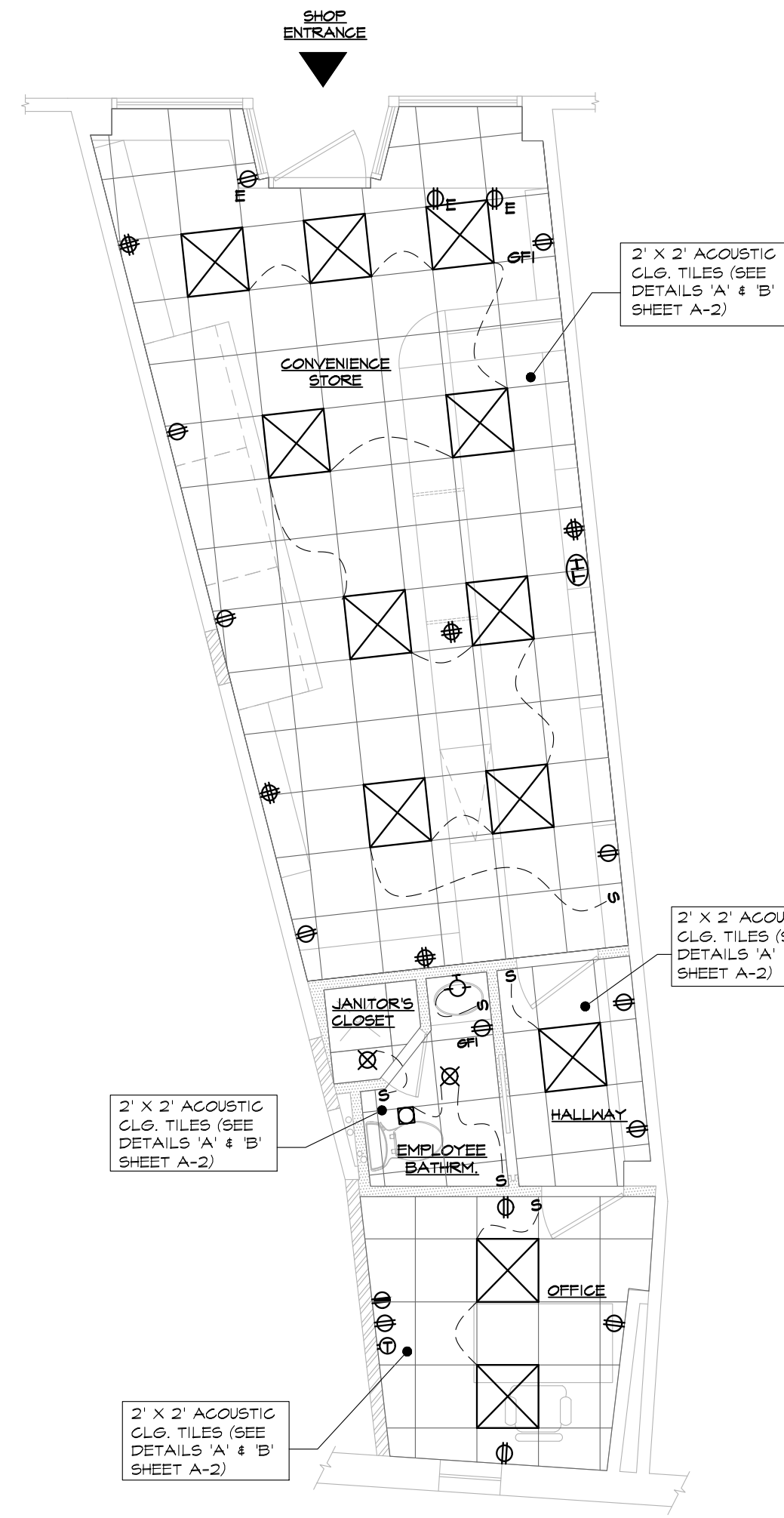
NO.	REVISIONS	DATE

ISSUE LOG	DATE	TO CLIENT
	02/04/22	

MAX PARANGI ARCHITECTS P.C.
NEW YORK OFFICE: 399 KNOWLEDGE ROAD, SUITE 114, WHITE PLAINS, NY 10603
NEW JERSEY OFFICE: 7 DANIEL DRIVE, ENGLEWOOD, NJ 07631
TEL: (914) 686-3359 TEL: (201) 567-5880
EMAIL: INFO@MAXPARANGI.COM WEBSITE: WWW.MAXPARANGI.COM

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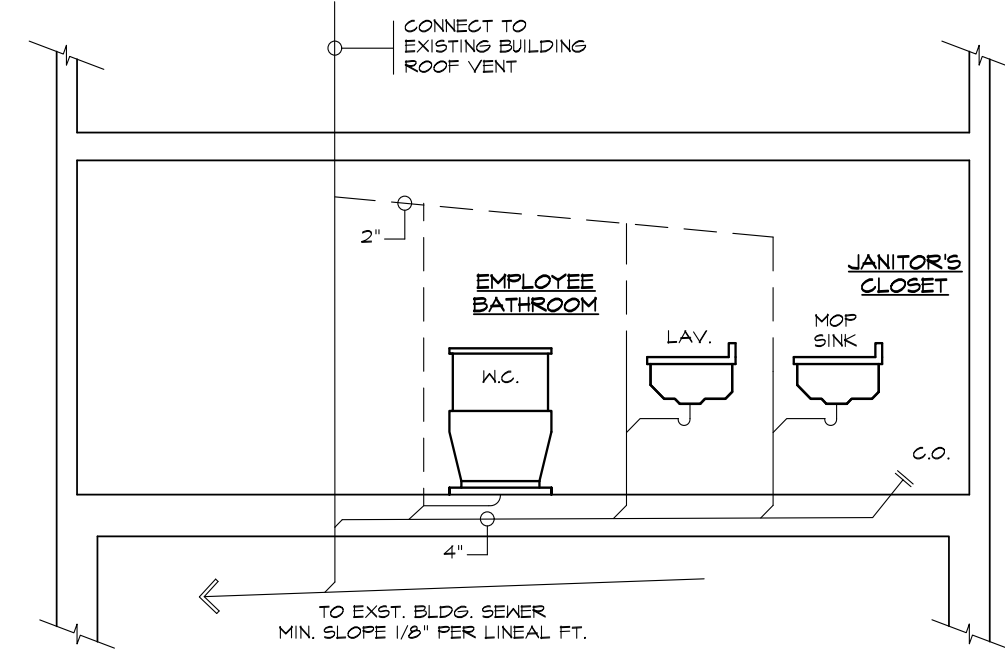
DATE	01/20/22	JOB NO.	22002
SCALE	AS NOTED	DWG. NO.	A-1
DRAWN	SN	CHECKED	MP
SHEET 1 OF 2			



REFLECTED CEILING & ELECTRICAL PLAN

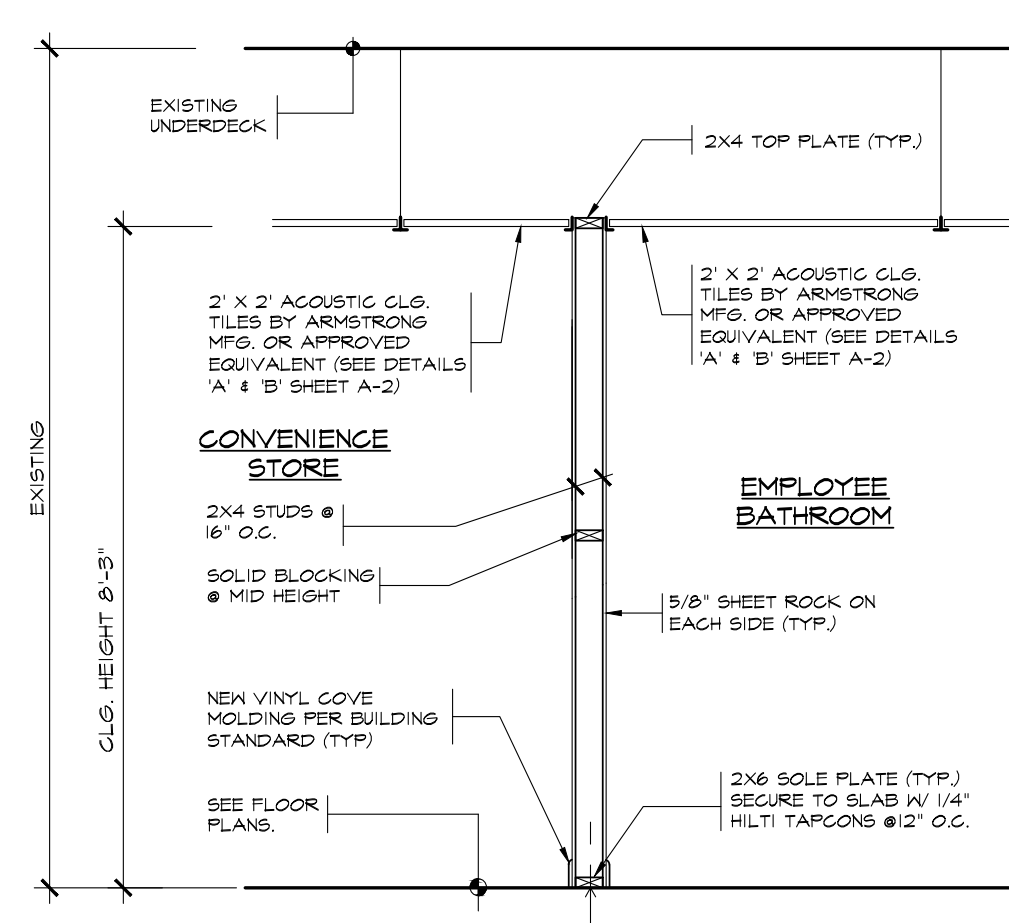
SCALE : 1/4" = 1'-0"

NOTES:
 1. NO INTERIOR SPRINKLER SYSTEM DESIGN UNDER THIS APPLICATION
 2. NO CHANGES TO EXTERIOR STOREFRONT WINDOWS UNDER THIS APPLICATION



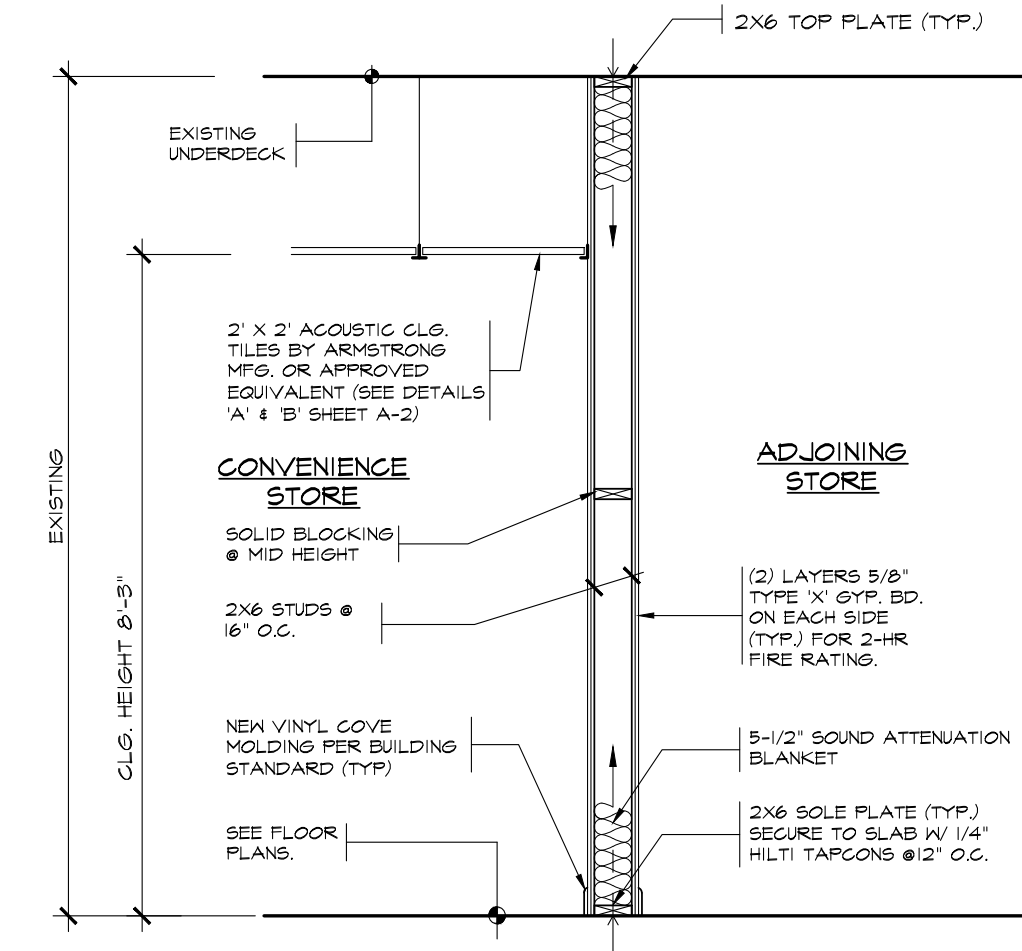
PLUMBING RISER DIAGRAM

N.T.S.



1 TYP. INTERIOR WALL SECTION

SCALE : 1/2" = 1'-0"

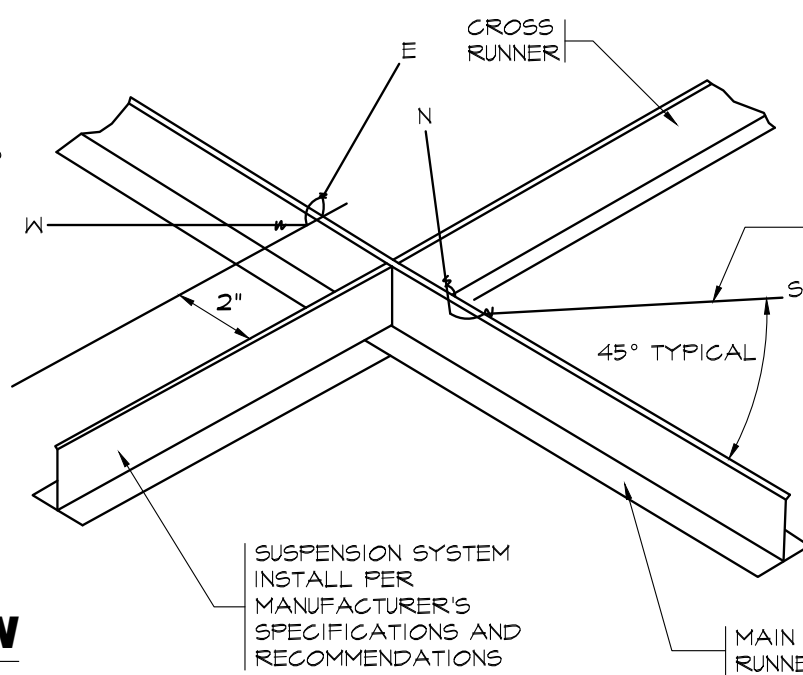


2 TYP. DEMISING WALL SECTION

SCALE : 1/2" = 1'-0"

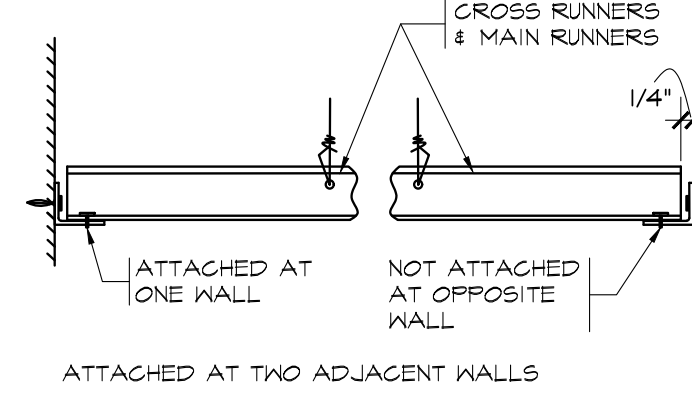
NOTES:

- HANGER WIRES N & S ARE PARALLEL W/ THE MAIN RUNNERS AND ARE REQUIRED AT 20'-0" O.C.
- HANGER WIRES E & W ARE PERPENDICULAR TO THE MAIN RUNNERS AND ARE REQUIRED AT 12'-0" O.C.



ISOMETRIC VIEW

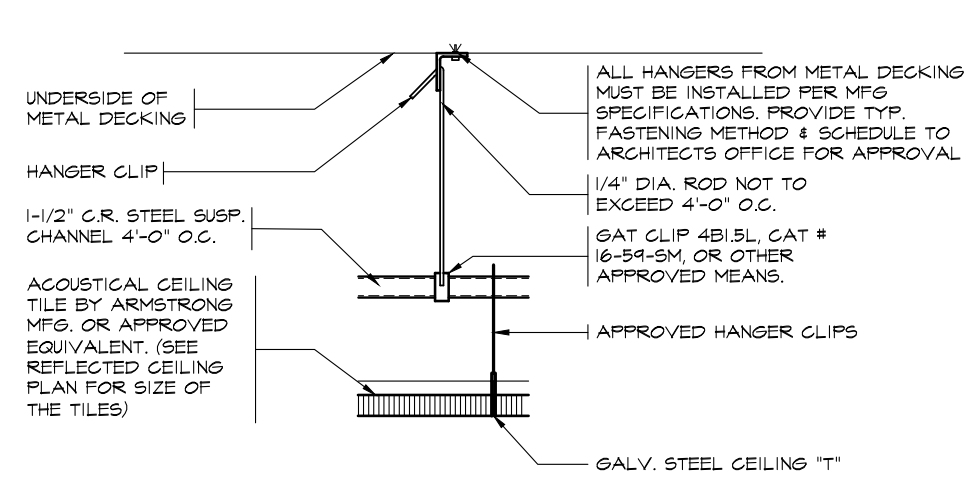
SUSPENSION SYSTEM INSTALL PER MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS



SECTION VIEW AT WALL

A TYPICAL RESTRAINT DETAIL

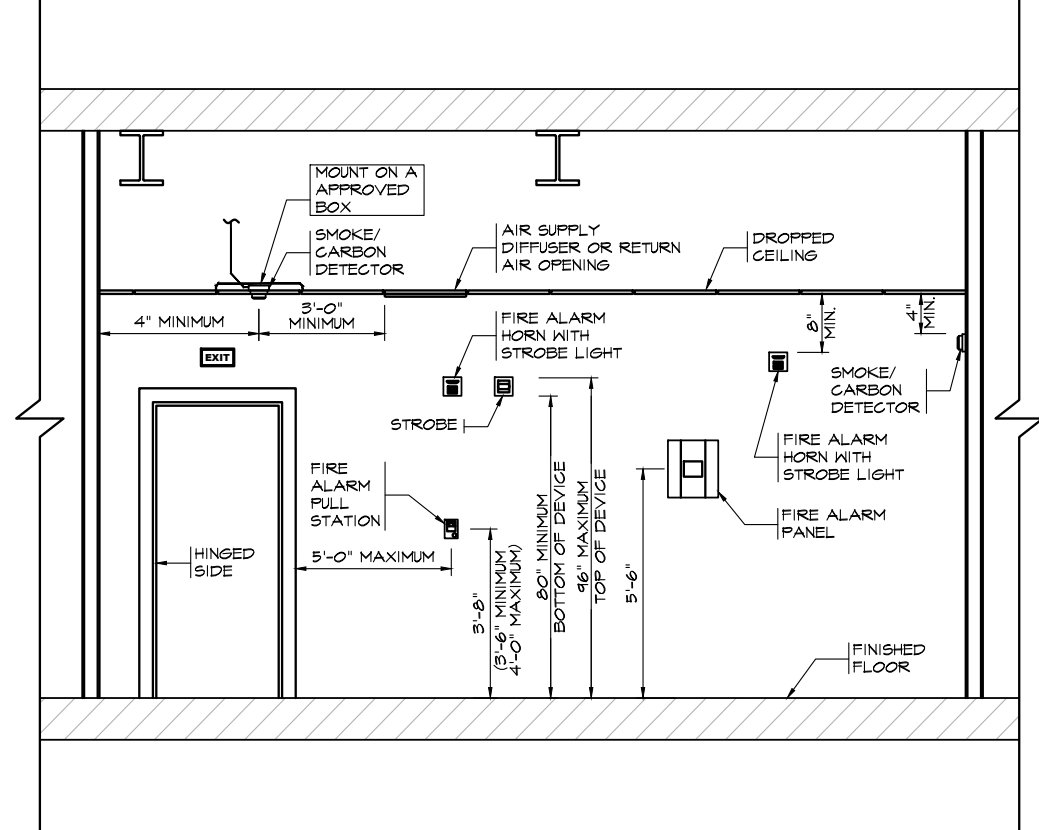
N.T.S.



UNDERSIDE OF METAL DECKING
 HANGER CLIP
 1/2" C.R. STEEL SUSP. CHANNEL 4" O.C.
 ACUSTICAL CEILING TILE BY ARMSTRONG MFG. OR APPROVED EQUIVALENT (SEE REFLECTED CEILING PLAN FOR SIZE OF THE TILES)
 1/4" DIA. ROD NOT TO ENGAGE 4" O.C.
 3/4" CLIP 4815L CAT # 6-94-SM OR OTHER APPROVED MEANS
 APPROVED HANGER CLIPS
 GALV. STEEL CEILING "T"

NOTES:

1. SURFACES OR PENDANT FIXTURES MUST BE INDEPENDENTLY SUPPORTED FROM 1/2" BLACK IRON CHANNELS OR FROM FLOOR OR ROOF CONSTRUCTION.
2. THE TOTAL WEIGHT OF A LIGHT FIXTURE AND OTHER EQUIPMENT (AIR BOXES, ETC.) AND CEILING MATERIAL SUPPORTED BY THE CEILING "T" MUST NOT EXCEED THE ALLOWABLE DEFLECTION OF 1/360 OF ITS SPAN. DEFLECTION DATA MUST BE FURNISHED AND CERTIFIED BY THE MANUFACTURER.
3. ALL HANGERS FROM FLOOR DECK MUST BE INSTALLED PER MFG SPECIFICATIONS. PROVIDE TYP. FASTENING METHOD & SCHEDULE TO ARCHITECTS OFFICE FOR APPROVAL.



X TYP. NFPA 72 / ADA FIRE ALARM INSTALLATION REQUIREMENT

N.T.S.

ELECTRICAL LEGEND

ITEM	DESCRIPTION
⊕	DUPLEX RECEPTACLE OUTLET
⊕	NEW DUPLEX RECEPTACLE OUTLET
⊕	OUTLET WITH GROUND FAULT INTERRUPTER
⊕	QUADRUPLX OUTLET
⊕	TELEPHONE OUTLET
⊕	CABLE TELEVISION OUTLET
⊕	EXHAUST FAN MIN 15 CFM, EXHAUST TO EXTERIOR
S	SINGLE POLE SWITCH
⊗	NEW LED RECESSED LIGHT CEILING FIXTURE, 2-HOUR FIRE RATED RECESSED LIGHT BY HALO MFG. MODEL #H450FR2ICAT OR APPROVED EQUIVALENT.
⊕	EXISTING HVAC THERMOSTAT
⊗	NEW RECESSED 2'X2' TROFFER LIGHTING FIXTURE LITHONIA MODEL #2BLTX2-SSL-ADP-ED-LPB40 OR APPROVED EQUIVALENT.



LITHONIA LIGHTING

2' X 2' LED



HALO
H450FR2ICAT
 4" Fire Safe Housing
 2 Hours Fire Rated
 Typical Applications
 • For Use in Insulated Ceilings
 • For Direct Contact with Insulation
 • For ITC Housing Restricts Airflow Between Conditioned and Unconditioned Areas

HALO FIRE RATED HOUSING

CLIENT/PROJECT
 ARDSLEY CONVENIENCE STORE
 MR. MUHEMMED K. ABISSE
 469 ASHFORD AVE
 ARDSLEY, NY 10502

DRAWING
 - REFLECTED CEILING & ELECTRICAL PLAN
 - PLUMBING RISER DIAGRAM
 - DETAILS

NO.	REVISIONS	DATE

ISSUE LOG	DATE	DESCRIPTION
02/04/22	TO CLIENT	

MAX PARANGI ARCHITECTS P.C.
 NEW YORK OFFICE: 399 KNOLLWOOD ROAD, SUITE 114, WHITE PLAINS, NY 10603
 NEW JERSEY OFFICE: 7 DANIEL DRIVE, ENGLEWOOD, NJ 07631
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 EMAIL: INFO@MAXPARANGI.COM WEBSITE: WWW.MAXPARANGI.COM

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DATE	01/20/22	JOB NO.	22002
SCALE	AS NOTED	DWG. NO.	A-2
DRAWN	SN	CHECKED	MP
SHEET 2 OF 2			

**RESOLUTION TO AWARD BID FOR THE
AUDIO VIDEO PRODUCTION EQUIPMENT FOR THE
UPGRADE OF THE CABLE CONTROL STUDIO**

WHEREAS, a public notice to purchase audio video production equipment for the upgrade of the cable control studio was duly advertised in an official newspaper on January 21, 2022 and;

WHEREAS, on February 18, 2022, at 12:00 p.m. at 507 Ashford Avenue (Court Room), Ardsley, NY 10502 in presence of the Village Manager, Village Clerk and Cable Access Director opened three bids as summarized below;

AUDIO VIDEO PRODUCTION EQUIPMENT/UPGRADE CABLE CONTROL STUDIO

BIDDER	BASE BID
HB Communications, Inc.	\$81,279.13
Tele-Measurements	\$76,505.00
Corortone Audio Visual	\$85,896.35

RESOLVED, that the Village Board of the Village of Ardsley hereby awards the base bid for the Village to Tele-Measurements in the amount of \$76,505.00 to be funded through PEG Account Number 006.7560.0200

NOW, THEREFORE, BE IT RESOLVED, the Village Board of the Village of Ardsley hereby authorizes the Village Manager to execute a contract and all other applicable documents with Tele-Measurements 145 Main Avenue Clifton, NJ 07014 to perform work pertaining to audio video production equipment for the upgrade of the Cable Control Studio.

Tele-Measurements

INCORPORATED

P.O. Box 1078
145 Main Avenue
Clifton, New Jersey 07014



973-473-8822
800-223-0052
FAX: 973-473-0521

February 18th, 2022

Dear Ann Marie,

Here is my proposal for the Audio-Video Production System Upgrade.

For clarity I have annotated the each of the RFP item/line numbers with corresponding proposal item/line numbers.

I've included a number of options for your consideration. They include a Tightrope Media Systems storage/playout server that can be used in conjunction with CivicPlus and storage/playout/streaming/VOD server alternative to CivicPlus that I understand is very competitively priced.

Should you have any questions about any other aspects I would be pleased to have the opportunity to answer them

Sincerely,

A handwritten signature in black ink that reads "James Solly". The signature is written in a cursive, flowing style.

James Solly
Office: 973-473-8822 X213
Cell: 571-276-0770
JSolly@Tele-Measurements.com

Mayor
NANCY KABOOLIAN

Trustees
ANDY DIJUSTO, Deputy Mayor
ASHA BENCOSME
STEVEN EDELSTEIN
CRAIG WEITZ

Village of Ardsley



507 Ashford Avenue
Ardsley, NY 10502
(914) 693-1550
Fax: (914) 693-3706
www.ardsleyvillage.com

Village Manager
JOSEPH L. CERRETANI

Village Treasurer
LESLIE TILLOTSON

Village Clerk
ANN MARIE ROCCO

January 21, 2022

Tele-Measurements Inc.
145 Main Ave
Clifton, NJ 07014
(973) 473-8822

RE: Notice to Bidders for Video Production Equipment

Enclosed please find a notice of bid for various video production equipment to be reviewed by the Village of Ardsley on or before 12 noon on February 18, 2022. On Friday, January 28, 2022, a pre-bid meeting of the Village of Ardsley Court /Auditorium Room, at Village of Ardsley, 507 Ashford Avenue, Ardsley, New York 10502, to discuss equipment upgrade. If interested, please contact Village Clerk's office (914) 693-1550 to schedule appointment.

Village of Ardsley Cable Access Production Studio:

Bidders are advised that they can propose the build of a Video Audio Cable Access Production Studio and Zoom Room intergraded application, however, the equipment must be comparable or of greater equity than the equipment set forth herein

Village of Ardsley Main Meeting Room:

1. Seven (7) Shure MX418SC 18" Cardioid Gooseneck Microphone with Mute Switch and Shock Mount connection point for microphones to Dais, and Podium. Plus reinstall Seven (7) connection point for microphones.
Three (3) Shure MX418D/C Desktop-Mounted 18" Cardioid Gooseneck Microphone with Preamp, Village Manager Table.
Seven (7) GSM-1 Lectern/Podium Shock Mount, Dais and Podium
7 SENNHEISER 005076" IS SERIES 16 IN (40CM) single FLEX GOOSENECK MIC WITH 3 PIN XLR Connector
3 SENNHEISER 505622" TABLE STAND FOR GOOSENECK MIC
2. 4 SONY "SRG120DS" HD PTZ CAMERAS, Cameras 1,2,3,4. 1, Village Manager, Clerk, Attorney. 2, Village Trustee Board Dais. 3, Podium - presenter presentations. 4, & Zoom Room integration of presenters over Zoom Participants.
3. Identify Four (4) static points? Three (3) static point Cameras, (1) static point Podium upgrade, (1) static point Zoom Room Integration

SEE ALSO, ITEM NUMBERS 18 UNDER ZOOM ROOM

4. 1 NEC "NP-ME382LP WUXGA LCD, 3800 Lumen, 1.6x zoom, 10,000-hour lamp projector. Da-Lite 92580 Cosmopolitan Electrol Motorized Projection Screen (58 x 104")
Podium upgrade / Overhead Projector / Projection Screen. Presentations to overhead projector, Main Meeting Room, to control room studio server for archiving and playback, podium include connectivity to Computers, iPhone, iPad, Laptop, all new multi-media connections.
SEE ALSO, ITEM NUMBERS 24, 25, 26, 27, 28, 29, AND 30 UNDER ZOOM ROOM

5. Zoom Room Computers and iPad. Village of Ardsley supply Computers and iPad. Static Point Zoom Room Integration into Studio Control Room. Determine two (2) computers?? plus iPad needs to intergrade Zoom Room application into studio control room system for streaming over website and cable access play back FiOS, Cablevision

6. 1 PHILIPS COMMERCIAL "658DL3010Q 65" Prosumer (1817 Landscape & 1217 Portrait) Display, Zoom Room, Installation of sixty-five-inch (65") monitor to cover Zoom Room participants / presentations for display to Village Trustees, Main Meeting Room.

7. Main Room PA System. Dias Meeting Audio, Phone Intercon, Zoom Room Audio. Feed from Studio Control Room.
SEE ALSO, ITEM NUMBER 29 UNDER ZOOM ROOM

Village of Ardsley Studio Control Room:

8. Netgear / Extron Switcher? Video/Audio Switchers, signal flow from Main Room, Switch - unmanaged, 8x10/100/1000 (PoE+) AV Equipment Rack Integration. This open-cage style AV Rack will be wired including power and cable management. This rack will house the following equipment: Zoom Room Pc, USB to Analog interface, Dual Channel Audio Amplifier, New Audio Mixer, Includes industrial-strength power protection and professional cable management.
SEE ALSO, ITEM NUMBER 4 UNDER MAIN MEETING ROOM AND ITEM NUMBERS 31 AND 32 UNDER ZOOM ROOM

9. Netgear / Extron Switcher? Video/Audio Switchers, signal flow, Switch - unmanaged, 8x10/100/1000 (PoE+) AV Equipment Rack Integration, signal flow from Nexus Server to, FiOS and Cablevision Public Access TV and CivicPlus, streaming Internet.

10. LEIGHTRONIX, UltraNEXUS-HD-X5, HD/SD-SDI Video Server / Automation Controller with 5TB Internal Storage - Record/Playback - HD/SDI and Composite Video Output.

11. LEIGHTRONIX, LGX-WPT, Customized Online Product Training via WebEx (Hours).

12. 1 PTZOptics PT-SUPERJOY-G1 IP & Serial PTZ Camera Joystick Controller, PTZOptics VISCA, VISCA over IP & NDI Joystick Controller, PoE & Universal Power Supply (A, C, G, I)
Robotic Controller with multiple settings, controlling the zoom, pan/tilt movements and angles.
SEE ALSO, ITEM NUMBERS 2 UNDER MAIN MEETING ROOM

13. Blackmagic Design ATEM Television Studio Pro 4K Live Production Switcher, or DataVideo, Video Mixer. Assessment of current DataVideo, Video Mixer.

14. Mackie, Assessment of current Mackie 12 Channel Audio Mixer.

15. Studio Control Room Computer, New Control Computer for Nexus Server Application.
Village of Ardsley supply Computers

16. Telephone Intercom System. Assessment of installation of intercom system that allows Village Trustees to interact with Villagers by telephone.

Village of Ardsley Zoom Room:

17. Blackmagic Design ATEM Television Studio Pro 4K Live Production Switcher.
DataVideo, Owner Furnished Equipment: DataVideo SE-2800 Video Control Switcher.
SEE ALSO, ITEM NUMBER 13 UNDER STUDIO CONTROL CENTER
18. 4 SONY "SRGI20DS" HD PTZ CAMERAS, Four (4), 12 x Optical Pan / Tilt / Zoom Camera 1080p HD Video, USB 2.0, USB 3.0, HDMI, LAN, RS-232. Web based Connectivity.
SEE ALSO, ITEM NUMBERS 2, 3, AND 4 UNDER MAIN MEETING ROOM
19. Zoom Room License, Dedicated Zoom Room Computing Device Solution requires customer provide Zoom Room License.
Village of Ardsley supply
SEE ALSO, ITEM NUMBER 5 UNDER MAIN MEETING ROOM
20. Zoom Room Software, Pre-Configuration above Zoom Room Peripherals - installation of Zoom Rooms software, remote management software.
SEE ALSO, ITEM NUMBER 5 UNDER MAIN MEETING ROOM, 19 UNDER ZOOM ROOM
21. Zoom Room Panel Control. Zoom Rooms Touch Panel Controller with Power over Ethernet (PoE) charger - 10" Touch Screen Controller with Zoom Room Controller Software - preloaded, pre-configured.
Village of Ardsley supply Computers and iPad. Integration into Studio Control Room. Determine two (2) computers?? plus iPad Based on Assessments of Equipment and Bidder
SEE ALSO, ITEM NUMBER 5 UNDER MAIN MEETING ROOM
22. USB to Analog Interface - Allows for connection between the Zoom Room PC and Audio System.
SEE ALSO, ITEM NUMBER 5 UNDER MAIN MEETING ROOM
23. Managed Gigabit Network Ethernet Switch with PoE+ capability - with mounting hardware as required to provide high speed data connectivity to INTEL NUC, LED display, camera, and potential direct run to Zoom Room touch panel for PoE+ operation. Allows for remote management of those devices and only requires a single customer installed data outlet at either the LED or AV location.
SEE ALSO, ITEM NUMBER 5 UNDER MAIN MEETING ROOM
24. Four (4) CRESTRON USB over Catx Transmitter, Receiver with power supply - Extends USB camera video over CAT5 from Camera to AV
SEE ALSO, ITEM NUMBER 4 UNDER MAIN MEETING ROOM
25. Polycom Sound Structure Digital Controlled Matrix Mixer - Digital Software allows for Control of each audio input and output. Include remote support option.
SEE ALSO, ITEM NUMBER 4 UNDER MAIN MEETING ROOM
26. AV Equipment Rack Integration. This open-cage style AV Rack will be wired including power and cable management. This rack will house the following equipment: Zoom Room Pc, USB to Analog interface, Dual Channel Audio Amplifier, New Audio Mixer, Includes industrial-strength power protection and professional cable management.
SEE ALSO, ITEM NUMBER 4 UNDER MAIN MEETING ROOM
27. Two (2) CRESTRON HDMI Video over Catx Transmitter and Receiver with power supply. Extends HDMI camera video over CAT5 from Camera to AV Equipment Cabinet.
SEE ALSO, ITEM NUMBER 4 UNDER MAIN MEETING ROOM
28. Audio Signal Processor and Distribution Amplifier - provides additional audio signal processing for increased voice intelligibility, feedback reduction, remote signal management and allows the distribution of audio signal to multiple destinations such as "Press Output" plates and video production system; plates include multiple audio connectors to accommodate various media.
SEE ALSO, ITEM NUMBER 4 UNDER MAIN MEETING ROOM

29. 8 Extron Electronics 70-1310-03 SF-26CT 6.5-inch Ceiling Speaker (Pair), Eight (8) Ceiling mounted Replacement Loudspeakers. High-density commercial-duty professional-grade loudspeakers, provide areas above audience, presenters, and head tables.
SEE ALSO, ITEM NUMBER 7 UNDER MAIN MEETING ROOM
30. Crestron Dual Channel Amplifier - Commercial amplifier, mount included.
SEE ALSO, ITEM NUMBER 4 UNDER MAIN MEETING ROOM
31. Video Signal Processing and Video Distribution Amplifier - allows the scaling of 4K - HD video signals for distribution to existing Cable TV codec.
SEE ALSO, ITEM NUMBER 8 UNDER
32. Rack Mount Shelving, Miscellaneous Cables, Connectors and Accessories, Rack inside wiring, cabling and mounting package - including necessary cabling and cross connect between video production system and new AV Rack. Including wall mounts for cameras, HDMI cables, Network cables, and surge protection used inside the AV rack.
SEE ALSO, ITEM NUMBER 8 UNDER STUDIO CONTROL ROOM
33. Engineering Labor and AV Design: Creation of parts lists. Creation of construction ready drawings and coordination with local trades (Power, Data Speaker and Control Wiring) as well as project management.
34. Electrical Contractor to install electrical outlets as needed.
35. Owner Furnished Equipment: Zoom PC
36. Owner Furnished Equipment: Tablet for Zoom Control
37. Owner Furnished Equipment: Zoom Room license(s)
38. On-Site Installation of the above quoted AV equipment in the existing AV rack after de-installing equipment plus cabling and weirs that are no longer required.
39. CivicPlus - Client shall have sole control and responsibility over the determination of which data and information shall be included in the content that is to be transmitted and stored by CivicPlus. Client shall not provide to CivicPlus or allow to be provided to CivicPlus any content that (a) infringes or violates any 3rd party's Intellectual Property rights, rights of publicity or rights of privacy, (b) contains any defamatory material, or (c) violates any federal, state, local, or foreign laws, regulations, or statutes.

NOTICE TO BIDDERS FOR

PLEASE TAKE NOTICE that the Village Clerk of the Village of Ardsley will receive sealed bids at the Court / Auditorium Room, Village of Ardsley, 507 Ashford Avenue, Ardsley, New York 10502 until 12:00 PM on February 18, 2022, for the purchase of a Video / Cable Access Production and Zoom Room Equipment upgrade of the Village of Ardsley Cable Control Studio, in accordance with specifications available in the office of the Village of Ardsley, Village Clerk for, Court / Auditorium Room and Cable Control Room Studio.

The Village Board of Trustees reserves the right to reject any or all bids.

INFORMATION FOR BIDDERS

The bidder, in submitting his bid or proposal, agrees to enter into said contract with the Village of Ardsley, if he is the successful bidder, for the equipment and / or service in accordance with bid or proposal.

The bidder agrees to provide all equipment listed and complete installation in the Village of Ardsley's Court / Auditorium Room and Cable Control Room Studio.

The signed bid must be enclosed in a sealed envelope, to be plainly marked, "BID FOR the Village of Ardsley, Village Clerk for, Court / Auditorium Room and Cable Control Room Studio."

The Village of Ardsley is exempt from payment of all Federal and New York State taxes. Tax exemption certifications will be issued to the successful bidder.

The bidder is to familiarize himself with all provisions of these specifications, and shall not at any time after submitting bid, dispute any of the specifications or assert that there was misunderstanding regarding the furnishing and delivering of the items called for in this proposal.

No bid will be accepted from, or contract awarded to, a bidder in default upon any obligation to the Village of Ardsley.

The Village Board of Trustees reserves the right to select the bid proposal, the acceptance of which will, in their judgment, best secure the material and/or equipment called for in these specifications, or which will be for the best interests of the Village of Ardsley (irrespective of whether it is the low bid, the high bid, or otherwise), or to reject any or all bids. Proposals which are incomplete, conditional, or obscure or which contain conditions not called for, erasures, alterations, or irregularities of any kind, may be rejected as informal, or may be waived at the discretion of the Village of Ardsley if any informality is deemed immaterial and nonprejudicial to the Village of Ardsley and other bidders.

The Village of Ardsley reserves the right to increase or decrease the quantities or amounts specified, in its unlimited discretion, and the bidder waives and releases any claim arising therefrom.

Upon acceptance by the Village of Ardsley Board of Trustees, this bid, with all attachments, conditions, and specifications, shall constitute a contract between the Village of Ardsley and the supplier.

The bid notice, information for bidders, and specifications, all annexed hereto, are part of this contract.

Bidders must submit with his bid detailed specifications, sample if requested, and all necessary data on the material and/or equipment he proposes to be furnished. If the material and/or equipment offered differs from the minimum provisions contained in this specification, such differences must be explained in detail and bid will receive careful consideration if such deviations do not depart from the intent of this specification and are to the best interests of the Village of Ardsley, as interpreted by the Village of Ardsley Board of Trustees.

Bidder guarantees that the material and/or equipment offered is standard new material and/or equipment, latest model of regular stock product with parts regularly used for the type of material and/or equipment offered; that such parts are all in production and none likely to be discontinued; also that no attachment or part has been substituted or applied contrary to manufacturer's standard guarantee against defect in design, materials, or workmanship applied to all material and/or equipment delivered to the Village of Ardsley.

No name other than the manufacturers shall appear on the material and/or equipment.

The bidder must be authorized to do business within the State of New York and be currently in good standing.

The bidder must certify to the Village of Ardsley that he is current in his payment of all franchise and other taxes due the State of New York.

The bidder must certify that no officer, director, or stockholder (if less than ten (10) stockholders) of the successful bidder is an stockholder does exist, their names and relationship must be disclosed to the Village of Ardsley.

VILLAGE OF ARDSLEY CABLE ACCESS PRODUCTION STUDIO UPGRADE

PROJECT SUMMARY:

The complete functionality of a Cable Access Production Studio with integrated Zoom Room capability. Bidders are advised that they can propose the build of a Video Audio Cable Access Production Studio and Zoom Room intergraded application, however, the equipment must be comparable or of greater equity than the equipment set forth herein

BIDDER

This Invitation to Bid is directed to Bidders who have the expertise in and reputation for professionally building, upgrading, installing, and integrating a video, audio production and Zoom Room application.

PROJECT LOCATION

The Village of Ardsley

Main Meeting Room and Control Room

507 Ashford Avenue

Ardsley, New York

THE SCOPE OF WORK

The following shall be performed in the Main Meeting Room and Studio Control Room for The Village of Ardsley:

- **The creation of a** hybrid application of integrated video and audio production with a Zoom Room application for a single display of **live and archived Village of Ardsley meetings** on Cablevision, FiOS, Zoom Room, and CivicPlus
- **The** capturing and archiving of the hybrid application signal on the Nexus server for transmission from the Nexus server to Cablevision, FiOS, Zoom Rom and CivicPlus
- Maintain the functionality of the video and audio connection to live streaming over The Village of Ardsley's website
- A schematic design and engineering of the flow of the video and audio signals for broadcasting through the Nexus server out to the cable networks and streaming services. Include fabrication, identification and labeling all new camera whips, pull points, termination points, racks, furniture, and cabling
- Interconnect systems, **including new and existing office furniture**, commission and rewire new systems to ensure functionality that expands beyond past basic intended use or need, and connection to internal and external equipment at the Project Location
- Rack and mount new upgraded quoted equipment
- The Village of Ardsley, Civic Plus and Bidder shall have sole control and responsibility over the determination of which data and information shall be included in the content that is to be transmitted and stored by CivicPlus, Cablevision and FiOS cable Access Television Playback
- Local presentations will be projected through a new projector
- Installation of a new multi-media wall plate that enables USB, HDMI and other connections including, but not limited to, USB, HDMI
- Establish source sharing between projector presentations and Zoom

- Identification and installation of a new 65-inch monitor, with Zoom video and audio output, in the rear of the Meeting Room that will accommodate interaction between remote participants and Village Trustees. This output will also go to CivicPlus, Cablevision and FiOS cable Access Television feeds. The Zoom Audio Output will return to the mixer for output to the CivicPlus, Cablevision and FiOS cable Access Television feed
- Attend Kickoff meeting (either onsite or remote) to be scheduled upon receipt of order by the successful Bidder
- Set tentative schedule for installation. Equipment will be received and stored at Bidder location until site installation can be scheduled
- Provide onsite, white-glove professional services, including, but not limited to, scheduling and coordinating delivery of equipment and materials to the appropriate location at the Project Location.
 - Services shall be provided by Bidder's employees; only in special circumstances will a third-party party delivery service be used.
 - Equipment packaging will be removed from site or disposed of properly from the Project Location.
 - Area will be left clean after installation.
 - Clear cable pathways and keep Cable distance within spec of newly installed equipment.
- The Village of Ardsley Responsibilities, for supplying Computers, Laptops and iPads for the network (wired and wireless) where computers are applicable.
- Responsible for ensuring all owner furnished software licensing is documented, and passwords and log-in information are available at the time of installation.
- All environmental conditions are the responsibility of the owner - HVAC, power, etc. Reasonable access onsite - normal business hours, free from other Trades working (i.e., Electrical, Painting, etc.), clear path to all necessary locations, elevators, etc. - are the responsibility of the Village of Ardsley.
- No expansion of scope of work without prior written approval by the Village of Ardsley's Trustees
- Any functional / equipment needs not fulfilled by new or owner furnished gear at the time of installation will be the responsibility of the Village of Ardsley.
- Responsible for knowing and recommendation on whether existing and new equipment should be integrated.

DETAILED SPECIFICATIONS

DELIVERY: Not to exceed 60 calendar days from date of order.

BID FORM

I. We hereby propose to furnish, complete and equipped in accordance with the specifications, _____

For a lump sum price of:

Fiftytwo Thousand Dollars (\$52,000.00)

OR

For unit prices as follows:

See attached breakdown	\$ _____
_____	\$ _____
_____	\$ _____

II.

THE ABOVE PRICES(S) IS (ARE) NET AND DOES, (DO) NOT INCLUDE ANY

STATE OR

FEDERAL TAXES.

II. We hereby state that the material and/or equipment to be furnished meets in all respects the specifications, with the following exceptions: (explain fully – use reverse side for additional space).

See Cover Letter, Equipment Price Breakdown, annotated RFP and Equipment Spec Sheets

III. We hereby state that the material and/or equipment to be furnished exceeds the specifications in the following respects: (explain fully – use reverse side for additional space).

See Cover Letter, Equipment Price Breakdown, annotated RFP and Equipment Spec Sheets

NON-COLLUSIVE BIDDING CERTIFICATION

By submission of this bid, each bidder and each person signing on behalf of any bidder certifies, and in the case of a joint bid each party thereto certifies as to its own organization, under penalty of perjury, that to the best of knowledge and belief:

1. The prices in this bid have been arrived at independently without collusion, consultation, communication, or agreement for the purpose of restricting competition, as to any matter relating to such prices with any other bidder or with any competitor;
2. Unless otherwise required by law, the prices which have been quoted in this bid have not knowingly been disclosed by the bidder and will not knowingly be disclosed by the bidder prior to opening, directly or indirectly, to other bidder or to any competitor; and
3. No attempt has been made or will be made by the bidder to induce any other person, partnership, or corporation to submit or not to submit a bid for the purpose of restricting competition.

COMPANY: Tele-Measurements

BY: James Solly



ADDRESS : 145 Main Avenue, Clifton, NJ 07014

PHONE : 571-276-070

DATE: February 18th, 2022

Notice To Bidders for the Purchase of the following Equipment
UNIT PRICE / EACH

Village of Ardsley Cable Access Production Studio:

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7 SENNHEISER 905076 IS SERIES 16 IN (10CM) single FLEX GOOSENECK MICS WITH 3 PIN XLR Connector

3 SENNHEISER 505622 TABLE STAND FOR GOOSENECK MIC
2. 4 SONY "SRGI20DS" HD PTZ CAMERAS, Cameras 1,2,3,4. 1, Village Manager, Clerk, Attorney. 2, Village Trustee Board Dais. 3, Podium – presenter presentations. 4, & Zoom Room integration of presenters over Zoom Participants.
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Da-Lite 92580 Cosmopolitan Electrol Motorized Projection Screen (58 x 104")
Podium upgrade / Overhead Projector / Projection Screen. Presentations to overhead projector, Main Meeting Room, to control room studio server for archiving and playback, podium include connectivity to Computers, iPhone, iPad, Laptop, all new multi-media connections.
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SEE ALSO, ITEM NUMBER 5 UNDER MAIN MEETING ROOM, 19 UNDER ZOOM ROOM
21. Zoom Room Panel Control. Zoom Rooms Touch Panel Controller with Power over Ethernet (PoE) charger - 10" Touch Screen Controller with Zoom Room Controller Software - preloaded, pre-configured.
Village of Ardsley supply Computers and iPad. Integration into Studio Control Room. Determine two (2) computers?? plus iPad Based on Assessments of Equipment and Bidder
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29. 8 Extron Electronics 70-1310-03 SF-26CT 6.5-inch Ceiling. Speaker (Pair), Eight (8) Ceiling mounted Replacement Loudspeakers. High-density commercial-duty professional-grade loudspeakers, provide areas above audience, presenters, and head tables.
SEE ALSO, ITEM NUMBER 7 UNDER MAIN MEETING ROOM

30. Crestron Dual Channel Amplifier - Commercial amplifier, mount included.
SEE ALSO, ITEM NUMBER 4 UNDER MAIN MEETING ROOM
31. Video Signal Processing and Video Distribution Amplifier - allows the scaling of 4K - HD video signals for distribution to existing Cable TV codec.
SEE ALSO, ITEM NUMBER 8 UNDER
32. Rack Mount Shelving, Miscellaneous Cables, Connectors and Accessories, Rack inside wiring, cabling and mounting package - including necessary cabling and cross connect between video production system and new AV Rack. Including wall mounts for cameras, HDMI cables, Network cables, and surge protection used inside the AV rack.
SEE ALSO, ITEM NUMBER 8 UNDER STUDIO CONTROL ROOM
33. Engineering Labor and AV Design: Creation of parts lists. Creation of construction ready drawings and coordination with local trades (Power, Data Speaker and Control Wiring) as well as project management.
34. Electrical Contractor to install electrical outlets as needed.
35. Owner Furnished Equipment: Zoom PC
36. Owner Furnished Equipment: Tablet for Zoom Control
37. Owner Furnished Equipment: Zoom Room license(s)
38. On-Site Installation of the above quoted AV equipment in the existing AV rack after de-installing equipment plus cabling and weirs that are no longer required.
39. CivicPlus - Client shall have sole control and responsibility over the determination of which data and information shall be included in the content that is to be transmitted and stored by CivicPlus. Client shall not provide to CivicPlus or allow to be provided to CivicPlus any content that (a) infringes or violates any 3rd party's Intellectual Property rights, rights of publicity or rights of privacy, (b) contains any defamatory material, or (c) violates any federal, state, local, or foreign laws, regulations, or statutes.

Regards,

Joseph Cerretani
Joseph Cerretani
Village Manager

Tele-Measurements

INCORPORATED



P.O. Box 1078
145 Main Avenue
Clifton, New Jersey 07014

973-473-8822
800-223-0052
FAX: 973-473-0521

**Ardley Village
Audio-Video Production Upgrade**

Submitted By: James Solly
Tele-Measurements Proposal: 33611
Date: February 18, 2022

Item No.	Qty.	Manufacturer	Part Number	Description	Unit Price	Extended Price
1	7	Astatic	GSM-1	Microphone Shock Mount	\$87.00	\$609.00
2	1	Blamp Systems	TesiraFORTE VT	12 Input 8 Output DSP Includes: 4 Channel USB Input/Output	\$3,000.00	\$3,000.00
3	2	Blackmagic Design	CONVMUDCSTD/H	HDMI and SDI Up/Down/Cross Converter	\$155.00	\$310.00
4	1	Blackmagic Design	VHUBSMTCS6G1212	12 X 12 Video Routing Switch	\$1,495.00	\$1,495.00
5	1	Creston Electronics	AMP-X300	4 Channel 75 W Amplifier	\$660.00	\$660.00
6	1	Da-Lite	92580	104 X 58 inch	\$1,189.00	\$1,189.00
7	4	Extron Electronics	70-1310-03	SF-26CT 6.5 inch Ceiling Speaker (Pair)	\$428.00	\$1,712.00
8	4	Icron	2304	USB 2.0 Extender	\$403.00	\$1,612.00
9	2	Kramer Electronics	TP-580R TP-580T	HDMI HDBase T RX HDMI HDBase T TX	\$450.00	\$900.00
10	1	NEC	NP-ME403U	4,000 Lumens WUXGA Projector	\$1,319.00	\$1,319.00
11	1	NETGEAR	GS524PP	24 Port PoE+ LAN Switch	\$484.00	\$484.00
12	1	PTZOptics	PTSUPERJOYG1	Camera Remote Control	\$890.00	\$890.00
13	3	Shure	MX418D/C	18 inch Desktop Gooseneck Microphone	\$315.00	\$945.00
14	7	Shure	MX418S/C	18 inch Gooseneck Microphone	\$244.00	\$1,708.00
15	1	Sony Electronics	FWD-65X81CH	65 inch LED LCD TV Including: Flat-Panel Display Mount	\$1,267.00	\$1,267.00
16	4	Sony Electronics	SRG-120DS	Robotic Camera	\$1,525.00	\$6,100.00

17	1	Tele-Measurements		Cable and hardware Including: 1 X SDI to USB Converter 1 X HDMI Wall Plate 4 X Camera Wall Mount 4 X Rack Shelf 3 X LCD Mount	\$3,000.00	\$3,000.00
18	1	Tele-Measurements		Engineering, drawing and project management Including: Zoom Room Software (OFE) Evaluate Mackie Mixer (OFE) Evaluate Phone Intercom system (OFE)	\$5,600.00	\$5,600.00
19	1	Tele-Measurements		Installation Including OFE: 3 Bay Console 1 X Datavideo SE-2800 Production Switch 3 X PC, keyboard, mouse and display (OFE)	\$19,200.00	\$19,200.00
20		Tele-Measurements		Freight	\$400.00	\$0.00
21					\$0.00	\$0.00
22					\$0.00	\$0.00
Total						\$52,000.00

Options

Item No.	Qty.	Manufacturer	Part Number	Description	Unit Price	Extended Price
	1	Blackmagic Design	SWATEMTVSTU/PRO	ATEM HD Video Production Switch	\$2,295.00	\$2,295.00
	1	Blackmagic Design	SWATEMPSW1ME4K	1 ME 4K Video Production Switch	\$2,495.00	\$2,495.00
	2	Blackmagic Design	SWPANELADV1ME	ATEM 1 ME Advanced Control Panel	\$3,079.00	\$3,079.00
	1	Blackmagic Design	HDL-SMTWScope DUO4K2	Dual 7 inch LCD Scope	\$795.00	\$0.00
	1	Premier Mounts	PDS-PLUS	Projector Mount	\$145.00	\$145.00
	2	Premier Mounts	PP-FCTA-QL	Suspended Ceiling Mount	\$155.00	\$155.00
	1	Matrox	Monarch HDX	Encoder	\$1,395.00	\$1,395.00
	1	Tightrope Media Systems	VIOLITE-600 CGPLAYER-LIC VIOLITE-HA CO-PILOT	2 Channel SDI/HD SDI Server System Including: Server CG Bulletin Board Software Extended Warranty (5 Years) Training (5 Hours) Configuration and Installation	\$14,505.00	\$14,505.00
	1	Tightrope Media Systems	VIOLITE-OMNI VIOLITE-OMNI-HA CO-PILOT	1 Channel HD SDI Server System with Streaming and VOD Including: Server with CG Extended Warranty (5 Years) Training (5 Hours) Configuration and Installation	\$21,355.00	\$21,355.00
	2	Tightrope Media Systems	REFLECT-BND	Reflection Service (1 year)	\$2,200.00	\$2,200.00
	1	Tele-Measurements		Engineering, drawing and project management Per Hour	\$140.00	\$140.00
	2	Tele-Measurements		Training Per Hour	\$120.00	\$120.00
	3	Tele-Measurements		Installation Per Hour	\$120.00	\$120.00
					\$0.00	\$0.00

Notes:

- 1 This proposal is valid for 30 calendar days.
- 2 This proposal is the property of Tele-Measurements and cannot be shared with a third party.
- 3 This proposal does not include any federal or state taxes.
- 4 This proposal does not include supply and installation of power outlets.
- 5 This proposal does not include supply and installation of conduits, ducts and raceways.

Mayor
NANCY KABOOLIAN

Trustees
ANDY DIJUSTO, Deputy Mayor
ASHA BENCOSME
STEVEN EDELSTEIN
CRAIG WEITZ

Village of Ardsley



507 Ashford Avenue
Ardsley, NY 10502
(914) 693-1550
Fax: (914) 693-3706
www.ardsleyvillage.com

Village Manager
JOSEPH L. CERRETANI

Village Treasurer
LESLIE TILLOTSON

Village Clerk
ANN MARIE ROCCO

Village of Ardsley Main Meeting Room:

1. Seven (7) Shure MX418SC 18" Cardioid Gooseneck Microphone with Mute Switch and Shock Mount connection point formicrophones to Dais, and Podium. Plus reinstall Seven (7) connection point for microphones.
Three (3) Shure MX418D/C Desktop-Mounted 18" Cardioid Gooseneck Microphone with Preamp, Village Manager Table.Seven (7) GSM-1 Lectern/Podium Shock Mount, Dais and Podium

See Proposal Items 1, 13 and 14

2. 4 SONY "SRGI2ODS" HD PTZ CAMERAS, Cameras 1,2,3,4. 1, Village Manager, Clerk, Attorney. 2, Village Trustee BoardDais. 3, Podium - presenter presentations. 4, & Zoom Room integration of presenters over Zoom Participants.

See Proposal Item 16

3. Identify Four (4) static points? Three (3) static point Cameras, (1) static point Podium upgrade, (1) static point Zoom RoomIntegration

SEE ALSO, ITEM NUMBERS 18 UNDER ZOOM ROOM

See Proposal item 17

4. 1 NEC "NP-ME382LP WUXGA LCD, 3800 Lumen, 1.6x zoom, 10,000-hour lamp projector.
Da-Lite 92580 Cosmopolitan Electrol Motorized Projection Screen (58 x 104")
Podium upgrade / Overhead Projector / Projection Screen. Presentations to overhead projector, Main Meeting Room, to control room studio server for archiving and playback, podium include connectivity to Computers, iPhone, iPad, Laptop, allnew multi-media connections.

SEE ALSO, ITEM NUMBERS 24, 25, 26, 27, 28, 29, AND 30 UNDER ZOOM ROOM

See Proposal Items 6 and 10

5. Zoom Room Computers and iPad. **Village of Ardsley supply Computers and iPad.** Static Point Zoom Room Integration intoStudio Control Room. **Determine two (2) computers?? plus iPad** needs to intergrade Zoom Room application into studio control room system for streaming over website and cable access play back FiOS, Cablevision

See Proposal item 20

6. 1 PHILIPS COMMERCIAL "658DL3010Q 65" Prosumer (1817 Landscape & 1217 Portrait) Display, Zoom Room, Installation of sixty-five-inch (65") monitor to cover Zoom Room participants / presentations for display to Village Trustees, Main Meeting Room.

See Proposal Item 15 (Sony Electronics)

7. Main Room PA System. Dias Meeting Audio, Phone Intercon, Zoom Room Audio. Feed from Studio Control Room.

SEE ALSO, ITEM NUMBER 29 UNDER ZOOM ROOM

See Proposal Items 5 and 7 (Crestron Electronics and Extron Electronics)

Village of Ardsley Studio Control Room:

8. Netgear / Extron Switcher? Video/Audio Switchers, signal flow from Main Room, Switch - unmanaged, 8x10/100/1000 (PoE+) AV Equipment Rack Integration. This open-cage style AV Rack will be wired including power and cable management. This rack will house the following equipment: Zoom Room Pc, USB to Analog interface, Dual Channel Audio Amplifier, New Audio Mixer, Includes industrial-strength power protection and professional cable management.

SEE ALSO, ITEM NUMBER 4 UNDER MAIN MEETING ROOM AND ITEM NUMBERS 31 AND 32 UNDER ZOOM ROOM

See Proposal Items 4, 5 and 11 (Blackmagic Design, Crestron Electronics and Netgear)

9. Netgear / Extron Switcher? Video/Audio Switchers, signal flow, Switch - unmanaged, 8x10/100/1000 (PoE+) AV Equipment Rack Integration, signal flow from Nexus Sever to, FIOS and Cablevision Public Access TV and CivicPlus, streaming Internet.

See Proposal Items 4 and 11 (Blackmagic Design and Netgear)

10. LEIGHTRONIX, UltraNEXUS-HD-X5, HD/SD-SDI Video Server / Automation Controller with 5TB Internal Storage -Record/Playback - HD/SDI and Composite Video Output.

Discontinued/Deleted. Per conversation with George Malone February 9, 2022

11. LEIGHTRONIX, LGX-WPT, Customized Online Product Training via WebEx (Hours).

Discontinued/Deleted. Per conversation with George Malone February 9, 2022

12. 1 PTZOptics PT-SUPERJOY-G1 IP & Serial PTZ Camera Joystick Controller, PTZOptics VISCA, VISCA over IP & NDI Joystick Controller, PoE & Universal Power Supply (A, C, G, I) Robotic Controller with multiple settings, controlling the zoom, pan/tilt movements and angles. **SEE ALSO, ITEM NUMBERS 2 UNDER MAIN MEETING ROOM**

See Proposal item 12

13. Blackmagic Design ATEM Television Studio Pro 4K Live Production Switcher, or DataVideo, Video Mixer. Assessment of current DataVideo, Video Mixer.

See Proposal Item 20 Reuse DataVideo Production Switch

See Proposal Options

14. Mackie, Assessment of current Mackie 12 Channel Audio Mixer.

See Proposal Item 18

15. Studio Control Room Computer, New Control Computer for Nexus Server Application. Village of Ardsley supply Computers

NA

16. Telephone Intercom System. Assessment of installation of intercom system that allows Village Trustees to interact with Villagers by telephone.

See Proposal item 18

Village of Ardsley Zoom Room:

17. Blackmagic Design ATEM Television Studio Pro 4K Live Production Switcher. DataVideo, Owner Furnished Equipment: DataVideo SE-2800 Video Control Switcher. **SEE ALSO, ITEM NUMBER 13 UNDER**

STUDIO CONTROL CENTER

See Proposal Item 20 Reuse DataVideo Production Switch

See Proposal Option Item

18. 4 SONY "SRGI2ODS" HD PTZ CAMERAS, Four (4), 12 x Optical Pan / Tilt / Zoom Camera 1080p HD Video, USB 2.0, USB 3.0, HDMI, LAN, RS-232. Web based Connectivity.

SEE ALSO, ITEM NUMBERS 2, 3, AND 4 UNDER MAIN MEETING ROOM

See proposal item 16

19. Zoom Room License, Dedicated Zoom Room Computing Device Solution requires customer provide Zoom Room License. Village of Ardsley supply

SEE ALSO, ITEM NUMBER 5 UNDER MAIN MEETING ROOM

NA

20. Zoom Room Software, Pre-Configuration above Zoom Room Peripherals - installation of Zoom Rooms software, remotemanagement software.
SEE ALSO, ITEM NUMBER 5 UNDER MAIN MEETING ROOM, 19 UNDER ZOOM ROOM

[See Proposal Item 18](#)

21. Zoom Room Panel Control. Zoom Rooms Touch Panel Controller with Power over Ethernet (PoE) charger - 10" TouchScreen Controller with Zoom Room Controller Software - preloaded, pre-configured.
Village of Ardsley supply Computers and iPad. Integration into Studio Control Room. Determine two (2) computers?? plusiPad Based on Assessments of Equipment and Bidder

SEE ALSO, ITEM NUMBER 5 UNDER MAIN MEETING ROOM

NA

22. USB to Analog Interface - Allows for connection between the Zoom Room PC and Audio System.
SEE ALSO, ITEM NUMBER 5 UNDER MAIN MEETING ROOM

[See Proposal Item 2 \(Biamp Systems DSP USB Interface\)](#)

23. Managed Gigabit Network Ethernet Switch with PoE+ capability - with mounting hardware as required to provide high speeddata connectivity to INTEL NUC, LED display, camera, and potential direct run to Zoom Room touch panel for PoE+ operation. Allows for remote management of those devices and only requires a single customer installed data outlet at either the LED or AV location.
SEE ALSO, ITEM NUMBER 5 UNDER MAIN MEETING ROOM

[See Proposal Item 11](#)

24. Four (4) CRESTRON USB over Catx Transmitter, Receiver with power supply - Extends USB camera video over CAT5 fromCamera to AV
SEE ALSO, ITEM NUMBER 4 UNDER MAIN MEETING ROOM

[See Proposal Item 8 \(Icron\)](#)

25. Polycom Sound Structure Digital Controlled Matrix Mixer - Digital Software allows for Control of each audio input and output. Include remote support option.
SEE ALSO, ITEM NUMBER 4 UNDER MAIN MEETING ROOM

[See Proposal Item 3 \(Biamp Systems\)](#)

26. AV Equipment Rack Integration. This open-cage style AV Rack will be wired including power and cable management. Thisrack will house the following equipment: Zoom Room Pc, USB to Analog interface, Dual Channel Audio Amplifier, New Audio Mixer, Includes industrial-strength power protection and professional cable management.
SEE ALSO, ITEM NUMBER 4 UNDER MAIN MEETING ROOM

[See Proposal Item 20](#)

27. Two (2) CRESTRON HDMI Video over Catx Transmitter and Receiver with power supply. Extends HDMI camera videoover CAT5 from Camera to AV Equipment Cabinet.
SEE ALSO, ITEM NUMBER 4 UNDER MAIN MEETING ROOM

See Proposal Item 9 (Kramer Electronics)

28. Audio Signal Processor and Distribution Amplifier – provides additional audio signal processing for increased voice intelligibility, feedback reduction, remote signal management and allows the distribution of audio signal to multiple destinations such as “Press Output” plates and video production system; plates include multiple audio connectors to accommodate various media.
SEE ALSO, ITEM NUMBER 4 UNDER MAIN MEETING ROOM

See Proposal Item 2 (Biamp Systems)

29. 8 Extron Electronics 70-1310-03 SF-26CT 6.5-inch Ceiling. Speaker (Pair), Eight (8) Ceiling mounted Replacement Loudspeakers. High-density commercial-duty professional-grade loudspeakers, provide areas above audience, presenters, and head tables.
SEE ALSO, ITEM NUMBER 7 UNDER MAIN MEETING ROOM

See Proposal item 7

30. Crestron Dual Channel Amplifier – Commercial amplifier, mount included. **SEE ALSO, ITEM NUMBER 4 UNDER MAIN MEETING ROOM**

See Proposal Item 5

31. Video Signal Processing and Video Distribution Amplifier – allows the scaling of 4K - HD video signals for distribution to existing Cable TV codec.
SEE ALSO, ITEM NUMBER 8 UNDER

See Proposal Item 3 (Blackmagic Design)

32. Rack Mount Shelving, Miscellaneous Cables, Connectors and Accessories, Rack inside wiring, cabling and mounting package – including necessary cabling and cross connect between video production system and new AV Rack. Including wall mounts for cameras, HDMI cables, Network cables, and surge protection used inside the AV rack.
SEE ALSO, ITEM NUMBER 8 UNDER STUDIO CONTROL ROOM

See Proposal Item 17

33. Engineering Labor and AV Design: Creation of parts lists. Creation of construction ready drawings and coordination with local trades (Power, Data Speaker and Control Wiring) as well as project management.

See Proposal Item 18

34. Electrical Contractor to install electrical outlets as needed.

NA. Per email of Ann Marie Rocco February 1, 2022

35. Owner Furnished Equipment: Zoom PC

NA

36. Owner Furnished Equipment: Tablet for Zoom Control

NA

37. Owner Furnished Equipment: Zoom Room license(s)

NA

38. On-Site Installation of the above quoted AV equipment in the existing AV rack after de-installing equipment plus cabling and weirs that are no longer required.

See Proposal Item 20

39. CivicPlus - Client shall have sole control and responsibility over the determination of which data and information shall be included in the content that is to be transmitted and stored by CivicPlus. Client shall not provide to CivicPlus or allow to be provided to CivicPlus any content that (a) infringes or violates any 3rd party's Intellectual Property rights, rights of publicity or rights of privacy, (b) contains any defamatory material, or (c) violates any federal, state, local, or foreign laws, regulations, or statutes.

NA

GSM-1

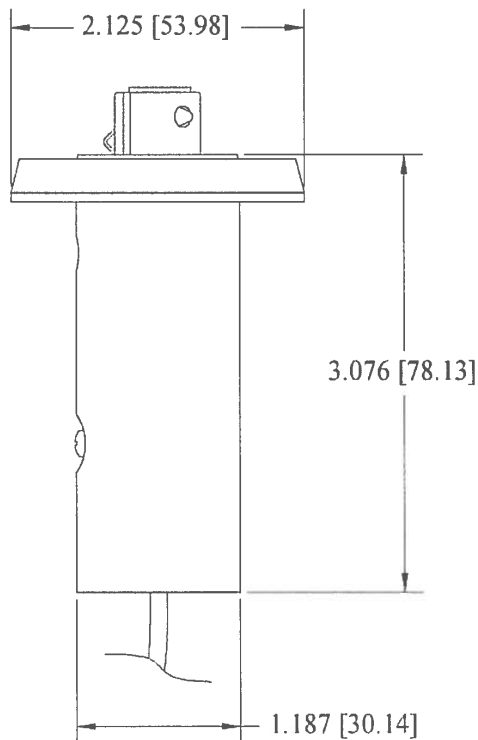
LECTERN/PODIUM SHOCK MOUNT FOR MINI-GOOSENECK MICROPHONES

Description

The **ASTATIC GSM-1** is a high performance lectern/podium shock isolation mount designed for mini-gooseneck type microphones. The **ASTATIC GSM-1** will work with any mini-gooseneck microphone that is equipped with a 3 pin male XLR connector such as the **ASTATIC 200, 900** and **827** series.

The **ASTATIC GSM-1** features an exclusive dual point suspension system. The high mass metal components combined with **ASTATIC's** custom formulated **I.N.R.TM** (Impact Noise Rejection) elastomer bushings result in a highly effective compact shock isolation system that holds the gooseneck firmly in place even on angled surfaces. Unlike other shock mount systems, the **ASTATIC GSM-1** will not allow the microphone to "sag" or "droop", even when using longer gooseneck microphones such as the **220, 920** and **827-17**.

The **ASTATIC GSM-1** features a built in quick disconnect XLR connector, complete with 6 feet of balanced line cable. Once installed, microphones easily plug in and out of the top of the mount. There is never any need to access the underside of the mount or make any adjustments when inserting or removing a microphone.



PATENT PENDING

ASTATIC Quality

All **GSM-1** shock isolation mounts are inspected prior to shipment. Our absolute commitment to quality insures that **ASTATIC** products remain the **Best Value** in today's competitive industry.

Features and Benefits

- Built in 3 pin quick disconnect XLR connector. Microphone simply plugs into top of mount. Microphone can then easily be unplugged for storage.
- Exclusive dual point **I.N.R.TM** (Impact Noise Rejection) suspension provides superior shock isolation yet holds microphone firmly in position.
- Low profile and small diameter.
- Provides over 20 dB reduction of transmitted impact and surface noise.
- Internal stop pin protects rubber parts from damage when inserting or removing microphones.
- Heavy duty steel construction.
- 2 Year Limited Warranty.

Made with pride in Conneaut, Ohio U.S.A.

SPECIFICATIONS FOR GSM-1



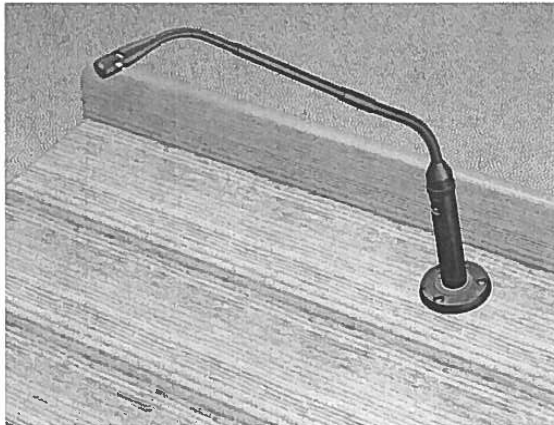
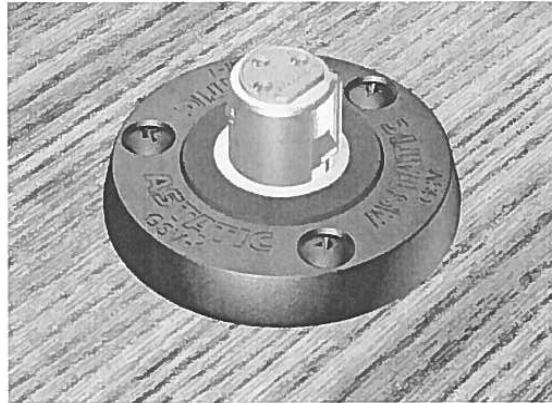
Installation

The **ASTATIC GSM-1** requires a minimum of 3 1/2" clearance below it as measured from the top of the mounting surface. Once a mounting location has been chosen, drill a 1 1/4" hole in the surface. Then temporarily insert the mount into the hole and use it as a template to mark the location for the three included #6 wood screws. The cable on the **ASTATIC GSM-1** is supplied unterminated. If an XLR connector is required at the end of the cable, it can be added either before or after the mount is installed. The cable on the **GSM-1** is wired as follows:

Red to pin #2; Black to pin #3; Shield to pin #1

Installation Note

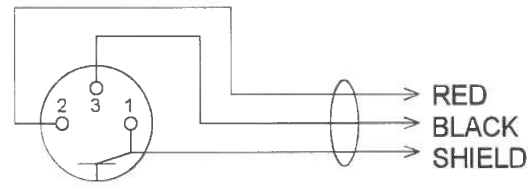
The **ASTATIC GSM-1** easily retrofits into the same mounting holes of a commonly used but less effective rubber band style shock mount that requires a 1-3/8 inch center hole.



GSM-1 shown with **ASTATIC 215** mini-gooseneck microphone.

Architects' and Engineers' Specification

The product shall be an **ASTATIC GSM-1** shock isolation mount for use with mini-gooseneck microphones. The shock mount will feature a dual point suspension system which holds the microphone firmly in place yet provides superior shock isolation. The shock mount will feature a 3 pin quick disconnect standard type female XLR connector for easy attachment and removal of the gooseneck microphone, and 6 feet of unterminated balanced line cable. The mount will be of heavy duty steel construction with **ASTATIC L.N.R.**TM (Impact Noise Rejection) custom formulated elastomer shock mount bushings. The **ASTATIC GSM-1** shock isolation mount will provide over 20 dB reduction of transmitted impact and surface noise. The mount will be finished in black urethane paint. The dimensions of the mount will be 2.125" (56 mm) at the largest diameter, have an overall height of 3.076" (78 mm) and mount into a 1 1/4" diameter hole with three included wood screws. The weight of the mount will be 14 oz. (395 grams). The **ASTATIC Model GSM-1** is specified.



GSM-1 Schematic

Microphone Recommendations

The **GSM-1** can be used with all **ASTATIC** mini-gooseneck microphones, including the **910**, **915** and the **920** in the **900** series, the economical **827-13** and **827-17** or our popular speciality **CTM 16**, **CTM 17** and the **CTM 18** with additional internal shock mounting and pop filter. The **GSM-1** can also be used with the **215** and **220** mini-gooseneck microphones which feature an on-off switch and power indicator on the base of the microphone.

TWO-YEAR LIMITED WARRANTY

CTI Audio, Inc. ("ASTATIC") hereby warrants that this product will be free of defects in material and workmanship for a period of two years from the date of purchase. In the unlikely event a defect occurs ASTATIC will, at its option, either repair or replace with a new unit of equal or greater value. You should retain proof of purchase to validate the purchase date and return it with any warranty claim. Return warranty claims carefully packed, insured and prepaid to the Service Department at the address listed below.

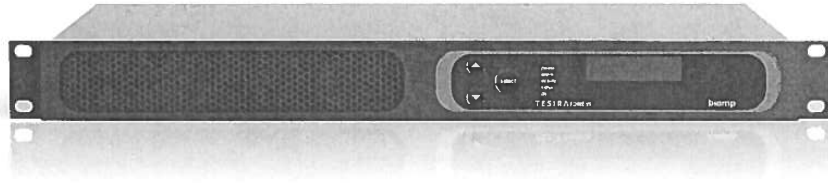
This warranty excludes exterior finish or appearance, damage from abuse, misuse of the product, use contrary to ASTATIC's instructions or unauthorized repair. All implied warranties or merchantability or fitness for a particular purpose are hereby disclaimed and ASTATIC hereby disclaims liability for incidental, special or consequential damages resulting from the use or unavailability of this product.

This warranty gives you specific legal rights and you may also have other rights which vary from state to state. Some states do not allow the exclusion or limitation of incidental or consequential damages or limitations on how long an implied warranty lasts, so the above exclusions and limitations may not apply to you.

Note: No other warranty, written or oral is authorized by CTI Audio, Inc.

300M02529

DATA SHEET TESIRAFORTÉ® VT FIXED AUDIO DSP



The TesiraFORTÉ® VT is a fixed audio DSP with 12 analog inputs and 8 analog outputs and includes Acoustic Echo Cancellation (AEC) technology on all 12 inputs. It also includes up to 8 channels of configurable USB audio, a 2-channel VoIP interface, and a standard FXO telephone interface. USB audio allows TesiraFORTÉ to interface directly with USB audio hosts, as well as to take full advantage of today's most sophisticated conferencing solutions. TesiraFORTÉ VT provides extensive audio processing, including but not limited to: AEC technology, signal routing and mixing, equalization, filtering, dynamics, and delay, as well as control, monitoring, and diagnostic tools; all configured through the Tesira configuration software. TesiraFORTÉ VT is best-suited for rooms that require high-quality audio solutions using VoIP, voice lift, mix-minus, and AEC, such as conference rooms or distance learning environments.

BENEFITS

- Integrates VoIP, POTS, and USB audio in one product allowing integrators to choose the type of audio conferencing that works best for their installation
- Includes default configuration file allowing for plug-and-play usage
- Highly scalable and cost-effective solution that can grow over time with the needs of the customer
- SpeechSense™ technology to enhance speech processing
- Integrates directly with soft codecs and other USB audio hosts

FEATURES

- 12 mic/line level inputs with AEC, 8 mic/line level outputs
- Gigabit Ethernet port
- Up to 8 channels of configurable USB audio
- RS-232 serial port
- 4-pin GPIO
- 2-line OLED display with capacitive-touch navigation
- Rack mountable (1RU)
- System configuration and control via Ethernet
- Internal universal power supply
- SIP VoIP interface via a RJ-45 connector
- Standard FXO telephone interface via RJ-11 connector
- Signal processing via intuitive software allows configuration and control for signal routing, mixing, equalization, filtering, delay and much more
- CE marked, UL listed, and RoHS compliant
- Covered by Biamp Systems' 5-year warranty

biamp.

A 9300 S.W. Gemini Drive Beaverton, OR 97008 USA

T +1 503.641.7287

W www.biamp.com

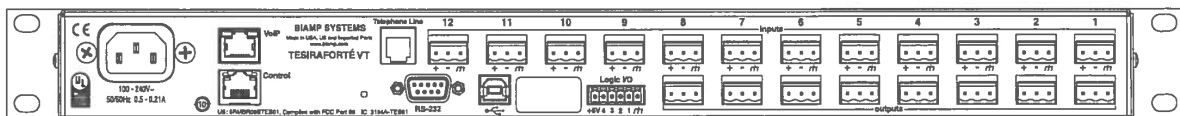
ARCHITECTS & ENGINEERS SPECIFICATION

The fixed audio DSP shall be designed exclusively for use with Tesira[®] systems. The audio DSP shall support Ethernet connection for programming and control on a RJ-45 connector. The audio DSP shall have internal DSP processing. The audio DSP shall include 4 channels of General Purpose Input and Output connection (GPIO) for sending or receiving logic signals. The programming of the GPIO ports shall be software configurable. The audio DSP shall include a RS-232 connection for control data transmission into or out of the audio DSP and such operation shall be software programmable. The audio DSP shall include a Universal Serial Bus (USB) connection on a standard USB-B type connector. The audio DSP shall be software configurable to stream up to 8 channels of digital USB Class 1 Audio transmission either into or out of the audio DSP or simultaneous input and output. The audio DSP shall provide 4 balanced input connections for receiving of microphone or line level analog audio signals on screw-down, removable connectors. The input connections shall include Acoustic Echo Cancellation (AEC) hardware and firmware, the parameters, routing and operation of which shall be software programmable. The audio DSP shall provide 4 balanced output channels for the transmission of microphone or line level analog audio signals on screw-down, removable connectors. Each individual channel shall have its own dedicated connection. The audio DSP shall integrate to Voice Over Internet Protocol (VoIP) systems on a RJ-45 connector for two lines of VoIP communication and shall support Session Initiation Protocol (SIP) v2.0 or later. The audio DSP shall integrate to standard telephony communications on a RJ-11 connector for a single line of telephone communication. The audio DSP shall provide front panel OLED identification of device power, status, alarm, and activity as well as system-wide alarm. The audio DSP shall be rack mountable (1RU) and feature software-configurable signal processing, including but not limited to: signal routing and mixing, equalization, filtering, dynamics, and delay, as well as control, monitoring, and diagnostic tools. The audio DSP shall be CE marked, UL listed, and shall be compliant with the RoHS directive. Warranty shall be five years. The fixed audio DSP shall be TesiraFORTÉ VT.

TESIRAFORTÉ VT SPECIFICATIONS

Frequency Response: 20Hz to 20kHz, +4dBu output:	+0.25 dB/-0.5 dB	Phantom Power:	+48VDC (7mA/input)
THD+N (22Hz to 22kHz): 0dB gain, +4dBu input: 54dB gain, -50dBu input:	< 0.006% < 0.040%	Crosstalk, channel to channel, 1 kHz: 0dB gain, +4dBu input: 54dB gain, -50dBu input:	< -85dB < -75dB
EIN (no weighting, 22Hz to 22kHz):	< -125dBu	Sampling Rate:	48kHz
Dynamic Range (in presence of signal) 22Hz to 22kHz, 0dB gain:	> 108dB	A/D - D/A Converters:	24-bit
Input Impedance (balanced):	8kΩ	Power Consumption: 100-240VAC 50/60Hz:	< 35W
Output Impedance (balanced):	207Ω	USB: Bit Depth: Number of Channels: Sample Rate:	16- or 24-bit up to 8 48kHz
Maximum Input:	+24dBu	Compliance:	FCC Part 15B (USA) FCC Part 68 (USA) Industry Canada CS-03 (Canada) CE marked (Europe) UL und C-UL listed (USA and Canada) RCM (Australia) RoHS Directive (Europe)
Maximum Output (selectable):	+24dBu, +18dBu, +12dBu, +6dBu, 0dBu, -31dBu		
Input Gain Range (6dB steps):	0-66dB		
Overall Dimensions: Height: Width: Depth: Weight:	1.75 inches (44 mm) 19.0 inches (483 mm) 10.5 inches (267 mm) 8 lbs (3.63 kg)		
Environment: Ambient Operating Temperature Range: Humidity: Altitude:	32-104° F (0-40° C) 0-98%, non-condensing 0-6,600 feet (0-2000 Meters) MSL		

TESIRAFORTÉ VT BACK PANEL



biamp.

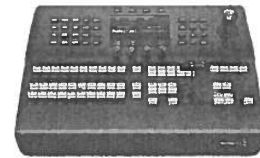
A 9300 S.W. Gemini Drive Beaverton, OR 97008 USA

T +1 503.641.7287

W www.biamp.com

TESFDS-361-1710-EN-R1

ATEM 1 M/E Advanced Panel



\$3,079

The new ATEM 1 M/E Advanced Panel is an elegantly designed professional hardware control panel for all ATEM switchers. It combines modern design with the latest broadcast technology for faster workflows. The new design features a built in LCD and high quality curved buttons that help reduce incorrect key presses. The buttons also have color backlighting to help you quickly recognize important keys. You also get a professional joystick for DVE and camera adjustments, smooth weighted t-bar fader and much more. The buttons feature dynamic displays that allow full customization of the labels as well as custom colors. The shift buttons allow you to double up the number of inputs by selecting a second set of shifted source buttons so you can control up to 20 inputs. The compact size and durable design of the ATEM 1 M/E Advanced Panel fits in a standard equipment rack, making it perfect for shelf mounting in broadcast trucks, mobile racks and fly away kits.

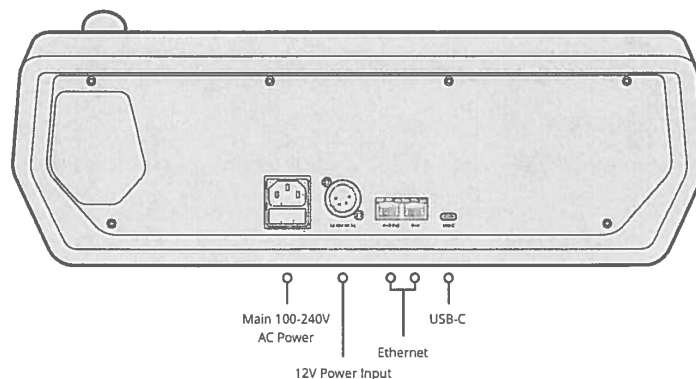
Connections

Ethernet

2 x 10/100/1000 BaseT with loop output for additional control panels or computers

Software Updates

1 x USB-C for firmware updates



Product Specifics

Direct Cross Points 10	DSK Transition Selectors Auto, Cut, Tie/Preview.	Destination Bus 1
Shifted Cross Points 20	Preview Transition 1	Source Select Bus 1
Crosspoint Button Type Tri-Color LED	Transition Rate Displays Via main menu	Fader Bar 1
Crosspoint Label 3 rows 24 character LCD	LCD Menu Displays 3	3 Axis Joystick 1
Next Transition Selectors BKG, Key 1 - Key 4.	Menu Control 20 buttons	Numeric Keypad 1
On-Air indicator 4	Dedicated Macro Buttons 10	
Power Status Indicators None	Multi Control Buttons None	

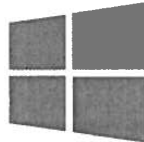
Software

Software Applications
ATEM Software Control Panel.

Operating Systems



Mac 10.12 Sierra,
Mac 10.13 High Sierra or later.

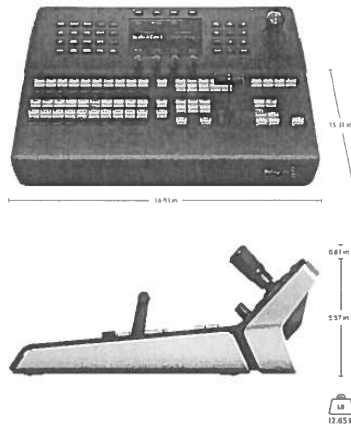


Windows 8.1 or Windows 10.

Power Requirements

Input Voltage 1 x Internal 100 - 240V AC.	Redundant Power Yes	Power Usage 45W
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Physical Specifications



Environmental Specifications

Operating Temperature
0° to 40° C (32° to 104° F)

Storage Temperature
-20° to 60° C (-4° to 140° F)

Relative Humidity
Up to 95%

What's Included

ATEM 1 M/E Advanced Panel

Warranty

12 Month Limited Manufacturer's Warranty.

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Blackmagic Design Authorized Reseller

Smart Videohub 12x12



Smart Videohub 12x12 is the world's most advanced Ultra HD mixed format router with built in control panel and monitoring. Ideal for small workgroups and fly away kits, it includes advanced 6G-SDI connections so you can simultaneously connect and route any combination of SD, HD and Ultra HD video all on the same router at the same time. You also get revolutionary new visual routing with the unique spin knob control, push button panel and the built in LCD screen. Also includes Ethernet for remote control and a fully customizable software development kit for Mac and Windows.

\$1,395

Connections

SDI Video Inputs

12 x 10-bit SD-SDI, HD-SDI and 6G-SDI.

SDI Video Outputs

12 x 10-bit SD-SDI, HD-SDI and 6G-SDI.

SDI Rates

DVB-ASI, 270Mb, 1.5G, 3G, 6G.

SDI Reclocking

On all SDI outputs.

Reference Input

Tri-Sync or Black Burst.

Control Panel Connection

Ethernet.

Serial Control Connection

RJ-6 RS-422.

Multi Rate Support

Auto detection of SD, HD or 6G-SDI. Simultaneous routing of 4K, HD, SD video and DVB-ASI.

Updates

USB

Front Panel Router Control

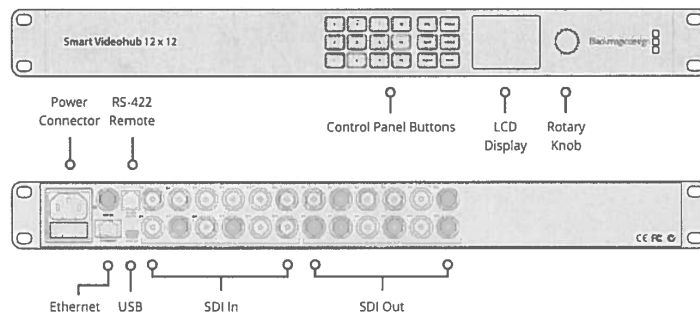
12 buttons for local control of Videohub. 6 buttons and scroll wheel for control of LCD display or RJ45 Ethernet.

Router Configuration

Via front panel LCD or RJ45 Ethernet.

RS-422 Router Control

1 x input for controlling router crosspoint switching.



Standards

SD Video Standards

525i59.94 NTSC, 625i50 PAL.

HD Video Standards

720p50, 720p59.94, 720p60
1080p23.98, 1080p24, 1080p25,
1080p29.97, 1080p30, 1080p50,
1080p59.94, 1080p60
1080PsF23.98, 1080PsF24,
1080PsF25, 1080PsF29.97, 1080PsF30
1080i50, 1080i59.94, 1080i60

2K Video Standards

2K DCI 23.98p, 2K DCI 24p, 2K DCI
25p
2K DCI 23.98PsF, 2K DCI 24PsF, 2K
DCI 25PsF

Ultra HD Video Standards

2160p23.98, 2160p24, 2160p25,
2160p29.97, 2160p30

4K Video Standards

4K DCI 23.98p, 4K DCI 24p, 4K DCI
25p

SDI Compliance

SMPTE 259M, SMPTE 292M, SMPTE
296M, SMPTE 424M, SMPTE 425M
Level A and B, ITU-R BT.656 and ITU-R
BT.601.

SDI Video Sampling

4:2:2 and 4:4:4

SDI Audio Sampling

Television standard sample rate of
48kHz and 24 bit.

SDI Color Precision

10-bit 4:2:2 and 4:4:4

SDI Color Space

YUV or RGB.

SDI Auto Switching

Automatically selects between SD-
SDI, HD-SDI, 6G-SDI and DVB-ASI on
each input so that each input can be
running a different television
standard.

SDI Metadata Support

Video payload identification ancillary
data as per SMPTE 352M.

Control

Built in Control Panel

12 buttons for local control of
Videohub with 6 buttons and scroll
wheel for menu control. 2.2 inch
color display.

External Control Panel

Includes Blackmagic Videohub
software control panel for Mac and
Windows. Supports Blackmagic Smart
Control and Blackmagic Master
Control hardware panels. Includes
Blackmagic Videohub SDK and
Ethernet Videohub Control Protocol.

Software

Software Control

Router control included free for
Windows™ and Mac™.

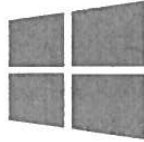
Internal Software Upgrade

Via included updater application.

Operating Systems



Mac 10.15 Catalina,
Mac 11.1 Big Sur or later.



Windows 10, 64-bit.

Display

Built in LCD for video and menu
settings.

Power Requirements

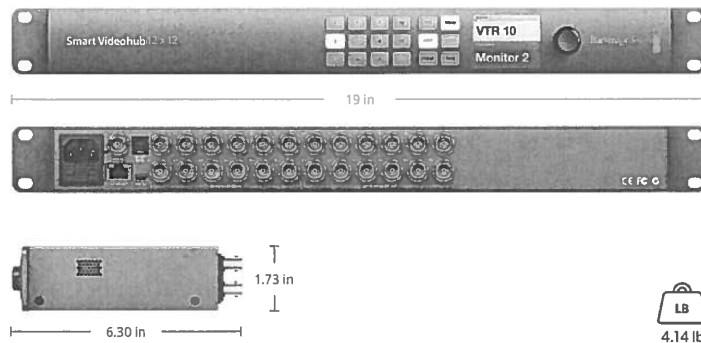
Power Fail Protection

Router connections preserved and
restored instantly at power on.

Power Supply

IEC power cable required. 100 - 240V
AC input.

Physical Specifications



Physical Installation

1 rack unit size. Less than 6 inches
deep.

Environmental Specifications

Operating temperature:

0° to 40° C (32° to 104° F)

Storage temperature:

-20° to 45° C (-4° to 113° F)

Relative Humidity:

0% to 90% non-condensing

What's Included

Smart Videohub 12x12

SD card with software and manual

Warranty

3 Year Limited Manufacturer's Warranty, and 12 Month Warranty on the front panel.

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Blackmagic Design Authorized Reseller

SmartScope Duo 4K



SmartScope Duo 4K looks like a SmartView Duo but adds independent waveform monitoring so you can select between waveform, vectorscope, RGB parade, YUV parade, histogram and audio phase level displays. Each monitor is independent so can display any combination of scope or picture view!

\$795

Connections

SDI Video Input

Automatically switches between SD, HD and 6G-SDI. Reclocked loop through output.

SDI Video Output

1 x 10 bit loop through SD, HD and 6G-SDI switchable.

SDI Audio Input

16 channels embedded in SD, HD and UHD.

SDI Audio Output

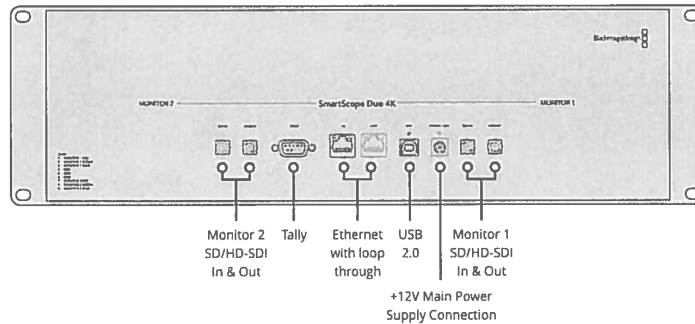
16 channels embedded in SD, HD and UHD.

Multi Rate Support

Standard definition SDI, high definition SDI and 6G-SDI.

Tally

9-pin D connector



Standards

SD Format Support

525i29.97 NTSC, 625i25 PAL

HD Format Support

720p50, 59.94, 60
1080p23.98, 24, 25, 29.97, 30, 50, 59.94, 60
1080PsF23.98, 24, 25, 29.97, 30
1080i50, 59.94, 60

2K Format Support

2K DCI 23.98p, 2K DCI 24p,
2K DCI 25p
2K DCI 23.98PsF, 2K DCI 24PsF,
2K DCI 25PsF

Ultra HD Format Support

2160p23.98, 24, 25, 29.97, 30

SDI Compliance

SMPTE 259M, SMPTE 292M, SMPTE 296M, SMPTE 372M, SMPTE 424M Level B and SMPTE 425M.

Audio Sampling

Television sample rate of 48KHz

Video Sampling

4:2:2 and 4:4:4

Color Precision

8-bit

Color Space

YUV and RGB

Computer Interface

USB 2.0 for software updates and Ethernet for configuration

Colorspace Conversion

Hardware based real time.

Scopes

Luminance Waveform, Vectorscope, RGB Parade, YUV Parade, Histogram, Audio phase and level.

Software

Software Included

Configuration utility for MAC and Windows.

Internal Software Upgrade

Via included firmware updater software.

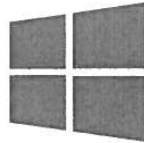
Physical Installation

3RU

Operating Systems



Mac 10.15 Catalina,
Mac 11.1 Big Sur or later.



Windows 10, 64-bit.

Power Requirements

Power Supply

12V universal power supply included with international socket adapters for all countries.

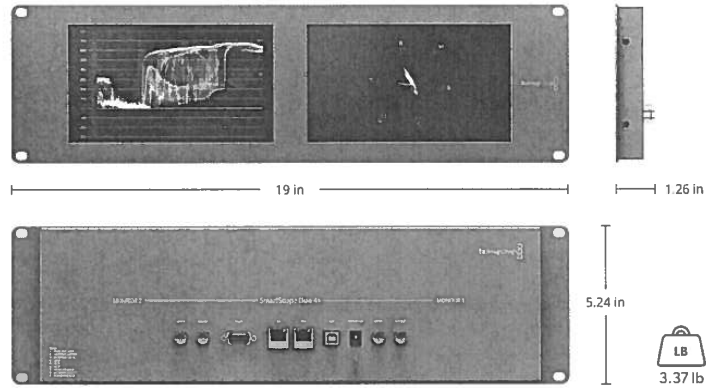
Power Consumption

< 20 Watts

Operational Voltage Range

12V - 15V

Physical Specifications



Environmental Specifications

Operating Temperature

0° to 40° C (32° to 104° F)

Storage Temperature

-20° to 45° C (-4° to 113° F)

Relative Humidity

0% to 90% non-condensing

What's Included

SmartScope Duo 4K
Power Supply
SD card with software and manual

Warranty

12 Months Limited Manufacturer's Warranty.

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Blackmagic Design Authorized Reseller

Mini Converter UpDownCross HD



Mini Converter UpDownCross HD is a full standards converter that lets you convert any SD or HD video format to any other SD or HD video format! You get both SDI and HDMI inputs and outputs, along with reference input for built in re-sync, high quality Teranex conversion algorithms, automatic audio delay for perfect AV sync, international power supply and more!

\$155

Connections

SDI Video Inputs

1 x SD, HD or 3G-SDI Video Input and
1 x External Reference Input.

HDMI Video Input

1 x HDMI type A connector.

SDI Video Outputs

1 x loop out and 2 x outputs

HDMI Video Output

HDMI type A out. Output supports
EDID of the monitor.

SDI Rates

270Mb, 1.5G, 3G.

Reference Input

Black burst and Tri-Sync for SD & HD.

Multi Rate Support

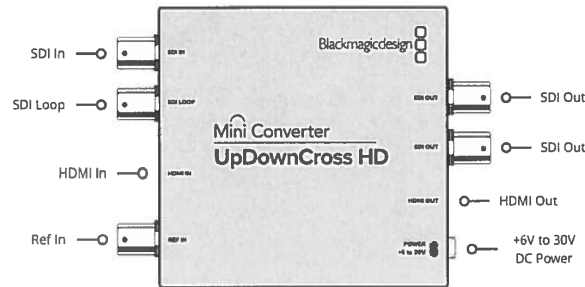
Auto detection of HD or standard
definition SDI inputs.

Updates and Configuration

USB

Reclocking

Yes



Standards

SD Video Standards

525i59.94 NTSC, 625i50 PAL

HD Video Standards

720p50, 720p59.94, 720p60,
1080p23.98, 1080p24, 1080p25,
1080p29.97, 1080p30, 1080p50,
1080p59.94, 1080p60, 1080PsF23.98,
1080PsF24, 1080PsF25,
1080PsF29.97, 1080PsF30, 1080i50,
1080i59.94, 1080i60

HDMI Input Video Standards

720p50, 720p59.94, 720p60,
1080p23.98, 1080p24, 1080p25,
1080p29.97, 1080p30, 1080p50,
1080p59.94, 1080p60, 1080i50,
1080i59.94, 1080i60

SDI Compliance

SMPTE 259M, SMPTE 292M,
SMPTE 296M, SMPTE 372M,
SMPTE 424M level B, SMPTE 425M
level B, ITU-R BT.656 and
ITU-R BT.601

SDI Video Rates

SDI video inputs are automatically
detected between standard
definition, high definition and
level B 3G-SDI.

SDI Metadata Support

Timecode and closed captioning.

SDI Video Sampling

4:2:2

SDI Audio Sampling

Television standard sample rate of
48 kHz and 24 bit.

SDI Color Precision

4:2:2

SDI Color Space

YUV

SDI Auto Switching

Automatically detects SD,
HD or 3G-SDI.

Format Conversion

Video Conversion

Convert any SD and HD input to "720p50, 720p59.94, 720p60, 1080p23.98, 1080p24, 1080p25, 1080p29.97, 1080p30, 1080p50, 1080p59.94, 1080p60, 1080i50, 1080i59.94, 1080i60"

Computer Scaling

Scale DVI resolutions 640x480, 800x600, 1024x768 to 525i59.94, 625i50, 720p50, 720p59.94, 720p60, 1080p23.98, 1080p24, 1080p25, 1080p29.97, 1080p30, 1080p50, 1080p59.94, 1080p60, 1080i50, 1080i59.94, 1080i60

Software

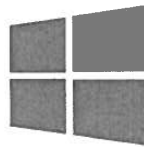
Internal Software Upgrade

Via included updater application.

Operating Systems



Mac 10.15 Catalina,
Mac 11.1 Big Sur or later.



Windows 10, 64-bit.

Settings Control

Mini Switches

Power Requirements

Power Supply

+12V universal power supply included with international socket adapters for all countries.

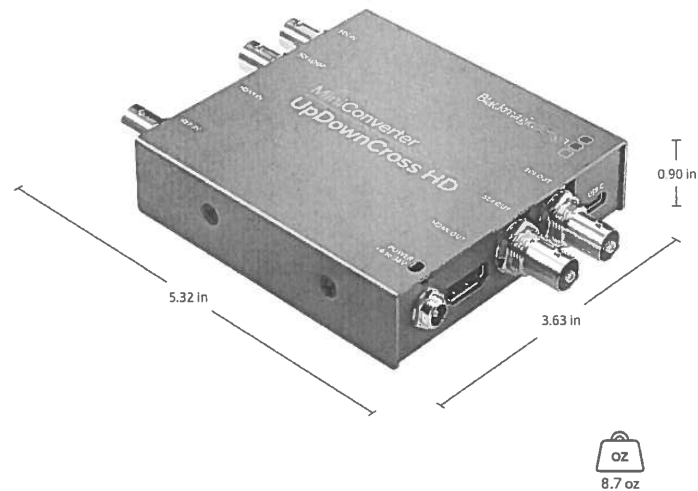
Power Consumption

5W

Operational Voltage Range

6 to 36 Vdc.

Physical Specifications



Environmental Specifications

Operating Temperature

0° to 40° C (32° to 104° F)

Storage Temperature

-20° to 45° C (-4° to 113° F)

Relative Humidity

0% to 90% non-condensing

What's Included

Mini Converter UpDownCross HD

12V universal power supply with international socket adapters

Warranty

3 Year Limited Manufacturer's Warranty.

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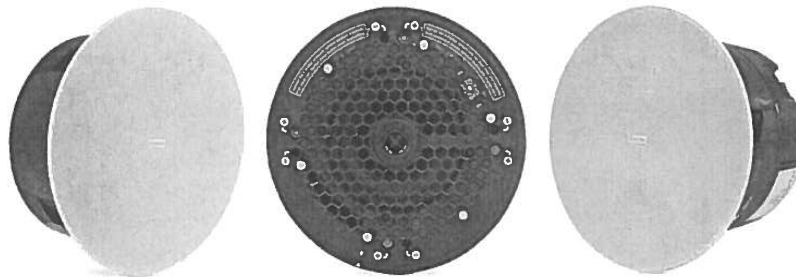
Blackmagic Design Authorized Reseller

SF 26CT Series

SOUNDFIELD XD 6.5" TWO-WAY CEILING SPEAKERS
FOR PLENUM ENVIRONMENTS



SoundField XD



Plenum
RATED

The Extron SoundField® XD SF 26CT models are 6.5" two-way ceiling speakers for use in standard or restricted height ceiling environments. With the AV industry's first UL 2043 listed composite speaker enclosure, the SF 26CT series meets stringent UL requirements for smoke and heat release in plenum air spaces. A magnetically attached grille with a thin-edged bezel gives the SF 26CT series a refined appearance on the ceiling. The SF 26CT series offers direct 8 ohm and 70/100 volt operation with a behind-the-grille, six position power tap selector switch. With high impedance taps at 8, 16, 32, and 64 watts, the SF 26CT series can be used in applications where a high power distributed speaker system is needed.

- ▶ 6.5" (165-mm) long throw woofer
- ▶ 3/4" (19-mm) ferrofluid-cooled dome tweeter
- ▶ Two models available:
 - SF 26CT Standard 8" (203 mm) back can
 - SF 26CT LP Low profile 4.2" (107 mm) back can
- ▶ 130 watts continuous program
- ▶ 8 ohm direct or 70/100 volt operation
- ▶ Locking arms support ceilings up to 2.25" (57.1 mm) thick
- ▶ UL 2043 plenum rated enclosure

Extron

DESCRIPTION

The **SF 26CT** series provides a wide and smooth frequency range and is engineered to ensure excellent on and off axis voice intelligibility. A power rating of 130 watts continuous program also gives this speaker plenty of headroom for music reproduction in moderate to high output systems.

Designed for Pro AV

The SF 26CT series represents a paradigm shift in speaker technology for pro AV applications. We designed these models from the ground up with innovative materials, modular construction, and unique features, to provide significant cost savings and superior performance.

Voicing Consistency

The SF 26CT Series is voiced consistently with the Extron SF 26PT pendant speaker to ensure smooth sonic transitions in applications when the listener moves between drop-ceiling and open-ceiling areas.

Plenum Rated Composite Enclosure

The ideal speaker enclosure is constructed in such a way as to avoid internal standing waves and resonances in the enclosure itself. It must also be lightweight and fire tested for use in plenum air-handling spaces. We were able to achieve all of these requirements by injection molding the enclosure with a fire resistant composite material. The result is a rigid, acoustically damped, lightweight, plenum rated enclosure that is UL 2043 listed.

Magnetically Attached Aesthetically Pleasing Grille

The SF 26CT series features a finely perforated round metal grille with a thin-edged rounded bezel for a refined appearance on the ceiling. The grille securely attaches magnetically to the baffle and quickly snaps into place. An optional square grille is available with the same finely perforated metal and thin-edged rounded bezel. This gives the owner, architect, or interior designer an additional choice for matching the décor. The grilles are white and can be painted to match the architectural elements of the environment.

Low Profile Back Can - SF 26CT LP

The SF 26CT LP features a 4.2" (107 mm) back can for installation into restricted height plenum environments. This model can be used for entire installations or in combination with the similarly voiced SF 26CT and SF 26PT models, as architecturally required.

FEATURES

- ▶ 6.5" (165-mm) long throw woofer
- ▶ 3/4" (19-mm) ferrofluid-cooled dome tweeter
- ▶ Two models available:
 - Standard 8" (203 mm) back can
 - Low profile 4.2" (107 mm) back can
- ▶ Frequency range:
 - SF 26CT: 65 Hz to 22 kHz
 - SF 26CT LP: 85 Hz to 20 kHz
- ▶ Conical dispersion
 - SF 26CT: 111°
 - SF 26CT LP: 95°
- ▶ 65 watts continuous pink noise,
130 watts continuous program
- ▶ 8 ohm direct or 70/100 volt operation on a 6 position, behind-the-grille selector:
 - 8 ohm direct
 - 70 volt: 64, 32, 16, and 8 watt selectable
 - 100 volt: 64, 32, and 16 watt selectable
- ▶ Magnetically attached grille with a thin bezel for a refined appearance
- ▶ Grille and bezel are white and can be painted to match any environment
- ▶ Separable back can and baffle supports both single-trade and division-of-labor applications
- ▶ Modular V-rail and folding C-ring kit included
- ▶ Opti-Torque indicator rings prevent overtightening of locking arm screws
- ▶ Locking arms support ceilings up to 2.25" (57.1 mm) thick
- ▶ UL 2043 plenum rated enclosure
- ▶ 5-year parts and labor warranty

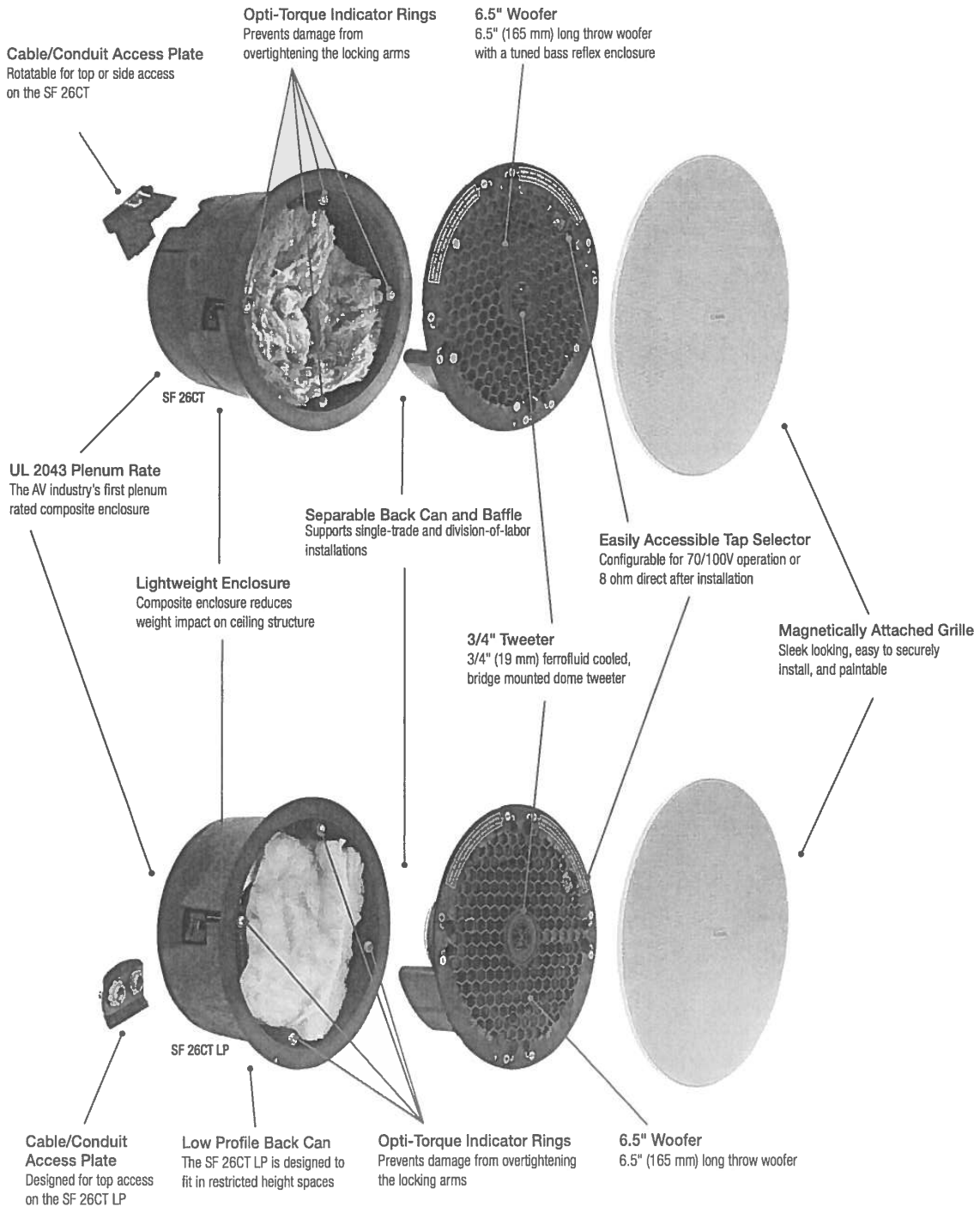


Optional Square Grille Kit

The SGK SF26C is for applications with square design elements

THE CEILING SPEAKER REIMAGINED

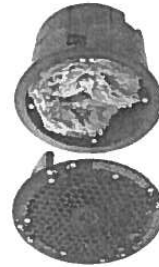
The SF 26CT series represents a paradigm shift in speaker technology for pro AV applications. Designed from the ground up with innovative materials, modular construction, and unique features, these SoundField XD speakers provide significant savings and superior performance.



DESIGNED FOR THE INTEGRATOR

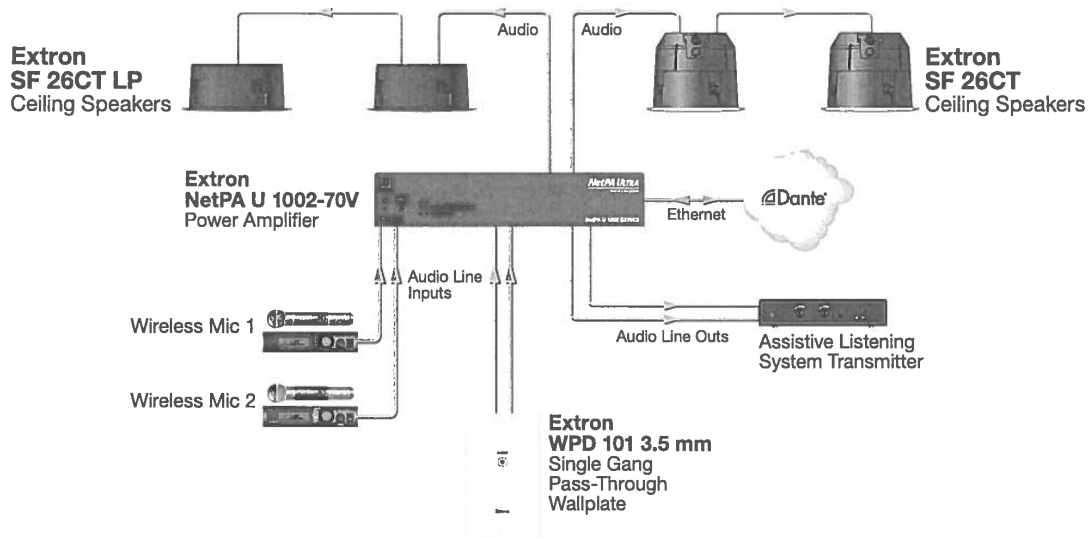
Two-Piece Design for Installation Flexibility

Shipped as a complete speaker assembly, the SF 26CT series is ideal for both single-trade and division-of-labor installations. The complete speaker can be installed by a single contractor as a self-contained unit for retrofits and new construction. For larger projects with multiple trades, the back can and speaker baffle can be separated, allowing the rough-in contractor to install and fully terminate the back can. Once the job site is clean and secure, the AV integrator can then easily install the speaker baffle and grille. For both models, the back can and speaker baffle are available separately for installations with a long period of time between rough-in and final installation.



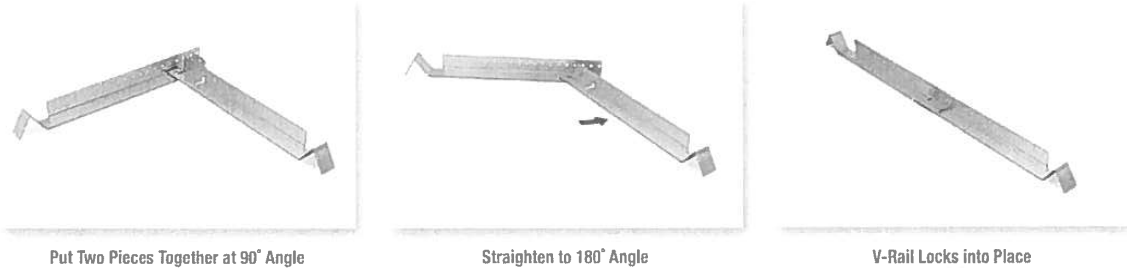
Mixed Height Plenum Spaces and Consistent Voicing

The application diagram shown below illustrates the use of SF 26CT and SF 26CT LP models within a room when some areas of the room have restricted plenum space. Since the models of the SF 26CT series are voiced consistently with each other, and use the same drivers, audible transitions between areas of the room can be minimized.

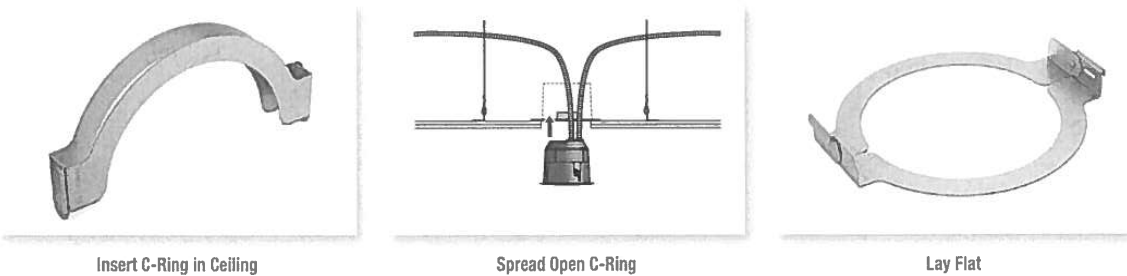


MODULAR V-RAILS AND FOLDABLE C-RINGS

To facilitate installation in a T-bar ceiling, modular V-rails and foldable C-rings are included with the SF 26CT series. The V-rails have been designed as a two-part assembly that can be snapped together in the field.

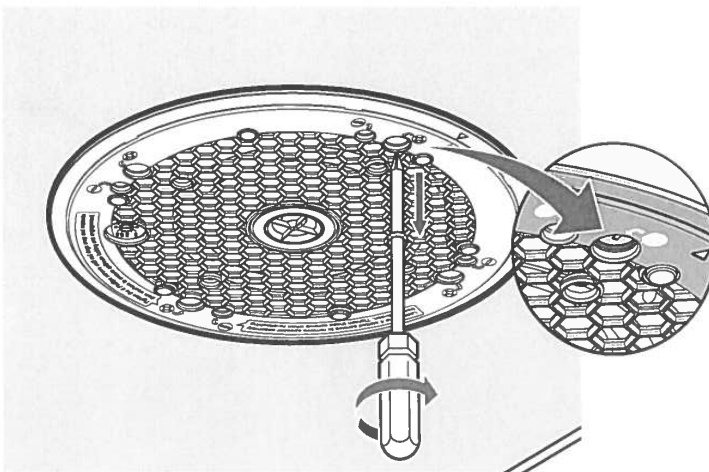


The foldable C-rings have been designed to make it easier to get them into place, even in blind-mount drywall applications. Snake the C-ring up through the speaker cut-out hole, unfold it, and position it as needed. The result is a continuous metal support around the entire cut-out, resulting in a more secure attachment to the ceiling.



Opti-Torque Indicator Rings

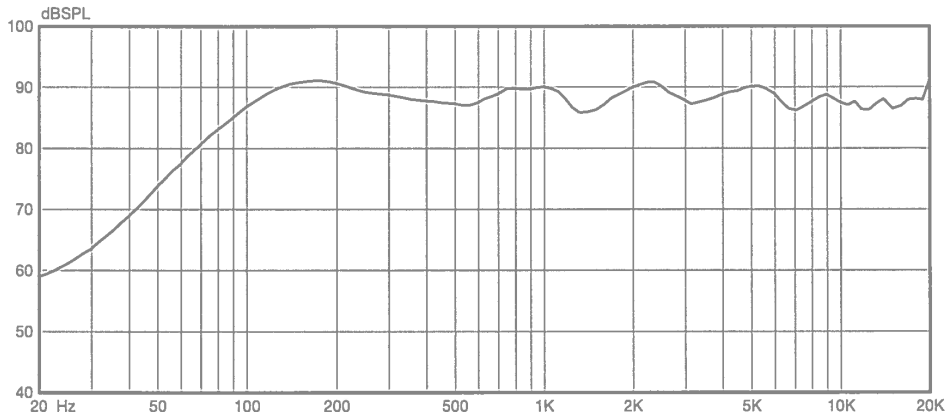
The SF 26CT series features exclusive Opti-Torque™ indicator rings that provide a visual indication when the locking arm screws have been sufficiently tightened, preventing damage to the speaker caused by overtightening. When the installation technician is tightening the locking arms, the red Opti-Torque™ indicator ring audibly snaps when the proper torque has been applied. As a visual indicator, the red ring drops down onto the screwdriver shaft, signaling to the technician that the proper force has been applied.



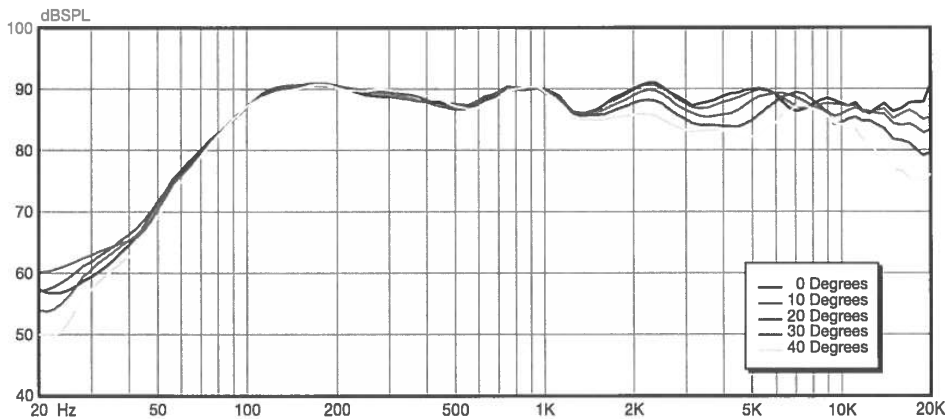
Opti-Torque Indicator Ring drops onto screwdriver shaft

SF 26CT - RESPONSE GRAPHS - FREQUENCY AND IMPEDANCE

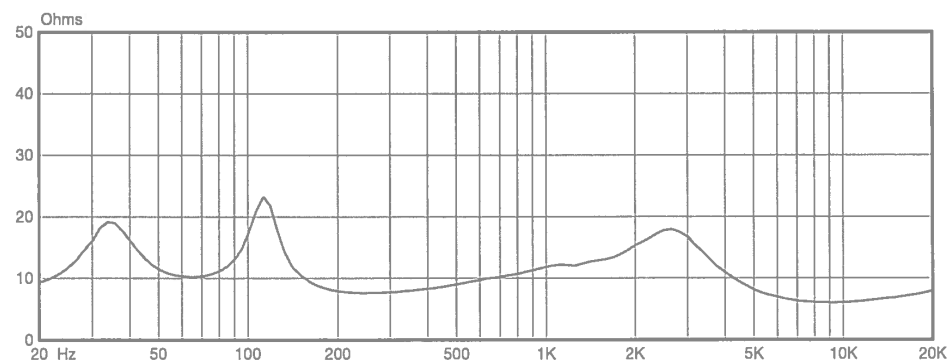
SPL VS. FREQUENCY - 1 WATT @ 1 METER RESPONSE, HALF SPACE (2π)



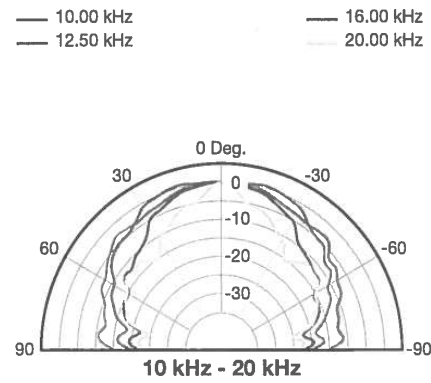
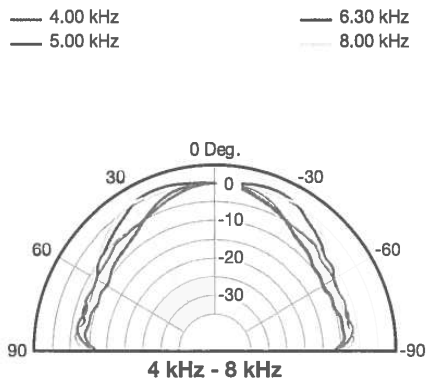
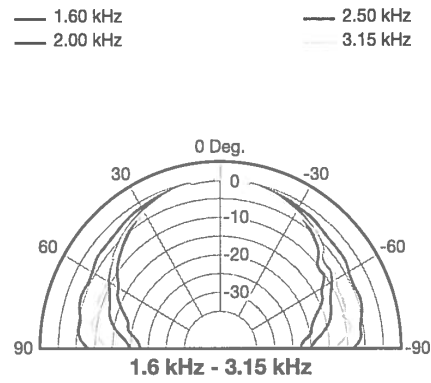
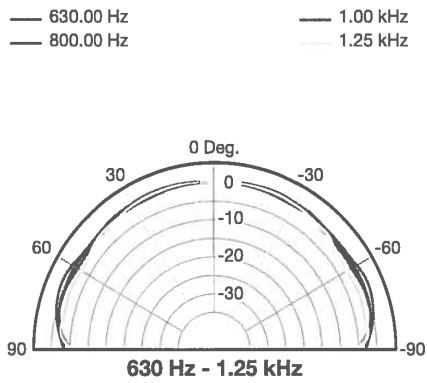
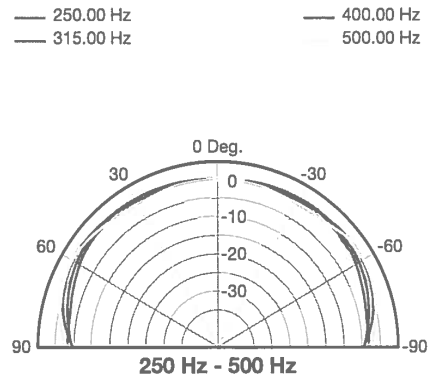
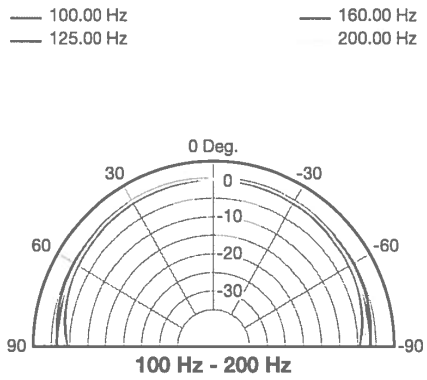
SPL VS. FREQUENCY - HORIZONTAL OFF-AXIS RESPONSE, HALF SPACE (2π)



IMPEDANCE VS. FREQUENCY



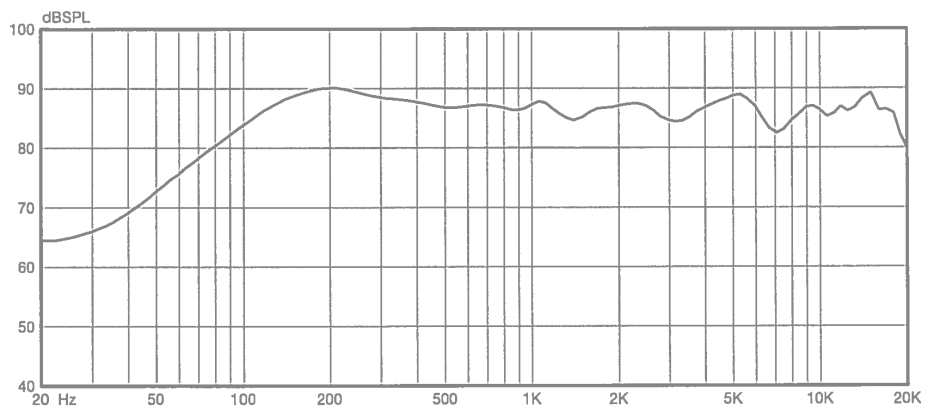
SF 26CT - POLAR GRAPHS - 1/3 OCTAVE, Horizontal



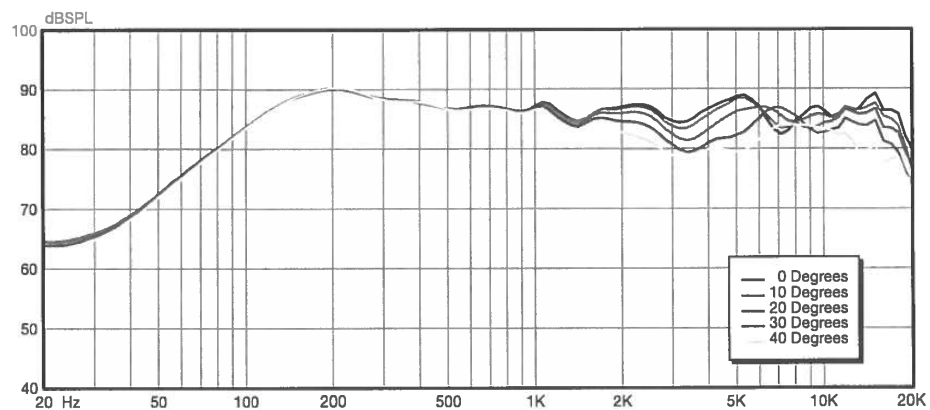
Specifications are subject to change without notice.

SF 26CT LP - RESPONSE GRAPHS - FREQUENCY AND IMPEDANCE

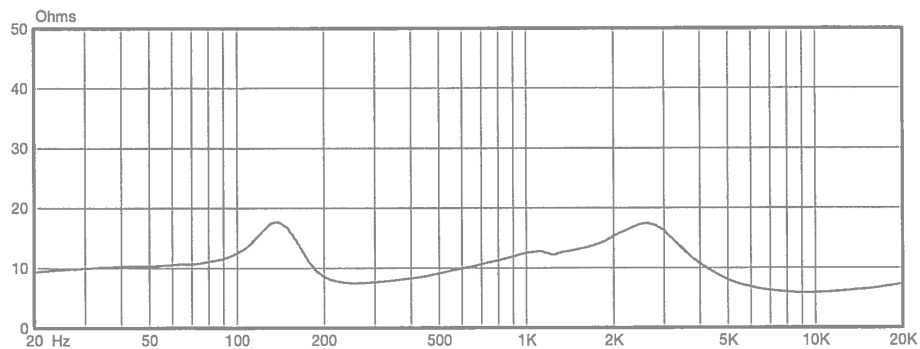
SPL VS. FREQUENCY - 1 WATT @ 1 METER RESPONSE, HALF SPACE (2π)



SPL VS. FREQUENCY - HORIZONTAL OFF-AXIS RESPONSE, HALF SPACE (2π)

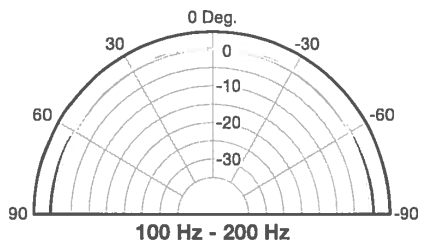


IMPEDANCE VS. FREQUENCY

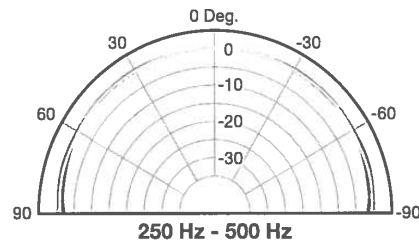


SF 26CT LP - POLAR GRAPHS - 1/3 OCTAVE, HORIZONTAL

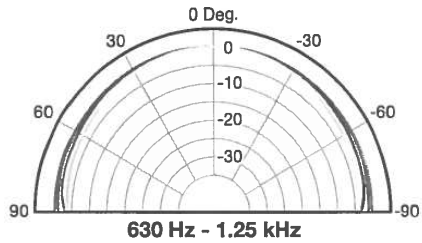
— 100.00 Hz — 160.00 Hz
 — 125.00 Hz — 200.00 Hz



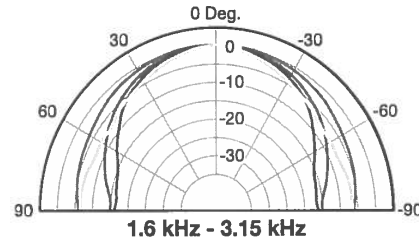
— 250.00 Hz — 400.00 Hz
 — 315.00 Hz — 500.00 Hz



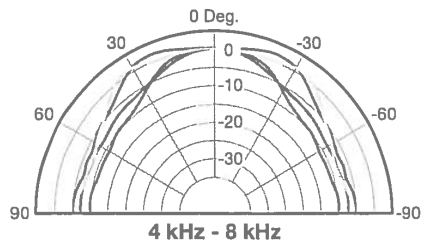
— 630.00 Hz — 1.00 kHz
 — 800.00 Hz — 1.25 kHz



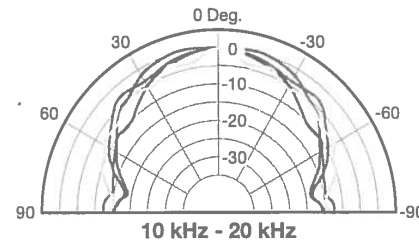
— 1.60 kHz — 2.50 kHz
 — 2.00 kHz — 3.15 kHz



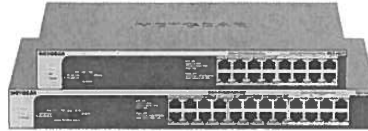
— 4.00 kHz — 6.30 kHz
 — 5.00 kHz — 8.00 kHz



— 10.00 kHz — 16.00 kHz
 — 12.50 kHz — 20.00 kHz



Specifications are subject to change without notice.



GS516PP and GS524PP Unmanaged Gigabit Ethernet PoE+ Switches

The GS516PP 16-port High-power PoE+ Gigabit Ethernet Unmanaged Switch and the GS524PP 24-port High-power PoE+ Gigabit Ethernet Unmanaged Switch join the NETGEAR Unmanaged switch family, adding full 16 and 24 port PoE+ support for flexible deployment of modern high-power PoE devices. Companies can now deploy denser PoE+ devices connected to a single switch instead of multiples with a total PoE power budget of 260W (GS516PP) and 300W (GS524PP). The quiet design makes the GS516PP and GS524PP ideal for any home or business environment.

GS516UP and GS524UP Unmanaged Gigabit Ethernet High-power PoE+ switches with PoE++ ports

NETGEAR brings even larger PoE budgets on Unmanaged switches with Ultra60 PoE++ technology with two new 16-Port (GS516UP) and 24-port (GS524UP) Unmanaged Switches, ideal for powerful PoE+/PoE++ installations with impressive PoE budgets up to 380W and 480W, a compact size, plug-and-play installation, and reliable performance at affordable prices.

These switches can support all types of PoE installation with larger PoE budgets and ports that provide PoE+ and PoE++ power for up to 60W per port.

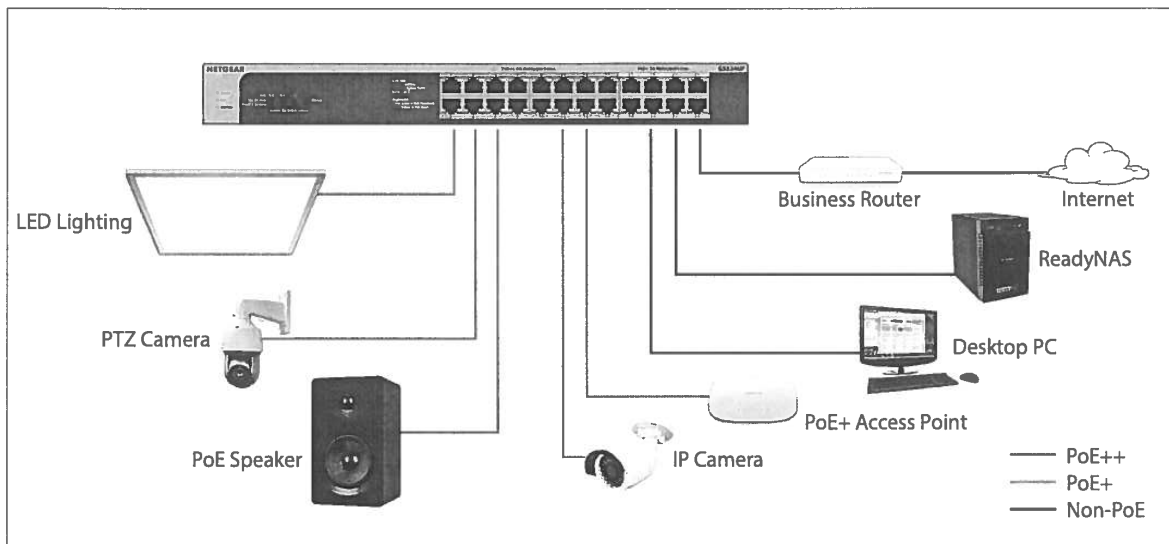
Standardized to IEEE 802.3bt, the Ultra60 PoE++ switches can deliver up to 60W of power per port, allowing the connections of higher power required devices, such as high performance 802.11AX wireless access points, PTZ and 4K IP surveillance cameras, PoE lighting, PoE-powered audio speakers, as well as other high-powered devices. The GS516UP and GS524UP has a PoE mode used to enable pre-802.3bt compatibility for pre-802.3bt devices that were created before 802.3bt Standard was ratified.

Highlights

- High-power PoE with impressive PoE budgets for all types of PoE installations
- Simple set up with no software or configuration needed
- Per port LEDs for port activity and speed
- Energy efficient technology for power savings
- Auto-negotiation for automatic connection at the highest common speed between switch and an end device
- 16 or 24 auto-sensing 10/100/1000 Mbps Gigabit Ethernet ports with up to 32 or 48Gb non-blocking switching
- Auto-MDI/MDIX eliminates the need for crossover cables
- Small, sturdy desktop metal case and quiet operation
- Ideal for small and medium offices
- Non-blocking switching architecture for maximum throughput at wire speed
- Standards-based technology ensures interoperability with any standards-based devices in the existing network
- Power up to 30W per device (GS516PP and GS524PP)
- Power up to 60W per device (GS516UP and GS524UP)
- Desktop and rackmountable
- 802.3at Power Over Ethernet (PoE+) on all models for IP cameras, VoIP/Internet-based phones, wireless access points
- 802.3bt Power Over Ethernet (PoE++) on the GS516UP and GS524UP models for IP cameras, VoIP/Internet-based phones, wireless access points, smart building lighting, audio speakers and pan-tilt-zoom cameras
- Unique PoE technology automatically balances the PoE power based on the device needs independent of PoE class detected. The switches deliver the power the device needs, at the most granular level.
- Enable Pre-802.3bt devices using our PoE Mode

Example Application

Deploying NETGEAR Ultra60 PoE++



GS516UP and GS524UP can support, but are not limited to, power the devices shown in the above examples.

Technical Specifications	GS516PP	GS516UP	GS524PP	GS524UP
10/100/1000Mbps Ports (Auto Uplink)	16	16	24	24
Enclosure	Metal	Metal	Metal	Metal
Connector Type	Metal	Metal	Metal	Metal
Form Factor	Desktop/ Rackmount	Desktop/ Rackmount	Desktop/ Rackmount	Desktop/ Rackmount
Power On/Off Switch	N/A	N/A	N/A	N/A
PoE Configuration				
802.3at PoE+ Ports	16	8	24	8
802.3bt PoE++ Type 3 Ports	0	8	0	16
Pre-802.3bt compatible	N/A	Yes	N/A	Yes
PoE Max Power Per Port	30W	60W	30W	60W
Total PoE Power Budget	260W	380W	300W	480W
Performance Specification				
Bandwidth (Non-Blocking)	32 Gbps	32 Gbps	48 Gbps	48 Gbps
Packet Buffer Memory (Dynamically shared across only used ports)	192 KB	192 KB	192 KB	192 KB
Jumbo Frame Support	9,216 bytes	9,216 bytes	9,216 bytes	9,216 bytes
Queue WRR (Weighted Round Robin) Ratio	1:2:4:8	1:2:4:8	1:2:4:8	1:2:4:8
Forwarding Rate (using 64-byte packets) - 1000Mbps Port	1,448,000 pps	1,448,000 pps	1,448,000 pps	1,448,000 pps
Latency (using 64-byte packets) - 1000Mbps Port (average)	< 12 µsec	< 12 µsec	< 12 µsec	< 12 µsec
MAC Address Table Size	8K	8K	8K	8K
Auto MDI/MDI-X Cable Detection	Yes	Yes	Yes	Yes
Auto-sensing Half/Full Duplex Switched Ports	Yes	Yes	Yes	Yes
Mean Time Between Failures (MTBF) @ 25° C	2415333.9 hrs	1213791.0 hrs	1457063 hrs	809853.3 hrs
LEDs				
Per port	Speed, Link/ Activity, PoE	Speed, Link/ Activity, PoE	Speed, Link/ Activity, PoE	Speed, Link/ Activity, PoE
Per device	Power, PoE Max, Fan	Power, PoE Max, Fan	Power, PoE Max, Fan	Power, PoE Max, Fan
Quality of Service (QoS)				
802.1P Based (CoS) Supported	Yes	Yes	Yes	Yes
Honors DSCP (DiffServ) Tags	Yes	Yes	Yes	Yes
Power Consumption				
DC Input/Power In	Internal (100-240V ~ 50-60 Hz, 5A)	Internal (100-240V ~ 50-60 Hz, 8-4A)	Internal (100-240V ~ 50/60 Hz, 6A)	Internal (100-240Vac ~ 50-60 Hz, 8-4A)
Power Consumption (Max and Standby)	316.1W / 9.1W	456.8W / 14.9W	359.5W / 12.9W	578.8W / 24.4W
Heat Dissipation (Max and Standby)(BTU/Hr)	1079.1654BTU/ 31.0674BTU	1559.5152BTU/ 50.8686BTU	1227.333BTU/ 44.0404BTU	1976.0232BTU/ 83.3016BTU

Energy Efficiency	GS516PP	GS516UP	GS524PP	GS524UP
Energy Efficient Ethernet (EEE) IEEE 802.3az compliant	Yes	Yes	Yes	Yes
Auto Power Down	Yes	Yes	Yes	Yes
Short Cable Detection	Yes	Yes	Yes	Yes
Fan/Fanless	2 Fan	3 Fans	2 Fan	2 Fan
Power Supply	Internal 100-240V 50-60Hz 5A	Internal 100-240V 50-60Hz 8-4A	Internal 100-240V 50/60Hz 6A	Internal 100-240Vac 50-60Hz 8-4A
Physical Specifications				
Dimensions (W x D x H)	330 x 207 x 43 mm (12.99 in. x 8.15 in. x 1.7 in.)	330 x 207 x 43 mm (12.99 in. x 8.15 in. x 1.7 in.)	390 x 220 x 43 mm (15.4 in. x 8.7 in. x 1.7 in.)	390 x 220 x 43 mm (15.4 in. x 8.7 in. x 1.7 in.)
Weight	2.30kg (5.07 lb)	2.60kg (5.73 lb)	2.89kg (6.37 lb)	3.10kg (6.83 lb)
Environmental Specifications				
Operating				
Operating Temperature	32-122°F (0-50°C)			
Humidity	10%-90% relative humidity, noncondensing			
Altitude	3000 M			
Storage				
Storage Temperature	-20 ~ +70 °C			
Humidity (relative)	10%~95%, non-condensing			
Electromagnetic Emissions and Immunity				
Certifications	FCC 47 CFR Part15B (Class A) ICES-003 Class A EN 55024/55032/55035 (Class A) AS/NZS CISPR 32 VCCI BSMI CNS13438 KCC			
Safety				
Certifications	UL 62368-1 CB_IEC 60950-1 + IEC 62368-1 Ed-3 LVD EN60950-1+EN62368-1 Ed-2 Rpt AS/NZS 62368.1 Ed-2 BSMI CNS14336-1			
IEEE Network Protocols				
	IEEE 802.3ab 1000BASE-T Gigabit Ethernet IEEE 802.3u 100BASE-TX Fast Ethernet IEEE 802.3i 10BASE-T Ethernet IEEE 802.3 CSMA/CD 802.3az Energy Efficient Ethernet			

Warranty and Support *	GS516PP	GS516UP	GS524PP	GS524UP
All Except China		Limited lifetime* warranty		
China		5-year warranty		
Next-Business-Day (NBD) Replacement		Limited lifetime*		
Technical Support (online, phone)		90 days free from date of purchase*		
24/7 Online Chat Technical support		Limited lifetime*		
ProSUPPORT OnCall 24x7 Service Plans		Category 2 PMB0312-10000S (1 yr) PMB0332-10000S (3yrs) PMB0352-10000S (5 yrs)		
Package Content		Unmanaged Gigabit Ethernet Switch Power cord (localized to country of sale) Rackmount kit Desktop rubber feet Insight Registration Flyer Installation Guide		
All Models				
Ordering Information				
GS516PP-100NAS		North America and Asia Pacific		
GS516PP-100EUS		Europe, United Kingdom and Asia Pacific		
GS516PP-100AJS		Australia and Japan		
GS516UP-100NAS		North America and Asia Pacific		
GS516UP-100EUS		Europe, United Kingdom and Asia Pacific		
GS516UP-100AJS		Australia and Japan		
GS524PP-100NAS		North America and Asia Pacific		
GS524PP-100EUS		Europe, United Kingdom and Asia Pacific		
GS524PP-100AJS		Australia and Japan		
GS524UP-100NAS		North America and Asia Pacific		
GS524UP-100EUS		Europe, United Kingdom and Asia Pacific		
GS524UP-100AJS		Australia and Japan		

Actual SKU availability may vary per region. Please check the local website for product availability.

* This product comes with a limited warranty that is valid only if purchased from a NETGEAR authorized reseller, and modifications to product may void the warranty; see <http://www.netgear.com/about/warranty/> for details. 24/7 basic technical support provided for 90 days from purchase date when purchased from a NETGEAR authorized reseller.

† NETGEAR #1 in US Market Share according to NPD data for Unmanaged and Smart Switches, September 2019. NETGEAR #1 in Europe Market Share according to Context data for Unmanaged and Smart Switches, September 2019.

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DS-GS516PP/GS516UP/GS524PP/GS524UP-9Jul20



Model MX400 Series Microphones Specification Sheet

MODEL MX400 SERIES MICROPHONES



OVERVIEW

Shure Microflex® MX400 Series microphones are miniature gooseneck-mounted electret condenser microphones designed primarily for speech and vocal pickup. They can be mounted on lecterns, pulpits, or conference tables. All models include a preamplifier and are available with interchangeable cardioid, supercardioid, or omnidirectional cartridges.

FEATURES

- Wide dynamic range and frequency response for accurate sound reproduction across the audio spectrum
- Interchangeable cartridges provide the right polar pattern for every application
- Balanced, transformerless output for increased immunity to noise over long cable runs
- Shock mount that provides over 20 dB isolation from surface vibration noise
- Locking flange mount for permanently securing microphone to lecterns, pulpits, or conference tables
- Snap-fit foam windscreen

MODEL VARIATIONS

- **MX412:** 305 mm (12 in.) gooseneck microphone.
- **MX418:** 457 mm (18 in.) gooseneck microphone.
- **MX412S:** 305 mm (12 in) gooseneck microphone; includes a mute switch and an LED.
- **MX418S:** 457 mm (18 in) gooseneck microphone; includes a mute switch and an LED.

SPECIFICATIONS

Frequency Response (Figure 1)
50 to 17,000 Hz

Polar Pattern (Figure 2)

Output Impedance (at 1000 Hz)
Rated at 150 Ω (180 Ω actual)

Open Circuit Sensitivity (at 1 kHz, ref. 1 V/Pascal*)

Cardioid: -35.0 dB (17.8 mV)

Supercardioid: -33.5 dB (21.1 mV)

Omnidirectional: -27.5 dB (42.2 mV)

All settings -12 dB at 0 gain

*1 Pascal = 94 dB SPL

Maximum SPL (1 kHz at 1% THD, 1 k Ω load)

Cardioid: 124.2 dB

Supercardioid: 122.7 dB

Omnidirectional: 116.7 dB

All settings +6 dB at 0 gain

Equivalent Output Noise (A-weighted)

Cardioid: 28.0 dB SPL

Supercardioid: 26.5 dB SPL

Omnidirectional: 20.5 dB SPL

Signal to Noise Ratio (referenced at 94 dB SPL)

Cardioid: 66.0 dB

Supercardioid: 67.5 dB

Omnidirectional: 73.5 dB

©2002, Shure Incorporated

Dynamic Range at 1 k Ω Load

96.2 dB

100 dB at 0 gain

Common Mode Rejection

45.0 dB minimum

Mute Switch Attenuation (switched models only)

50.0 dB minimum

Preamplifier Output Clipping Level (1% THD)

-6.0 dBV (0.5 V)

-12 dB at 0 gain

Polarity

Positive sound pressure on diaphragm produces positive voltage on pin 2 relative to pin 3 of output connector.

Power Requirements

11 to 52 Vdc phantom, 2.0 mA

Environmental Requirements

Operating Temperature Range: -18° C to 57° C (0° F to 135° F)

Relative Humidity: 0 to 95%

Dimensions (Figure 3)

MODEL MX400 SERIES MICROPHONES

Specification Sheet

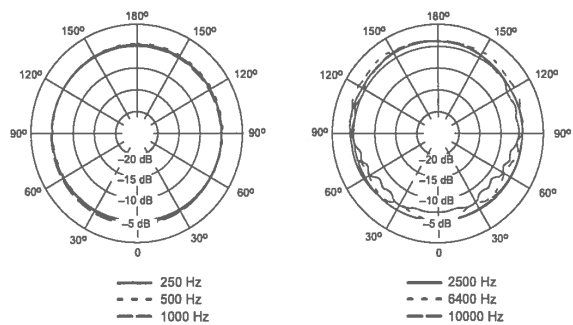
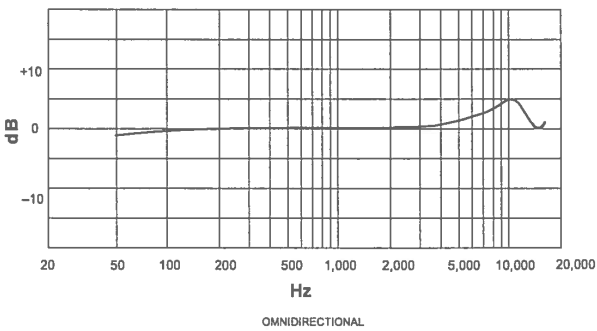
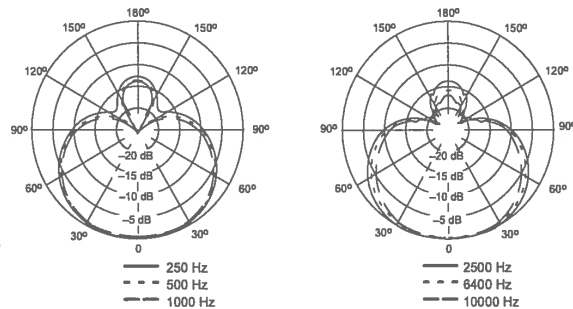
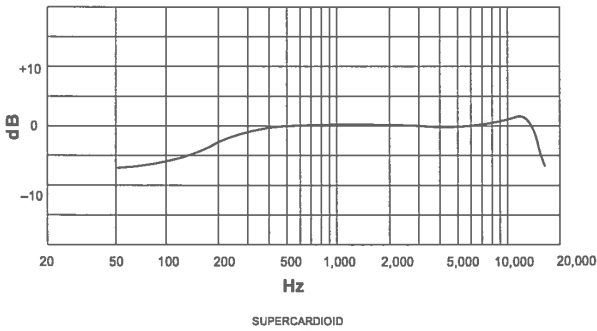
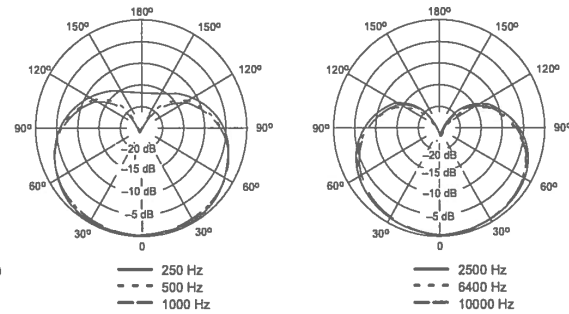
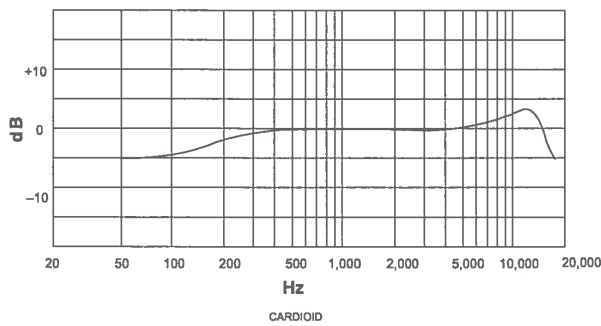
Certification

Eligible to bear CE Marking. Conforms to European EMC Directive 89/336/EEC. Meets applicable tests and performance criteria in European Standard EN55103 (1996) parts 1 and 2, for residential (E1) and light industrial (E2) environments.

REPLACEMENT PARTS

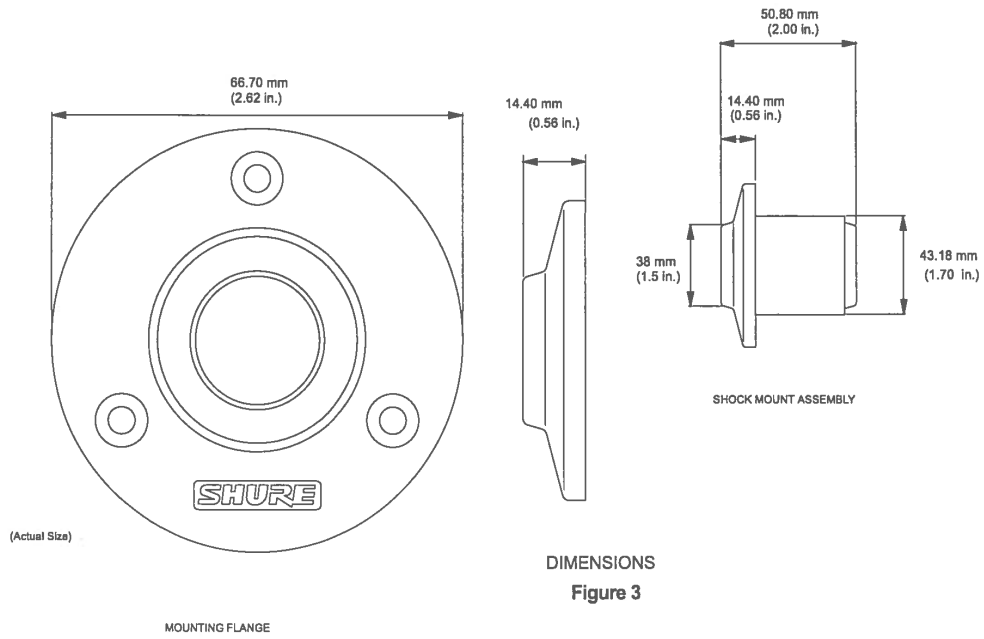
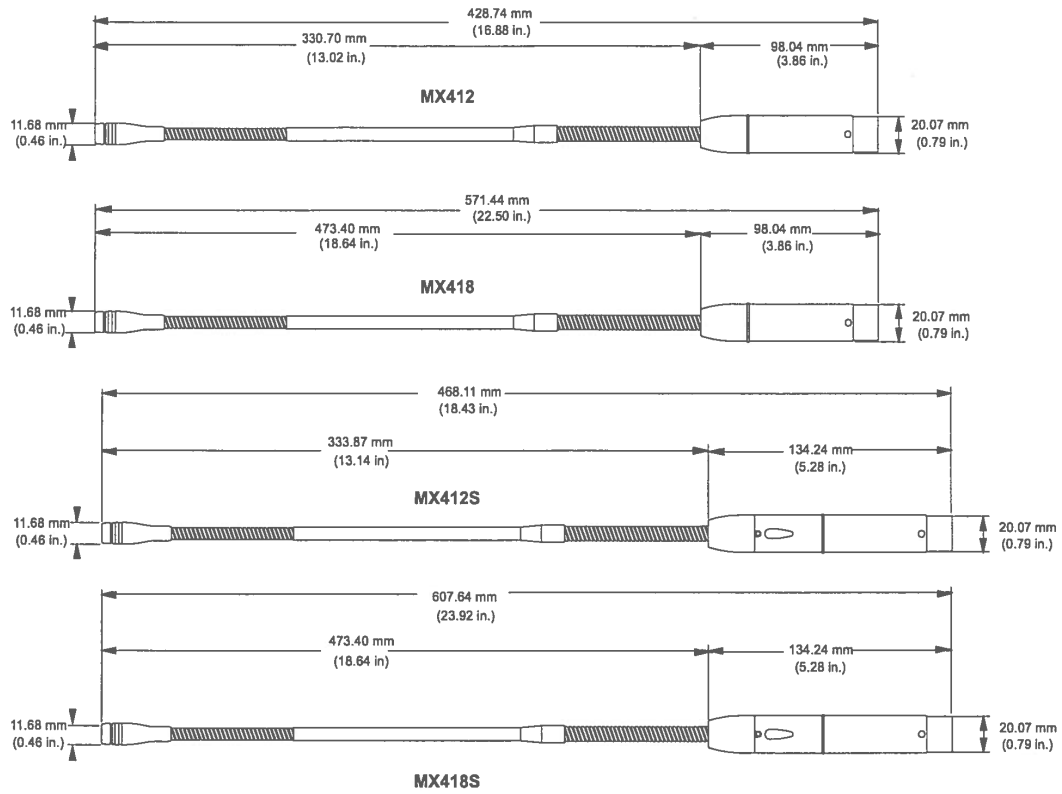
Foam Ball Windscreen	A99WS
Locking Metal Windscreen	A412MWS

Portable Desktop Base	A412B
Stand Adapter	A57E
Omnidirectional Cartridge	R183B
Supercardioid Cartridge	R184B
Cardioid Cartridge	R185B
Snap-fit Foam Windscreen (4)	RK412WS
Shock Mount	A400SM



TYPICAL FREQUENCY RESPONSE
Figure 1

TYPICAL POLAR PATTERNS
Figure 2



SONY



Network PTZ Cameras

Why Sony?

Sony is a recognized leader in the world of professional imaging technology.

Across both consumer and professional applications, Sony is a foremost global manufacturer of high-quality products that go from lens to living room. Sony offers unbeatable, reliable products with progressive technology resulting in a variety of robotic cameras that are ideal for a range of markets including education, broadcast, production, corporate, faith, sports, healthcare and government.



Classrooms/Large Auditoriums/Conference Rooms

From classrooms, lecture halls to conference centers, our BRC and SRG remote cameras ensure speakers and audience members are always clearly visible. Stream lectures, presentations and live performances with broadcast-quality images in 4K or Full HD. Speed control and silent PTZ movement frames presenters and audience reactions with fluid, professional camera moves. Multiple interfaces, flexible control options and Power over Ethernet make them easy to integrate into any size venue.



Broadcast/Reality TV/Production

Our BRC feature-packed remote cameras deliver impeccable images in 4K or Full HD for TV stations, cable channels and internet broadcasters. Excellent low light sensitivity & smooth, silent, PTZ movement makes them a discreet choice for capturing the action in reality TV shows. Achieve dependable on-air operation with tally lamps, professional interfaces, and genlock for smooth integration into multi-camera broadcast environments and reduce costs by remotely controlling cameras with a single operator.



House of Worship

Capture every detail of services, weddings and other ceremonies in any size venue. Our discreet remote cameras are the natural choice for streaming crisp video footage in impressive 4K or Full HD from your house of worship to online audiences and members of the congregation. High sensitivity delivers exceptional image quality even in low-light environments and our powerful optical zoom technology acquires close up details from a discrete distance.



Government/Event/Location Shooting

Get closer to the civil proceeding, debate or press conference from venues around the globe with effortlessly smooth BRC & SRG PTZ cameras. Give your viewing audience a prime seat to the action with the ability to support up to 100 cameras via IP connection remotely with Sony's RM-IP500/1 controller.



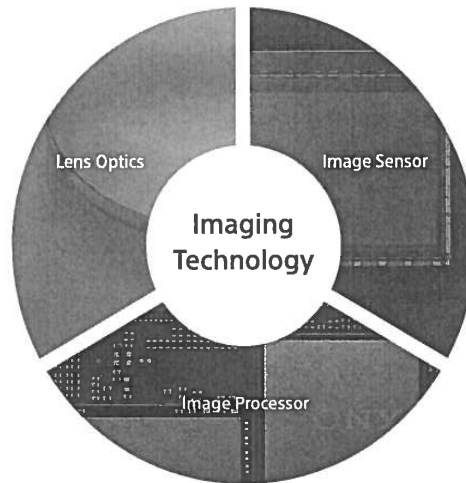
Healthcare/Medical Recording & Training

From patient monitoring to surgical recording/training, Sony's BRC & SRG cameras provide the high-quality and reliability required by critical health professionals. With a host of interfaces to enable simple connectivity to other room devices, Sony PTZ cameras are just what the doctor ordered.

Optimal Imaging Quality for Any Situation

Sony develops all of the camera block's key components, including lenses, sensors, and processors. Our design experience in both consumer and commercial professional markets ensures optimal quality for the camera block's color parameters across a wide range of applications.

As a leading manufacturer of imagers, Sony is continually developing and adapting cutting-edge imaging technology to provide premium image quality.



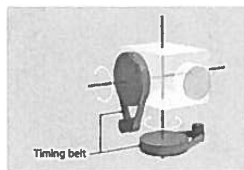
Professional Features

Lecture Management System



Room Automation System

Visual Communication System



System compatibility

Sony has developed close ties with numerous partner vendors, enabling excellent compatibility with peripheral devices.

NDI®|HX compatibility* supports efficient IP-based live production, enabling flexible configuration.

*BRC-X400/SRG-X400/SRG-X120, via optional license.

Precision

The PT drive's use of a timing belt delivers professional-level accuracy and smoothness; and an optimal control parameter makes it possible to realize intuitive operation faithfully, via the controller.

Durability

Our cameras have passed stringent testing – including lens durability testing and pan/tilt operational tests – to ensure they meet the standards of demanding professional users for both quality and reliability.

Discreet Style

Our black and white camera's minimalist design complements any décor, blending seamlessly and stylishly into the room.

The cameras can be tabletop or ceiling mounted for installation flexibility.

NDI®|HX

NDI® is a registered trademark of NewTek, Inc.

Network services, content, and the [operating system and] software of this Product may be subject to individual terms and conditions and changed, interrupted or discontinued at any time and may require fees, registration and credit card information.

Change Your Work Style with AI-based Video Analytics Technology

Create attractive and hassle-free video content in real-time with the REA-C1000.

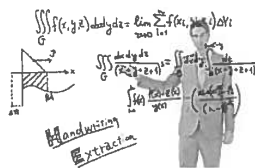
AI-driven virtual cameraman features, coupled with optional software licenses, bring your presentations to life.

Optional licenses include:

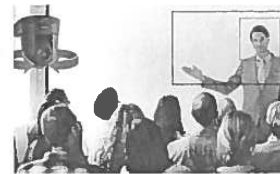
Chromakey-less Overlay, Focus Area Cropping, Close Up by Gesture, Handwriting Extraction and PTZ Auto Tracking.



Edge (REA-C1000)



Handwriting Extraction (REA-L0100)



PTZ Auto Tracking (REA-L0200)

BRC-X1000 Series ^{4K} HD

Remotely capture broadcast quality 4K/HD images with smooth, silent PTZ and excellent low-light sensitivity

The BRC-X1000 Series is Sony's first 4K remote camera, combining uncompromising broadcast picture quality and smooth, silent PTZ operation with the flexibility of Power over Ethernet (PoE+). The BRC-X1000 Series is a key migration model - it takes you from HD today to 4K tomorrow with its resolution options.



BRC-X1000/1 (black)

BRC-X1000/WPW (white)

BRC-H800 Series HD

Remotely capture broadcast quality Full HD images with smooth, silent PTZ and excellent low-light sensitivity.

The BRC-H800 remote cameras combine uncompromising broadcast picture quality and smooth, silent PTZ operation with Power over Ethernet (PoE+), 3G-SDI and HDMI connections.



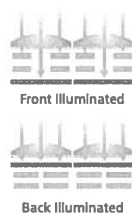
BRC-H800/1 (black)

BRC-H800/WPW (white)

Key Features

High Quality and Fine Detail

Breathtaking 4K/HD Quality



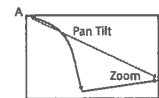
Sony's back-illuminated 1.0 - type Exmor R sensor, unique digital image processor and reliable Zeiss lens enable you to shoot high-sensitivity 4K and HD video with low noise. Teleconvert mode and Clear Image Zoom maintain a high-quality image, even when zooming (up to 48x).

* Only available at 1,920x1,080 output

- Broadcast-quality Full HD 60p images
- 12x Optical Zoom and 18x (4K) or 24x (HD) with Clear Image Zoom Technology
- Excellent low light sensitivity
- Flexible installation
- RCP Connectivity
- Genlock
- Front and rear tally lamps
- Supports common command protocol 700PTP

Enhanced Pan/Tilt/Zoom (PTZ) Operation

Accurately re-frame shots or track moving subjects with smooth, speedy, near-silent remote control of pan, tilt and zoom functions. A high-torque, high-resolution motor coupled with a low speed zoom and a slow pan/tilt mode delivers precise, jitter-free pan/tilt movements.



Professional Camerawork

PTZ motion sync blends separate pan, tilt and zoom during preset movement to deliver super-smooth results.

PTZ Trace Memory function allows a sequence of camera movements to be memorized and followed. PTZ Motion Sync smoothly blends separate pan/tilt/zoom movements for seamless, professional-looking transitions. Up to 100 preset positions for PTZ operations.

Boost Efficiency with Remote Control

Effective One-Person /Operation



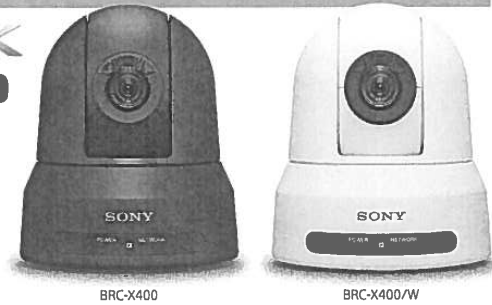
Remotely control multiple cameras without multiple operators. IP settings can be configured automatically without manual IP set-up on a PC with the RMIP500/1's auto-IP set up function.

* BRC-X1000/1: Black Color BRC-X1000/WPW: White Color

BRC-X400 Series **4K HD**

Capture every point of view with Sony's 4K/HD NDI®|HX capable cameras.

The BRC-X400 Series is Sony's first IP 4K PTZ camera with NDI®|HX capability and excellent picture quality delivered by Sony's superb Exmor R™ CMOS sensor.



Key Features

Excellent 4K/HD Picture Quality

Sony's back-illuminated 1/2.5 type 4K Exmor R sensor delivers crisp, low noise images in 4K and HD in any environment. Tele Convert Mode and Clear Image Zoom maintain a high quality image, even when zooming up to 80x (FHD)/30x (4K) with 70° wide shooting angle.

Flexible and Efficient IP-based Live Production

The BRC-X400 cameras support NDI via an optional license available from Netwek. They also feature PoE+ enabling a single network cable for power, image output and camera control. RTSP (Real Time Streaming Protocol) and RTMP* are also supported.

Easy System Configuration and Operation

Supporting multiple camera control protocols (700PTP, CGI and VISCA) and a color bar feature, the BRC-X400 offers compatibility with studio cameras and are an ideal choice for regional TV stations, cable channels, internet broadcasters and reality TV shows. Genlock support and tally lamp enable smooth camera switching in live events. And its new scene file function* enables you to apply the same menu from one camera to the other camera for fast and easy set-up.

Flexible installation

The BRC-X400 is equally suitable for ceiling, desktop or tripod mounting with an 'Image Flip' function that automatically ensures the correct output orientation in any installation environment. Ceiling bracket included.

* By future upgrade planned for early 2020.

BRC-H900 **HD**

Remotely capture broadcast quality Full HD images with smooth, silent PTZ operation.

The BRC-H900 remote studio camera combines uncompromising broadcast picture quality with the flexibility of PTZ operation.



Key Features

Broadcast quality Full HD images

The BRC-H900 delivers uncompromised broadcast quality color pictures in Full HD, thanks to three 1/2-type Exmor CMOS sensors. Advanced picture adjust functions include matrix, color correction, white, detail, knee, gamma, master black, black gamma and flicker cancel.

High quality 14x optical zoom lens

The high quality lens with 14x optical zoom range covers wide angle shots as well as tight close-ups.

Smooth, silent Pan/Tilt/Zoom (PTZ) operation

Accurately re-frame shots or track moving subjects with smooth, quiet remote control of pan, tilt and zoom functions. There's also a slow pan/tilt mode for precise, jitter-free low-speed camera movements.

Flexible installation

The BRC-H900 is equally suitable for ceiling, desktop or tripod mounting, with an 'Image Flip' function that automatically ensures the correct output orientation in any installation environment. Ceiling bracket included.

Remote operation and IP control

P/T/Z and other camera settings can be controlled using the supplied IR remote commander or with the optional RMIP500/1 controller that can control up to 100 cameras over standard IP networks (optional BRBKIP10 board required).

Front and rear tally lamps

Ideal for on-air broadcast use, the BRC-H900 features dual tally lamps on the front and rear of the camera body.

SRG Cameras

SRG-X400

FHD 20x NDI®|HX compatible, PoE+ Triple Output IP Streaming Camera
4K Upgrade via Optional License

SRG-X120

FHD 12x NDI®|HX compatible, PoE+ Triple Output IP Streaming Camera
4K Upgrade via Optional License

SRG-360SHE

FHD 30x PoE+ Triple Output IP Streaming Camera

SRG-300SE Series

FHD 30x 3G-SDI IP Streaming Cameras

SRG-300H Series

FHD 30x HDMI Cameras

SRG-120D Series

FHD 12x Desktop Cameras (HDMI, USB3.0 or 3G-SDI)



	NDI® HX compatible*	FHD /4K** Video Option	3G-SDI	HDMI	IP Stream	IP Control	USB 3.0	Audio	Viewing Angle	Ceiling / Desktop Mountable
SRG-X400	Yes	Yes/Yes	Yes	Yes	Yes	Yes	No	Yes	70°	Yes / Yes
SRG-360SHE	No	Yes/No	Yes	Yes	Yes	Yes	No	Yes	65°	Yes / Yes
SRG-300SE	No	Yes/No	Yes	No	Yes	Yes	No	Yes	65°	Yes / Yes
SRG-300H	No	Yes/No	No	Yes	No	Yes	No	No	65°	Yes / Yes
SRG-X120	Yes	Yes/Yes	Yes	Yes	Yes	Yes	No	Yes	70°	Yes / Yes
SRG-120DS	No	Yes/No	Yes	No	No	Yes	No	No	71°	No / Yes
SRG-120DH	No	Yes/No	No	Yes	No	Yes	No	No	71°	No / Yes
SRG-120DU	No	Yes/No	No	No	No	Yes	Yes	No	71°	No / Yes

* Optional NDI license available from Netwek.

** Optional 4K license upgrade available Spring 2020.

Superb Full-HD 1080/60p Video with High Picture Quality
Incorporating Sony's latest 1/2.5 inch Exmor R CMOS sensor, the SRG-X400 and SRG-X120 cameras provide high sensitivity, high quality full HD (1920x1080/60p) images with extremely low noise. High frame rate (60p) operation ensures smooth, more fluid reproduction of moving objects.

Powerful Optical Zoom

The SRG-X400, with its 20x built-in lens (40x HD zoom capability) and responsive autofocus, images stay clear and sharp, even at high zoom settings and close-ups. The SRG-X120 is equipped with a 12x built-in lens and wide shooting angle (approximately 70°). Both models offer extremely high sensitivity and combine easy and flexible system operation.

Professional PTZ Transitions

The new X Series incorporate new preset features – Fast Preset Recall, Picture Freeze Preset and PTZ Sync*2 - that allow for quick, steady and professional looking image transitions to enhance your audiences' experience.

*2 By future upgrade planned for Spring 2020.

Versality of Applications and Housings

View, record, and/or stream full HD video for a wide range of applications including education, corporate, government, healthcare, sports and houses of worship. The SRG-X400, SRG-X120, SRG-300SE and SRG-300H cameras are available in a black or white housing. The SRG-120DH, DS and DU are available only in silver. The SRG-360SHE is available only in a two toned (black and white) housing.

• **Optional Accessories Include:**

• **RMIP10 and RMIP500/1 Remote Controllers**

The RMIP10 can control up to 112 cameras and up to 16 camera positions. The RMIP500/1 controls up to 100 BRC or SRG cameras and can be controlled via IP. Automatic IP address assignment makes for simple set up.



• **EZ-2-Connect Packages – Power, Video and Control Solutions**

Installation headaches are a thing of the past when you combine an SRG camera with a CAT5e/6 cabling kit. Just one standard Ethernet cable enables power and control – saving you time and money. The RC5-SRG (Ethernet-HDMI) and RC4-SRG (VISCA-HDMI) cable kits are compatible with the SRG-300H series and the SRG-120DH cameras.

Peripheral Equipment



RM-IP500/1
IP Remote Controller

- Control via High-quality joystick or seasaw lever
- Knobs and control buttons simply access to camera functions
- Automatic IP address and camera number assignment
- Control up to 100 BRC or SRG cameras via IP
- Store & recall up to 100 presets
- Adjust camera paint functions
- Adjustable PTZF for smooth, accurate camera movements



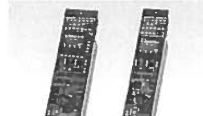
MCX-500
Multi-Camera Live Producer

- Smart controls with configurable LCD Touchscreen
- Mix between 8 video sources + 1 Title (total 9 inputs)
- Multi-view monitoring



RM-IP10
IP Remote Controller

- Comfortable P/T/Z operation with the optical three-axis joystick
- Versatile camera adjustment by simple panel operation
- The use of IP technology allows flexible installation and easy operation
- Preset feature saves camera settings (up to 16 positions)



RCP-1500/3100
Remote Control Panel

- Paint control for Sony remote camera and system camera
- IRIS/Master Pedestal Control with joystick
- Ethernet cable operation



CNA-1
Camera Control Network Adaptor

- Command conversion between BRC-H900 and RCP-1500/1530
- Option soft HZC-BRCN1 is required.

Optional Accessories



BRBK-IP10*
IP Control Card

- * For BRC-H900
- ** For BRC-X1000/H800/H900
- *** For BRZ-12CDH dome



BRBK-HSD2*
HD/SD-SDI Output Card



BRU-SF10*
HD Optical Multiplex Unit
(Supports Single-mode optical fiber)



BRZ-12CDH
Environmental Dome Housing**

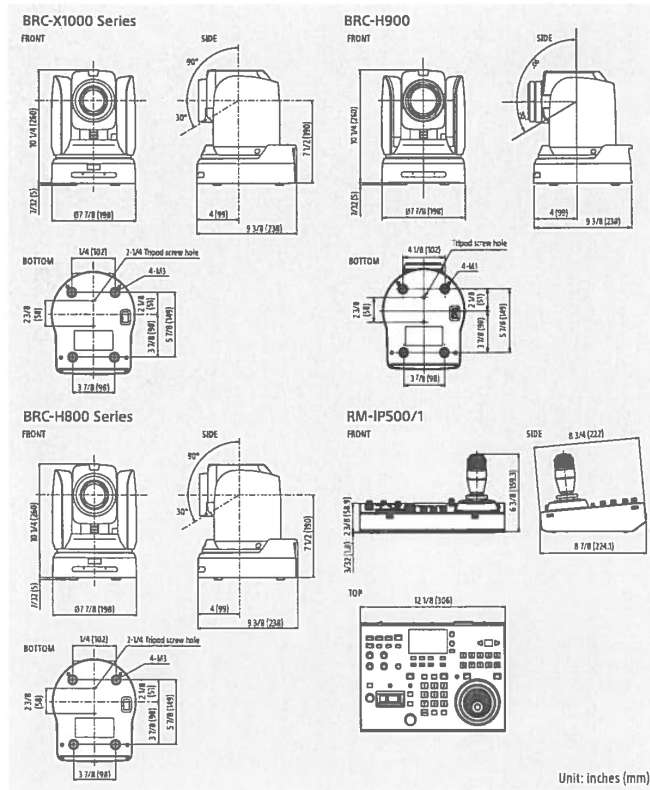
KT-STRUT
Uni Strut Wall/Ceiling Mount Kit***

KT-WPM2
Wall/Pole Mount Kit***

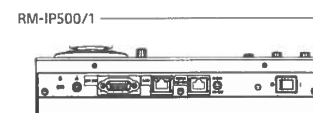
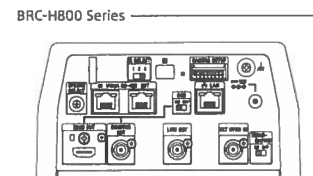
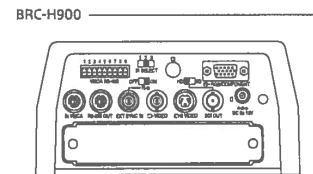
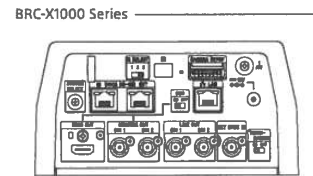
KTSONY38042ST
Fiber Conversion Kit
(two BNC connectors version)**

KTSONY38044ST
Fiber Conversion Kit
(four BNC connectors version)**

Dimensions



Rear Panels



Network Camera Line up by Application

	Broadcast Studios	Auditoriums, Assembly Halls	Workshop and Event Spaces	Network Broadcasting	Education	Corporate	Training/Operating Rooms	Remote Patient Monitoring	Videoconferencing, Huddle Space	
	Broadcasting & High-End Production			Live Streaming, Production, Image Recording, Healthcare			Visual Communications			
Model	BRC-X1000/1, BRC-X1000/WPW	BRC-H900/1, BRC-H900/WPW	BRC-X4000	SIG-X400	SIG-360SHE	SIG-300SE	SIG-300H/1, SIG-300H/WP	SIG-M120	SIG-1200H/1, SIG-1200S/1, SIG-1200U	
Interface	3G-SDI, HDMI	3G-SDI, HD-SDI, NDI	3G-SDI, HDMI, NDI	3G-SDI, HDMI, NDI	3G-SDI, HDMI, NDI	3G-SDI, HDMI, NDI	3G-SDI, HDMI, NDI	3G-SDI, HDMI, NDI	HDMI, 3G-SDI, USB	
Sensor	1/2-type CMOS sensor	1/2-type CMOS sensor	1/2.5-type CMOS sensor	1/2.5-type CMOS sensor	1/2.5-type CMOS sensor	1/2.5-type CMOS sensor	1/2.5-type CMOS sensor	1/2.5-type CMOS sensor	1/2.5-type CMOS sensor	
Signal Format	2160/79.5/7p, 25p, 23.98p 1080/59.94p, 59.94p, 50p, 23.98p 720/59.94p, 50p	1080/59.94p, 59.94p, 50p, 23.98p 720/59.94p, 50p	2160/79.5/7p, 25p, 23.98p (HDMI and IP only) 1080/59.94p, 59.94p, 50p, 23.98p 720/59.94p, 50p	2160/79.5/7p, 25p, 23.98p (HDMI and IP only) 1080/59.94p, 59.94p, 50p, 23.98p 720/59.94p, 50p	1080/59.94p, 59.94p, 50p, 23.98p 720/59.94p, 50p, 23.98p	1080/59.94p, 59.94p, 50p, 23.98p 720/59.94p, 50p, 23.98p	1080/59.94p, 59.94p, 50p, 23.98p 720/59.94p, 50p, 23.98p	2160/79.5/7p, 25p, 23.98p (HDMI and IP only) 1080/59.94p, 59.94p, 50p, 23.98p 720/59.94p, 50p	1080/59.94p, 59.94p, 50p, 23.98p 720/59.94p, 50p, 23.98p	1080/59.94p, 59.94p, 50p, 23.98p 720/59.94p, 50p, 23.98p
NDI™ HX™	No	No	Yes (Optional)**	Yes (Optional)**	No	No	No	Yes (Optional)**	No	
Zoom	Optical 12x Max. 18x at 60° Max. 48x at 170°**	Optical 12x Max. 48x at 170°**	20x optical / 30x (4x with OZ) / 40x (10 with OZ) (10 with OZ and for Convert Mode)	20x optical / 30x (4x with OZ) / 40x (10 with OZ)	Optical 30x Max. 360x**	Optical 30x Max. 360x**	Optical 30x Max. 360x**	12x (4x/18)	Optical 12x Max. 18x**	
Pan/Tilt Speed	Pan: 0.3° to 60°/s Tilt: 0.3° to 60°/s	Pan: 0.3° to 60°/s Tilt: 0.3° to 60°/s	Pan: Max. 300°/sec Tilt: Max. 135°/sec	Pan: Max. 300°/sec Tilt: Max. 135°/sec	Pan: Max. 100°/s Tilt: Max. 60°/s	Pan: Max. 100°/s Tilt: Max. 60°/s	Pan: Max. 300°/sec Tilt: Max. 180°/sec	Pan: Max. 300°/sec Tilt: Max. 180°/sec	Pan: Max. 300°/s Tilt: Max. 180°/s	
Horizontal Viewing Angle	Approx. 64.6 degrees (Wide)	Approx. 64.6 degrees (Wide)	Approx. 70.0 degrees (Wide)	Approx. 70.0 degrees (Wide)	Approx. 65 degrees (Wide)	Approx. 65 degrees (Wide)	Approx. 70.0 degrees (Wide)	Approx. 70.0 degrees (Wide)	Approx. 71 degrees (Wide)	
Preset Position	16	16	256 (OZ), 100 (RSCA)	256 (OZ), 16 (RSCA)	256 (OZ), 16 (RSCA)	256 (OZ), 16 (RSCA)	256 (OZ), 100 (RSCA)	256 (OZ), 100 (RSCA)	16	
Wide Dynamic Range	No	No	Gamma/Color/Detail/Black gamma/Color matrix	Gamma/Color/Detail/Black gamma/Color matrix	No	No	No	No	Yes (View DR technology)	
Picture Adjustment	Gamma/Color/Detail/Black gamma/Color matrix	Gamma/Color/Detail/Black gamma/Color matrix	Gamma/Color/Detail/Black gamma/Color matrix	Gamma/Color/Detail/Black gamma/Color matrix	No	No	No	No	No	
Audio Input	N/A	N/A	Yes (2ch)	Yes (2ch)	Yes (2ch)	Yes	N/A	Yes (2ch)	N/A	
Genlock	Yes	Yes	No	No	No	No	No	No	No	
Power	DC12V, PoE+	DC12V, PoE+	DC12V, PoE+	DC12V, PoE+	DC12V, PoE+	DC12V, PoE+	DC12V, PoE+	DC12V, PoE+	DC12V	
Control	RS-422 (RSCA)/RJ-45 (RSCA over IP)	RS-422 (RSCA)/RJ-45 (RSCA over IP)	RS-422 (RSCA)/RJ-45 (RSCA over IP)	RS-422 (RSCA)/RJ-45 (RSCA over IP)	RS-422 (RSCA)/RJ-45 (RSCA over IP)	RS-422 (RSCA)/RJ-45 (RSCA over IP)	RS-422 (RSCA)/RJ-45 (RSCA over IP)	RS-422 (RSCA)/RJ-45 (RSCA over IP)	RS-232C (RSCA)/RJ-45 (RSCA over IP)	
Ceiling Mount	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes	No	
Remark	*1 With Dual Lens 3G-SDI (20 only) for BRC-X1000/1 Board *2 With 1.6x Clear Image Zoom *3 With 2x Clear Image Zoom and 2x The Convert Mode	*1 With 2x Clear Image Zoom and 2x The Convert Mode	*2 Optional downloadable IP license required. *3 With 2x Clear Image Zoom and 2x The Convert Mode	*2 Optional downloadable IP license required. *3 With 2x Clear Image Zoom and 2x The Convert Mode	*1 With 12x Digital Zoom *2 Optional downloadable HD license required. Available with optional 4K upgrade license.	*1 With 12x Digital Zoom	*1 With 12x Digital Zoom	*1 With 12x Digital Zoom *2 Optional downloadable HD license required. Available with optional 4K upgrade license.	*1 With 12x Digital Zoom *2 Optional downloadable HD license required. Available with optional 4K upgrade license.	*1 With 12x Digital Zoom *2 Optional downloadable HD license required. Available with optional 4K upgrade license.

* BRC-X1000/1: Black Color BRC-X1000/WPW: White Color BRC-H900/1: Black Color BRC-H900/WPW: White Color BRC-X4000: Black Color BRC-X4000/WP: White Color SIG-X4000: Black Color SIG-X4000/W: White Color SIG-X1200/W: White Color

Specifications

	BRC-X1000/1 (black) BRC-X1000/WPW (white)	BRC-H900	BRC-H800/1 (black) BRC-H800/WPW (white)	SRG-360SHE	SRG-300SE (black) SRG-300SE/W (white) SRG-300H (black) SRG-300H/W (white)	SRG-120DH SRG-120DS SRG-120DU
General						
Power Requirements	DC 10.8V to 13.2V, PoE+ (IEEE802.3at compliant)	DC10.8V to 13.2V	DC 10.8V to 13.2V, PoE+ (IEEE802.3at compliant)	DC 12V (DC 10.8 V to 13.2V)	DC 12V (DC 10.8 V to 13.2V)	DC 12V (DC 10.8 V to 13.2V)
Power Consumption	DC12 V 21.5 W (max), PoE+ 25.5 W (max)	Max 28.8 W (without optional cards)	DC12 V 19.0 W (max), PoE+ 23.0 W (max)	Max. 30 W	16.8 W	16.8 W
Dimensions (W x H x D)	Approx. 7 7/8 x 10 1/4 x 9 3/8 inches Approx. 198 x 260 x 238 mm (without projecting object)	Approx. 7 7/8 x 10 1/4 x 9 3/8 inches Approx. 198 x 260 x 238 mm (without projecting object)	Approx. 7 7/8 x 10 1/4 x 9 3/8 inches Approx. 198 x 260 x 238 mm (without projecting object)	6 3/8 x 7 1/2 x 8 inches 159 x 187.5 x 200.5 mm	6 1/4 x 6 1/2 x 6 1/2 inches 157 x 164 x 163 mm	6 1/8 x 6 1/4 x 6 1/8 inches 153 x 156 x 153 mm
Weight	Approx. 9 lb, 7.7 oz Approx. 4.3 kg	Approx. 11 lb 0.37oz Approx. 5.0 kg	Approx. 9 lb, 7.7 oz Approx. 4.3 kg	Approx. 4 lb 10 oz Approx. 2.1 kg	Approx. 3 lb 3.1 oz Approx. 1.45kg	Approx. 3 lb 3.1 oz Approx. 1.45kg
PoE+	Yes	No	Yes		No	
Operating Temperature	32 °F to 104 °F (0 °C to 40 °C)					
Storage Temperature	-4 °F to +140 °F (-20 °C to +60 °C)					
Ceiling Mount	Yes					
Supplied Accessories	IR Remote Commander (1), AC power adaptor (1), AC power cable (1), Ceiling bracket (1), wire rope (1), HDMI cable fixing plate (1), Screw M3 x 8 (7), Screw M4 x 8 (1)	IR Remote Commander Unit (1), AC Power adaptor (1), AC power cord (1), Ceiling bracket (2), RS-422 connector plug (1), Ceiling bracket (2), Wire rope (1), Screws (M3 x 8) (7), Screws (M4 x 8) (1), Operating instructions (1)	IR Remote Commander (1), AC power adaptor (1), AC power cable (1), Ceiling bracket (1), wire rope (1), HDMI cable fixing plate (1), Screw M3 x 8 (7), Screw M4 x 8 (1)	IR Remote Commander (1), AC power adaptor (1), AC power cable (1), Ceiling bracket (1), wire rope (1), HDMI cable retainer (1), Screw M3 x 8 (9), Screw M2.6 x 6 (1)	AC power adaptor (1), AC power cable (1), Ceiling bracket (2), wire rope (1), RS-422 connector plug (1), Screw M3 x 8 (8) SRG-300H Series: IR Remote Commander (1), AC power adaptor (1), AC power cable (1), Ceiling bracket (2), wire rope (1), RS-422 connector plug (1), Screw M3 x 8 (8)	IR Remote Commander (1), AC power adaptor (1), AC power cable (1)

	BRC-X400 / BRC-X400/W
General	
Model Name	BRC-X400 / BRC-X400/W
Video Output	3G-SDI/HDMI/IP streaming (4K output only via HDMI and IP)
Zoom Ratio (CIZ=Clear Image Zoom)	30x (4K with CIZ)/40x (HD with CIZ), (Digital 12x)
Image Sensor	1/2.5 Exmor R CMOS
Minimum Illumination (S0IRE)	1.6 lux (S0IRE, F2.0 30fps)
Signal System (Max)	3840 x 2160 29.97p/1080 59.94p
Horizontal Viewing Angle (Wide)	Approx. 70 degrees
Pan/Tilt Range	P: +170 T: +90, -20
Max Preset Speed [deg/s]	300°/sec (Pan), 126°/sec (Tilt)
Number of Preset	256 (CGI)
Picture Freeze Preset	Yes
Body Color	Black and White
Control Interface	VISCA, VISCA over IP, 5700PTP, CGI
PoE+	Yes (IEEE802.3at compatible)
Audio	2ch
IP Streaming	Yes
External Sync In	Yes
AC adapter	DC12V
Tally Lamp	Yes (front)
Option	NDI*HX

	BRZ-12CDH
General	
Dimensions	17 3/8 x 21 x 27.5 in (441.3 x 533.4 x 689.5 mm)
Weight	52 lbs. (23.58kg)
Optical Dome	Clear Cell Cast Acrylic
Input Power	90 ~ 305VAC, 47 ~ 63HZ, 2.5A/115VAC 1.3A/230VAC 1.1A/277VAC
Construction	Aluminum Alloy outer shell, Acrylic / PMMA bubble

Fiber Conversion Kits

KTSONY380425T

Fiber Conversion Kit for BRC-X1000 and BRC-H800 series. Kit includes the transmitter (for two BNC Connectors) and receivers, Receiver has a single BNC connector, an RJ45, two BNC connectors and a single ST connector for fiber link.

KTSONY380445T

Fiber Conversion Kit for BRC-X1000 and BRC-H800 series. Kit includes the transmitter (for two BNC Connectors) and receivers, Receiver has a single BNC connector, an RJ45, four BNC connectors and a single ST connector for fiber link.

	SRG-400 / SRG-X400/W	SRG-X120 / SRG-X120/W
General		
Model Name	SRG-X400 / SRG-X400/W	SRG-X120 / SRG-X120/W
Video Output	3G-SDI/HDMI/IP streaming (4K output only via HDMI and IP)	
Zoom Ratio (CIZ=Clear Image Zoom)	30x (4K with CIZ)/40x (HD with CIZ), (Digital 12x)	12x (4K/HD), (Digital 12x)
Image Sensor	1/2.5 Exmor R CMOS	
Minimum Illumination (S0IRE)	1.6 lux (S0IRE, F2.0 30fps)	
Signal System (Max)	3840 x 2160 29.97p(optional license)/1080 59.94p	
Horizontal Viewing Angle (Wide)	Approx. 70 degrees	
Pan/Tilt Range	P: +170 T: +90, -20	
Max Preset Speed [deg/s]	300°/sec (Pan), 126°/sec (Tilt)	
Number of Preset	256 (CGI)	
Picture Freeze Preset	Yes	
Body Color	Black and White	
Control Interface	VISCA, VISCA over IP, CGI	
PoE+	Yes (IEEE802.3at compatible)	
Audio	2ch	
IP Streaming	Yes	
External Sync In	No	
AC adapter	DC12V	
Tally Lamp	No	
Option	4K upgrade, NDI*HX (4K Upgrade planned in early 2020)	

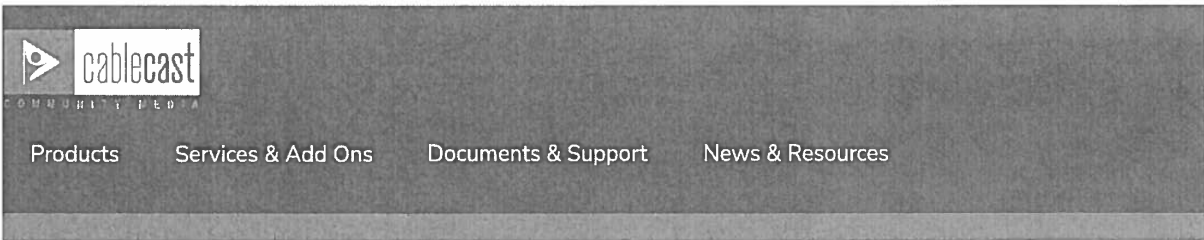
	RM-IP500/1
Input/output connectors	
Control Input/output	VISCA RS-422: RJ-45 x 1 CPL I/O (Tally In/Contact Out): D-Sub 15-pin (female) LAN: RJ-45 x 1, 10BASE-T/100BASE-TX automatically detected
Control signal format	9,600 bps/38,400 bps (for RS-422 communication) VISCA over IP communication
Power connector	JEITA type 4 (DC IN 12 V)
General	
Input voltage	12V DC (10.8 to 13.2V DC)
Current consumption	0.2A typ (2.4 W)
Operating temperature	32°F to 104°F (0°C to 40°C)
Storage temperature	-4°F to 140°F (-20°C to 60°C)
Dimensions (W x H x D)	12 1/8 x 6 3/8 inches x 8 7/8 inches (306 mm x 159.3 mm x 224.1 mm) (excluding protrusions)
Weight	Approx. 5 lb 4.7 oz (Approx. 2.4 Kg)
Supplied Accessories	None. (Power Supply: Separate Option, Manual: Downloadable from Web site)

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The values for weight and dimension are approximate.
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Sony Electronics Inc.
115 West Century Road, Suite 250
Paramus, NJ 07652
pro.sony/PTZ

IS-1272-B (MK20262V2)

Issued in USA (12/19)



Automation : Cablecast VIO Lite



CABLECAST VIO LITE

Configurable 2 channel server, 8TB internal storage (no RAID & not expandable), 1RU chassis, optional built-in CG Bulletin Board, no redundant power.

Part Number: *CBL-VIOLITE-600*

Click image to enlarge



- ABOUT
- SPECS
- DIAGRAM
- VIDEO

CHASSIS
 Size: 1.7" x 17.2" x 16.9" (1RU) (Height x Width x Depth)
 Weight: 20lbs (Shipping)
 Power: 500W with Input 100 - 240Vac (50-60Hz)

CONNECTIVITY
 Video IO: 2 SDI (BNC) Configurable as Input or Output (2 out / 0 in, or 1 out / 1 in).
 Audio IO: 2 SDI Embedded Stereo
 Genlock: Tri-Sync or Black Burst
 Display Output: VGA

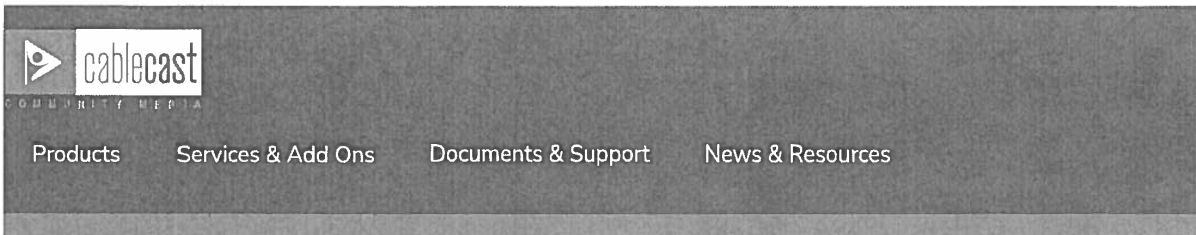
STORAGE
 System: 250 GB - No RAID
 Content: 8 TB - No RAID (Not expandable)

MULTIMEDIA & SOFTWARE
 Operating System: Windows 10 (2019 LTSC)
 Encoding Formats: AVC(H.264) & MPEG2
 Playback Formats: MPEG 2 IBP, MPEG 2 I-Frame, MPEG 4, H.264, AVI, DVCAM, DVCPRO, DVCPRO50, DV, IMX
 Native Network Decoding Formats: RTP, RTMP, & HLS (RTMP requires an RTMP server)
 Cablecast CG Player optional (Licensing required per channel)

INCLUDED WITH PURCHASE

- VIO Lite
- AC Power Cable

WARRANTY
 Software Warranty: 1 year included
 Hardware Warranty: 3 years included (Parts and Labor)



Automation : Cablecast VIO Lite OMNI



CABLECAST VIO > LITE OMNI

All-in-one cable broadcast, web, mobile and OTT video server. 1 RU, 8TB Internal Storage
Part Number: *CBL-VIOLITE-OMNI*

Click image to enlarge



- ABOUT
- SPECS
- ADD ONS
- DIAGRAM
- VIDEO

CHASSIS
 Size: 1.7" x 17.2" x 16.9" (1RU) (Height x Width x Depth)
 Weight: 20lbs (Shipping)
 Power: 500W with Input 100 - 240Vac (50-60Hz)

STORAGE
 System: 250 GB - No RAID
 Content: 8 TB - No RAID (Not expandable)

INCLUDED WITH PURCHASE
 VIO Lite OMNI
 AC Power Cable
 System Commissioning
 Cablecast CG Player License
 Software Warranty: 1 year
 Hardware Warranty: 3 years (Parts & Labor)

CONNECTIVITY
 Video Output: Compatible with Apple HLS specification
 2 SDI (BNC) 1 out / 1 in
 Audio IO: 2 SDI
 Embedded Stereo
 Genlock: Tri-Sync or Black Burst
 Display Output: VGA

MULTIMEDIA & SOFTWARE
 Operating System: Windows 10 (2019 LTSC)
 Encoding Formats: AVC(H.264) & MPEG2
 Playback Formats: MPEG 2 IBP, MPEG 2 I-Frame, MPEG 4, H.264, AVI, DVCAM, DVCPRO, DVCPRO50, DV, IMX
 Native Network Decoding Formats: RTP, RTMP, & HLS (RTMP requires an RTMP license)

server)

Internet Delivery: Multi-bitrate H.264
(HLS) streaming scales to 1080P
Embeddable PDF's & VOD Chaptering
included with chapter markers

**RESOLUTION AUTHORIZING THE EXECUTION OF ADDENDUM
#3 TO LIBRARY SERVICES BETWEEN THE VILLAGE OF ARDSLEY,
THE ARDSLEY LIBRARY BOARD AND THE
VILLAGE OF ELMSFORD**

RESOLVED, that the Village Board of the Village of Ardsley hereby authorizes the Mayor to sign addendum #3 to the agreement for purposes of clarification and extension whereby the Ardsley Public Library will provide services to the Village of Elmsford; and

BE IT RESOLVED, the Village of Elmsford will pay the Ardsley Public Library an annual lump sum for the period of June 1, 2021 through May 31, 2022 which such amount shall be due on or before March 31, 2022 with five year periodic adjustments thereafter for the remainder of the term of this agreement.

**THIRD ADDENDUM TO AGREEMENT FOR LIBRARY SERVICES
AND INTERMUNICIPAL AGREEMENT**

THIS ADDENDUM dated as of March 7, 2022, between the VILLAGE OF ELMSFORD, A New York municipal corporation having an office at 15 South Stone Avenue, Elmsford, New York 10523, the ARDSLEY PUBLIC LIBRARY, a New York educational corporation having its principal place of business at 9 American Legion Drive Ardsley, New York 10502 and the VILLAGE OF ARDSLEY, a New York municipal corporation having an office at 507 Ashford Avenue, Ardsley, New York 10502.

WHEREAS, the Villages of Elmsford and Ardsley and the Ardsley Public Library (the "Parties") entered into an Agreement for Library Services and Intermunicipal Agreement dated as of October 1, 2006 (the "Agreement"), (a copy of which is annexed as Schedule A), and

WHEREAS, the Parties entered into an Addendums to the Agreement dated as of March 2, 2009, and June 5, 2017 for purposes of clarification and extension (the "Addendum"), (a copy of which is annexed as Schedule B), and

WHEREAS, the Parties wish to enter into a Second Addendum for purposes of further clarification.

NOW, THEREFORE, for valuable consideration, receipt of which is hereby acknowledged, the Parties agree as follows:

1. The annual lump sum payment for the period June 1, 2021, through May 31, 2022, shall increase 1% above the previous year, and shall be Two Hundred Eighty-Two Thousand Sixty-One (\$282,061.00) Dollars, which shall be due on or before March 31, 2022.
2. The annual lump sum payment for the period June 1, 2022, through May 31, 2023, shall increase 1% above the previous year, and shall be Two Hundred Eight Four Thousand Eight Hundred Eighty-One (\$284,881.00) Dollars, which shall be due on or before June 30, 2022.
3. The annual lump sum payment for the period June 1, 2023, through May 31, 2024, shall increase 1% above the previous year, and shall be Two Hundred Eighty-Seven Thousand Seven Hundred Thirty (\$287,730.00) Dollars, which shall be due on or before June 30, 2023
4. The annual lump sum payment for the period June 1, 2024, through May 31, 2025, shall increase by 1% above the previous year, and shall be Two

Hundred Ninety Thousand Six Hundred Seven (\$290,607.00) Dollars, which shall be due on or before June 30, 2024.

5. The annual lump sum payment for the period June 1, 2025, through May 31, 2026, shall increase 1% above the previous year, and shall be Two Hundred Ninety-Three Thousand Five Hundred Thirteen (\$293,513.00) Dollars, which shall be due on or before June 30, 2025.
6. The annual lump sum payment for each subsequent five (5) year period during the Term commencing on June 1, 2026, shall be subject to review and adjustment by the Parties, which adjustment, if any, shall be determined no less than 18 months prior to the commencement of each such subsequent five (5) year period.
7. Except as otherwise provided in this Addendum, the Agreement shall remain in full force and effect. All capitalized terms not otherwise defined in the Addendum shall have the same meaning as in the Agreement

IN WITNESS WHEREOF, the parties have executed this Agreement as of the date set forth above.

VILLAGE OF ELMSFORD

By: _____
Robert Williams, Mayor

ARDSLEY PUBLIC LIBRARY

By: _____
Stephanie Bonney, Library Board President

VILLAGE OF ARDSLEY

By: _____
Nancy Kaboolian, Mayor

**RESOLUTION DECLARING LEAD AGENCY AND SCHEDULING A
PUBLIC HEARING FOR RIVER ROCK MUSIC, LLC.
721 SAW MILL RIVER ROAD**

RESOLVED, that the Village Board of the Village of Ardsley hereby declares itself Lead Agency for site plan approval for a proposed application to convert the vacant commercial building at 721 Saw Mill River Road into a music school; and

NOW THERE FORE BE IT FURTHER RESOLVED, that the Village Board of the Village of Ardsley hereby schedules a public hearing on Monday, March 21, 2022 to discuss the proposed application.

MEMO

TO: Mayor Kaboolian
Village Board of Trustees

FROM: Larry J. Tomasso

DATE: February 24, 2022

RE: River Rock Music LLC, 721 Saw Mill River Road

River Rock Music, LLC applied for a permit to convert the vacant retail space at 721 Saw Mill River Road (former Planet Wings) into a music school. Village Board approval is required for this project pursuant to §200-65A of the code.

I researched the original and subsequent approvals for this property and I did not find any parking variances or parking waivers granted. It appears that this shopping center was approved for mixed use with the existing number of parking spaces.

There is no specific parking requirement enumerated in the code for this type of business but the retail and personal services requirement of 1 space per 150 square feet of floor appears to be applicable since this is a drop off/pick up type business. The former use of this space was retail with several additional parking spaces required for the 20+ seats.

The VB should declare itself Lead Agency for the Site Plan approval and schedule a public hearing for the 3/21/22 agenda.

Let me know if you need any additional information.



15 Minturn St.
Hastings-on-Hudson, NY 10706
February 20, 2022

Board of Trustees
Village of Ardsley, NY 10502

Dear Board Members:

My name is Kenneth Baum and I have recently leased 721 Saw Mill River Rd. with hopes of opening a music education program. The business, River Rock Music, LLC., would offer individual and group lessons in pop / rock music with instruction offered in guitar, electric bass, keyboards, drums and voice.

River Rock would be open Monday-Friday, 10:00am-9:00pm, and Saturdays 9:00am-5:00pm. At full capacity there would be 2 full-time and 14 part-time employees serving approximately 150 private (1-1) lessons per week and 30 group classes per week.

There would be programs for 3 distinct age groups with very little overlap in scheduling:

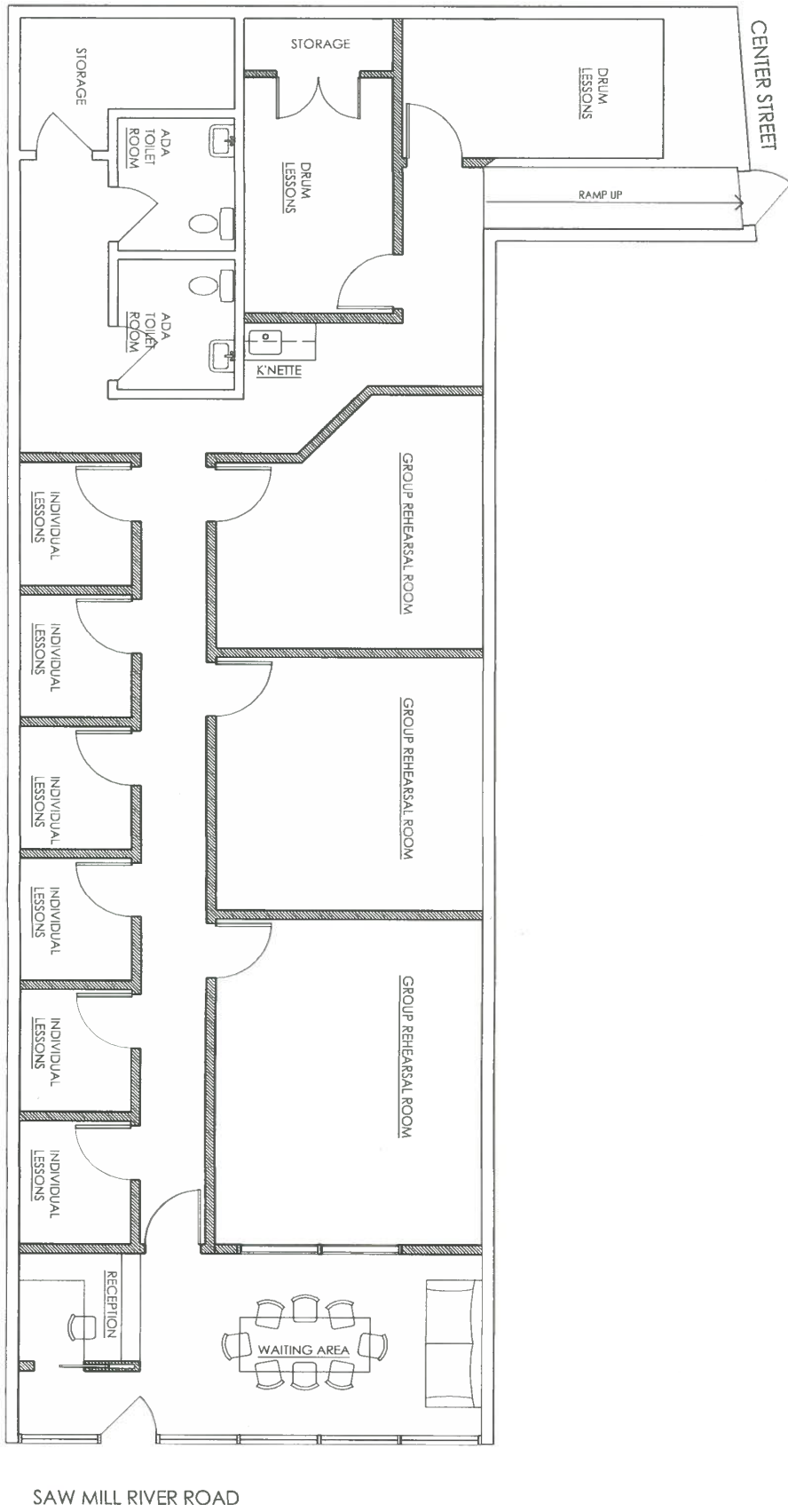
- Daytime for toddlers & children age 18 months – 5 years old (M-F 10:00am-3:00pm).
- After-school & Saturday for kids age 6-18 (M-F 3:30pm-8:00pm, Sat 9:00am-5:00pm).
- Adult instruction (M-F 7:00pm-9:00pm).

Both the after-school and adult programs are performance-based, with students taking a combination of individual and group instruction that culminates in a live, public performance at a local River Town venue.

As a former principal of a successful public school, I am deeply experienced in school-aged populations and their families, and I would strive my hardest to build a program of the highest quality. I am also a current resident of the area and I would take great pride in providing Ardsley and the surrounding River Towns with a superb music education option. Thank you for your consideration.

Sincerely,

Kenneth Baum
Managing Member
River Rock Music, LLC



RIVERROCK MUSIC SCHOOL
 721 SAWMILL RIVER ROAD
 ARDSLEY, NY

DWG NO. **A1**

SCHEMATIC FLOOR PLAN
 SCALE: 1/8" = 1'-0"

SEAL



ISSUE

2/22/22 BUILDING PERMIT

**RESOLUTION TO APPROVE THE PLACING OF LITTLE
LEAGUE SPONSORSHIP BANNERS / SIGNS AT
MCDOWELL PARK BALLFIELDS**

RESOLVED, that the Village Board of the Village of Ardsley hereby approves the placement of Little League Sponsorship Banners / Signs starting April 1, 2022 through October 31, 2022 on the outfield fences at the McDowell Park ballfields.

RESOLUTION CONDEMNING ANTISEMITISM

WHEREAS, the Ardsley Village Board is committed to speaking out against and opposing racism, prejudice, hate, and bigotry. The United States of America is a nation founded on the principles of religious freedom and the right of all people to life, liberty and the pursuit of happiness. We treasure our freedoms and our democratic values.

WHEREAS, antisemitism has been defined as certain perception of Jews, which may be expressed as hatred toward Jews. Rhetorical and physical manifestations of antisemitism are directed toward Jewish or non-Jewish individuals and/or their property, toward Jewish community institutions and religious facilities.” The Anti-Defamation League describes antisemitism as “[t]he belief or behavior hostile toward Jews just because they are Jewish.”

WHEREAS, according to the FBI data, 8,263 hate crimes took place in the United States in 2020, an increase of nearly 9% compared to the 7,287 reported in 2019. Of all reported hate crimes, 1,174 targeted victims due to their religion and 676 or 54.9% targeted American Jews. More than one in three American Jews reported having been the victim of antisemitism over the past five years;

WHEREAS, this surge of antisemitic acts of hate crimes, vandalism and harassment, including attacks on individuals for the policies of Israel, have made American Jews feel more vulnerable than they have felt in decades. The Unite the Right March in Charlottesville, Virginia; the fatal attack on the Tree of Life synagogue in Pittsburgh, Pennsylvania; and the most recent hostage-taking at a synagogue in Colleyville, Texas are prominent examples of this disturbing rise on attacks on Jews across our country.

WHEREAS, here in Westchester County we have seen a rise in antisemitism acts of hate crimes, assault, vandalism and harassment including online Jewish religious services interrupted by antisemitic acts, displaying and posting swastikas and other offensive materials in public areas; and antisemitic graffiti has been found at high schools, on Westchester County and Village of Ardsley-owned property, on playgrounds, at train station parking lots, and at homes throughout the County;

WHEREAS, as leaders in our community we must speak out, confront, and condemn all forms of antisemitism. The fight against antisemitism should not be fought solely by Jews. When antisemitism remains unchecked, it endangers our democracy and harms both Jews and other marginalized groups. The most powerful way to counter antisemitism is through education. We must seek ways to educate and promote community conversations about antisemitism. We must speak up and fight against Holocaust denial and distortion. Hatred and disinformation endanger democracy and the values we live by.

NOW BE IT RESOLVED, that the Ardsley Police Department include in its annual report to the Village Board a report of antisemitic acts within the Village of Ardsley that year and that the department report any such incidents to Westchester County, as required by law, as the County Human Rights Commission records actions of county-wide incidents of hate; and

NOW BE IT FURTHER RESOLVED, that the Ardsley Village Board of Trustees is committed to opposing the threat antisemitic hate poses to the American values of religious freedom and democracy, hereby condemns all forms of hate and antisemitism. The Village of Ardsley will make every effort to ensure that our community is one where all people are welcome and included and where all faiths and traditions are respected. We are resolved to respect and support one another as a

community to work together to ensure that antisemitism here in the Village of Ardsley, Westchester County, the State of New York, the United States of America and around the world ends now.