



AGENDA

Ardasley Village Board of Trustees

8:00 PM - Monday, October 2, 2023

507 Ashford Avenue & Zoom Platform

The members of the Board of Trustees of the Village of Ardsley will meet in person on Monday, October 2, 2023 at 8:00 p.m. at Village Hall-Court Facility located at 507 Ashford Avenue, Ardsley, New York. Members of the public may join the meeting in person at Village Hall or remotely by using the Zoom information below. The meetings are conducted using hybrid format and interested parties are invited to observe a meeting either in-person or virtually through the videoconferencing service Zoom which can accessed:

Join Zoom Meeting

- Meeting ID: 895 7456 1221
- Passcode: 625408

Members of the public can listen to the meeting by dialing via phone+1 929 205 6099, Webinar ID: 895 7456 1221, Passcode: 625408

**Please note that by dialing in, your phone number will be visible to the BROADCAST LIVE ON VERIZON 32/35 & CABLEVISION 75
CALL IN NUMBER (914) 693-6202

Page

1. CALL TO ORDER-PLEDGE OF ALLEGIANCE

2. PROCLAMATION

- 2.a Proclamation Designating November as " Monarch Butterfly Month" in the Village of Ardsley

3. APPROVAL OF MINUTES

- 3.a September 18, 2023 Board of Trustees Regular Meeting Minutes

4. DEPARTMENT REPORTS

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4.1. LEGAL

4.1.a Village Attorney, Robert J. Ponzini

4.2. MANAGER

4.2.a Village Manager, Joseph L. Cerretani

4.3. ABSTRACT REPORT

4.3.a October 2, 2023 Abstract Report

5. MAYOR'S ANNOUNCEMENTS

6. COMMITTEE & BOARD REPORTS

7. OLD BUSINESS:

8. NEW BUSINESS:

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8.a Consider a Resolution to Approve Work Change Order Number 1 for Montesano Brothers, Inc. Regarding the 2023 Joint Road Milling and Paving Project

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8.b Consider a Resolution Declaring Lead Agency and Scheduling a Public Hearing for DNAC Realty, LLC., 500 Ashford Avenue

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8.c Consider a Resolution Adding TD Bank to the List of Official Depositories

9. CORRESPONDENCE

10. VISITORS

11. CALL FOR EXECUTIVE SESSION

12. ADJOURNMENT OF MEETING

13. UPCOMING EVENTS & MEETINGS

- October 3rd Board of Architectural Review Meeting 8:00 pm
- October 5th Climate Action Committee Meeting 7:00 pm
- October 6th Crossfire Hurricane -Concert in the Park 6:00 pm
- October 9th Columbus Day/Indigenous Peoples-All Village Offices Closed

- October 10th Recreation Commission Meeting 5:00 pm
- October 10th Planning Board Meeting 8:00 pm
- October 12th Ardsley Library Investing 101 for Women 6:00 pm
- October 14th Italian/American Heritage Celebration! 12:00 pm
- October 17th Board of Architectural Review Meeting 8:00 pm
- October 20th Movie in the Park (Halloween Movie) 7:15 pm
- October 25th Zoning Board Meeting 8:00 pm
- October 26th Ardsley Library Presents Adult Book Club 6:00 pm
- October 26th Library Board Meeting 7:30 pm
- October 28th Trunk or Treat! 1:00 pm

14. NEXT BOARD MEETING:

- October 16th Board of Trustees Regular Meeting 8:00 pm
- October 18th Board of Trustees Work Session 7:30 pm

**PROCLAMATION DESIGNATING NOVEMBER AS
“MONARCH BUTTERFLY MONTH”
IN THE VILLAGE OF ARDSLEY, NEW YORK**

WHEREAS, monarch butterflies are probably the best-known butterflies in North America. Monarch butterflies are found throughout the U.S. (including Hawaii, but not Alaska), southern Canada, southern Portugal and Spain, Caribbean Islands, Australia, New Zealand, and other Pacific Islands; and

WHEREAS, the large and brilliantly colored monarch butterfly is among the most easily recognizable of the butterfly species that call North America home. Their wings are a striking deep orange with black borders and veins, and white spots along the edges; and

WHEREAS, twenty years ago, more than one billion Eastern monarch butterflies migrated to Mexico but in the winter of 2014, only 60 million monarchs made the trip; and

WHEREAS, the monarch population has declined by more than 95% since the 1980s. Habitat loss and fragmentation, extreme weather events, invasive species, and pesticide/herbicide use have contributed to the decline of monarch butterflies and other pollinators in the United States; and

WHEREAS, the monarch butterfly has been listed as Endangered by the International Union for Conservation of Nature (IUCN), a global authority on the conservation status of species. An endangered listing means the species is likely to go extinct without significant intervention; and

WHEREAS, simply changes in landscaping practices can make a big difference for the monarchs. By incorporating specific garden elements

like native milkweed (for breeding) and other native wildflowers (for feeding), the Village and every resident of Ardsley can create habitats to help save the monarchs; and

WHEREAS, the Village of Ardsley can play a critical role in helping to save the monarch butterfly by providing habitats in public parks, community gardens, office buildings, recreation centers and libraries. Schools, homes, and businesses can all provide essential habitat for monarch too; and

NOW, THEREFORE, BE IT RESOLVED, that the Village of Ardsley will pledge to help restore habitat for the monarch and will support the use of native plants in Village property that support Monarchs, pollinators, and native wildlife, where possible, and ensure the Village will make efforts to educate residents and local businesses on the importance of preserving healthy native plant habitats for the conservation of our local ecosystems: and

NOW, THEREFORE, BE IT FURTHER RESOLVED I, Nancy Kaboolian, Mayor of Ardsley, do hereby proclaim November 2023, “MONARCH BUTTERFLY MONTH” in the Village of Ardsley.



MINUTES

Ardsey Village Board of Trustees

8:00 PM - Monday, September 18, 2023

507 Ashford Avenue & Zoom Platform

Present: Mayor	Nancy Kaboolian
Deputy Mayor/Trustee	Andy Di Justo
Trustee	Asha Bencosme
Trustee	Steve Edelstein
Village Manager	Joseph L. Cerretani
Village Clerk	Ann Marie Rocco
Village Attorney	Robert J. Ponzini

Absent:

1. CALL TO ORDER-PLEDGE OF ALLEGIANCE-ROLL CALL

- 1.1 The Regular Meeting of the Village of Ardsley Board of Trustees was held on September 18, 2023 at Village Hall, Court Facility, 507 Ashford Avenue, Ardsley, NY 10502.

Mayor Kaboolian called to order the Regular Meeting at 8:00 p.m.

Members Present:

Mayor Nancy Kaboolian

Deputy Mayor/Trustee Andy Di Justo

Trustee Asha Bencosme

Trustee Edelstein

Also present were: Village Manager, Joseph Cerretani, Village Attorney, Robert J. Ponzini and Village Clerk, Ann Marie Rocco

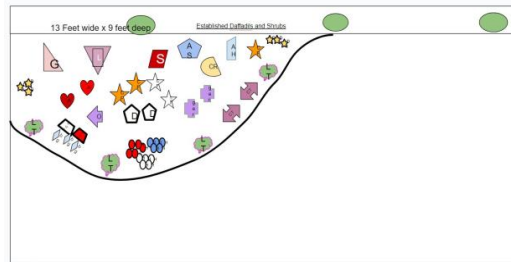
2. PRESENTATION

- 2.1 Ardsley Girl Scouts 100-Anniversary and Silver Award Project

Troop Leader (2579), Miriam Raposh Sassalos was present to advise the Board that they have chosen the Ardsley Library grounds for the centennial garden. Local members donated some of their native plants to this project which keeps in theme of the beautiful gardens already there. Please take a moment to review the attachments and link. We are also requesting approval for a metal staked sign marking the Ardsley Girl Scouts 100th anniversary. Size and material of the sign are not final as the Girl Scouts / Leaders will need to fund raise and vote on the materials used. There is a general idea in the Google Sheet (link below).

When the garden is cleaned and ready the Ardsley Girl Scouts will be invited to plant the bulbs and plants during a time when the library is closed.

<https://docs.google.com/spreadsheets/d/1re-T2vtqJToz8cw1OaA36Sf-sWD9v-oOVqyHG6FdHXl/edit?usp=sharing>



3. PUBLIC HEARING In the Matter of the Proposed Development Located at 657 Saw Mill River Road in the Village of Ardsley *Visitors shall be accorded one (1) four (3) minute opportunity to address the Board on this public hearing.*

3.1 Mayor Kaboolian opened the Public Hearing at 8:00 p.m. in the matter of the proposed development located at 657 Saw Mill River Road in the Village of Ardsley and read the public notice into the record:

NOTICE OF PUBLIC HEARING
FOR THE PROPOSED DEVELOPMENT AT 657 SAW MILL RIVER ROAD IN
THE VILLAGE OF ARDSLEY

PLEASE TAKE NOTICE, that the Board of Trustees of the Village of Ardsley will hold a public hearing on Monday, September 18, 2023 at 8:00 p.m. or soon thereafter at Village Hall-Court Room, 507 Ashford Avenue, Ardsley, NY 10502 to discuss the proposed development at 657 Saw Mill River Road in the Village of Ardsley.

Please check the calendar on the village website for meeting details at: www.ardsleyvillage.com

Further details on this amendment is available at the Clerk's office, 507 Ashford Avenue, Ardsley, NY during normal office hours Monday through Friday 9:00 am-4:00 pm.

Written comments may be sent to the Village Clerk at arocco@ardsleyvillage.com or sent via regular mail to 507 Ashford Ave, Ardsley, NY 10502. All comments will be shared with the Board of Trustees and questions will be answered as quickly as possible.

All residents and taxpayers are invited to attend.

BY ORDER OF THE BOARD OF TRUSTEES OF THE
VILLAGE OF ARDSLEY, NEW YORK

Ann Marie Rocco
Village Clerk

Dated: September 8, 2023

Diana Bunin Kolev Esq. from Law Firm from Del Bello, Donnellan Weingarten Wise & Wiederkehr, LLP. was present to provide the Board with an overview of the project to replace a previously existing gas station/auto repair facility at 657 Saw Mill River Road with a modern and efficient gas station with a convenient store.

Project Architect, Anthony Nester provided the Board with a presentation of the plan:

- Proposed building is 2,210 s.f.
- Gas Canopy
- Provides a better buffer from residential properties to the east.
- Provides a better operation of facility.
- Provides better internal circulation of cars and trucks.
- Enhanced common areas for patrons.
- Minimizes grading & retaining walls.
- 12 proposed parking spaces
- 1HC space
- 1EV space
- 10 standard spaces
- Water course is 656 s.f.
- Reviewed renderings of preferred and non-preferred site plans
- Additional seating along Saw Mill River Road

Bryan Orser, Thornwood Four Corners, LLC. explained that he has been on this project since the beginning. We have finally got to the point where we have the right layout of the building based on the Planning Board suggestions.

Village Planner, Dave Smith explained to the Board that the next steps for them would be:

- Village Board needs to provide some guidance to the applicant and formalize traffic, stormwater management.
- Village Board needs to hear from the public.
- Provide some direction over one plan or the other.
- Make a determination if this plan has a negative declaration.

Peter Marcus Ardsley resident spoke in opposition of this project. How does this gas station fit into our Comprehensive Plan? Mr. Marcus is very concerned with safety, people who are using the cut throughs are not law abiding. More comments were received via email from Mr. Marcus see correspondence section (9).

Ralph Scaleri ,Ardsley resident spoke in favor of this project. Unfortunately, our Village does not have a great appeal and feels that this will help.

Paul Lumaj, owner of 504 Ashford Avenue is concerned with the traffic at this location.

Brandon Buka, Almena Avenue spoke in favor of this project. He explained as he was growing up in Ardsley he and his friends spent a lot of time out of Ardsley because there wasn't a lot in Ardsley. He does not see the point of having an empty lot.

Heeral Meta, Fairmont Avenue stated that she does not see the purpose of another gas station. We should attract another type of business and make it a useful space.

Ed Kapsis, Ardsley resident spoke in opposition of this project and read her comments as stated below in the correspondence section (9) of the minutes.

Jodie Reaver Ardsley resident spoke in opposition of this project and read her comments as stated below in the correspondence section (9) of the minutes.

Diana Bunin Kolev Esq. addressed some items that came up in the comments section:

- We are asking for a site plan approval and we are open to design suggestion
- We are proposing as of right use of a gas station and retail space
- There was never any abandonment from the tenant. There has always been an intent to use this site.

- We are adding two pumps to what has previously been there.

Moved by Trustee Edelstein, Seconded by Trustee Bencosme and passed unanimously.

RESOLVED, RESOLVED, that the Public Hearing be continued to the October 16, 2023 Board Meeting in the matter of the proposed development located at 657 Saw Mill River Road in the Village of Ardsley at 9:20 p.m.

Carried by the following votes: 4-0-0

Ayes: Mayor Kaboolian, Trustee DiJusto, Trustee Bencosme & Trustee Edelstein

Nays: None

Abstained: None

4. PUBLIC HEARING In the Matter of Amending Chapter 143-4 and 143-5 of the Ardsley Village Code Entitled "Parking Meter Zones" and "Permit Parking"

4. Mayor Kaboolian opened the Public Hearing at 8:01 p.m. in the matter of amending chapter 143-4 and 143-5 of the Ardsley Village Code entitled "Parking Meter Zones" and "Permit Parking" and read the public notice into the record:

NOTICE OF PUBLIC HEARING

AMENDING CHAPTER 143-4 AND 143-5 OF THE ARDSLEY VILLAGE CODE ENTITLED "PARKING METER ZONES" AND "PERMIT PARKING"

PLEASE TAKE NOTICE, that the Board of Trustees of the Village of Ardsley will hold a public hearing on Monday, September 18, 2023 at 8:00 p.m. or soon thereafter at Village Hall-Court Room, 507 Ashford Avenue, Ardsley, NY 10502 to discuss amending chapter 143-4 and 143-5 of the Ardsley Village Code entitled "Parking Meter Zones" and "Permit Parking".

Please check the calendar on the village website for meeting details at: www.ardsleyvillage.com

Further details on this amendment is available at the Clerk's office, 507 Ashford Avenue, Ardsley, NY during normal office hours Monday through Friday 9:00 am-4:00 pm.

Written comments may be sent to the Village Clerk at arocco@ardsleyvillage.com or sent via regular mail to 507 Ashford Ave, Ardsley, NY 10502. All comments will be shared with the Board of Trustees and questions will be answered as quickly as possible.

All residents and taxpayers are invited to attend.

BY ORDER OF THE BOARD OF TRUSTEES OF THE
VILLAGE OF ARDSLEY, NEW YORK

Ann Marie Rocco
Village Clerk
Dated: September 8, 2023

FINAL DRAFT 9/11/23

The deleted text is in ~~highlighted strikethrough~~ and the proposed text is **bold underlined**.
§ 143-4 Parking meter zones.

The following locations are hereby designated as parking meter zones, to be governed as provided in Chapter 190, Vehicles and Traffic, Article IV, **see § 143-5 below for exceptions**:

Name of Highway	Side	Hours/Days	Time Limit/Rate	Location
Legion Park (Municipal Parking Lot No. 1)	All	8:00 a.m. to 8:00 p.m.	2 hrs.	All
Village Green (Municipal Parking Lot No. 2)	West	8:00 a.m. to 8:00 p.m.	2 hrs.	<u>All</u> Rear along Saw Mill River from southwest corner north for 135 feet
<u>Bridge Street Parking Lot</u>	<u>All</u>	<u>8:00 a.m. to 8:00 p.m.</u>	<u>2 hrs.</u>	<u>All</u>

§ 143-5 Permit parking.

Parking in the Village Green and Bridge Street parking meter zones specified in § 143-4 above shall be allowed by permit between the hours of 8:00 a.m. and 8:00 p.m. Such parking permit shall be affixed to the driver's side of the rear bumper. The Village Clerk shall issue such parking permits on an annual basis and shall collect therefore the fees set forth in § A210-3 of the Ardsley Village Code for the issuance of such permits.

~~Parking in designated areas shall be by permit only between the hours of 7:00 a.m. and 9:00 p.m. Such parking permit shall be affixed to the driver's side of the rear bumper. The Village Clerk shall issue such parking permits on an annual basis and shall collect therefore the fees set forth in § A210-3 of the Ardsley Village Code for the issuance of such permits. Parking in the following designated parking areas shall be by permit only:~~

~~A. — Bridge Street Parking Lot.~~

- B. ~~The Village Green (Municipal Parking Lot No. 2), east side, from north rear corner of building north for 100 feet.~~
- C. ~~The Village Green (Municipal Green Municipal Parking Lot No. 2), west side along Saw Mill River from northwest corner south for 100 feet. [Amended 3-2-1998]~~
- D. ~~The Village Green (Municipal Parking Lot No. 2), north side of north driveway from Saw Mill River Road sidewalk west for 100 feet.~~

Moved by Trustee DiJusto, Seconded by Trustee Bencosme and passed unanimously.

RESOLVED, RESOLVED, that the Public Hearing be closed in the matter of amending Chapter 143-4 and 143-5 of the Ardsley Village Code Entitled "Parking Meter Zones" and "Permit Parking" at 9:21 p.m.

Carried by the following votes: 4-0-0

Ayes: Mayor Kaboolian, Trustee DiJusto, Trustee Bencosme & Trustee Edelstein

Nays: None

Abstained: None

5. APPROVAL OF MINUTES

5.1 Board of Trustees Regular Meeting Minutes-September 5, 2023

Moved by Trustee DiJusto, Seconded by Trustee Bencosme and passed unanimously.

RESOLVED, that the Village Board of the Village of Ardsley hereby approves the minutes of the Regular Meeting of Tuesday, September 5, 2023 as submitted.

Carried by the following votes: 4-0-0

Ayes: Mayor Kaboolian, Trustee Di Justo, Trustee Bencosme & Trustee Edelstein

Nays: None

Abstained: None

6. DEPARTMENT REPORTS

1. LEGAL

- 1.a Village Attorney, Robert Ponzini there is nothing to report. Working on various items with staff and is available for Executive Session if needed.

2. MANAGER

- 2.a Village Manager, Joseph Cerretani read the following report:

1. **NEW DPW CONSTRUCTION PROJECT:** The roof panels and wall panels have been completed. We anticipate windows being installed by the end of the week. Garage doors are on site and will be installed this month. We received proposals for the security system that was not included with the original bid specifications. The dollar amounts exceed mandated thresholds for competitive bidding, and we will be soliciting bids for the additional work. Bids will be due by October 13. The full specifications will be ready by the end of this week and anyone interested in obtaining the bid specifications can reach out to the Village Clerk, Ann Marie Rocco. Additional drainage work and site preparation will also continue this month in hopes to have the site blacktopped before the cold weather sets in and the plants close. Plumbing, HVAC and Electrical contractors are all on site continuing to work. We are still anticipating substantial completion by January 2024.
2. **SANITARY SEWER PROJECT:** We are setting up a pre-construction meeting to begin this next phase. We encourage residents to sign up for email alerts and Nixle notifications to receive information regarding any road closures or detours. We had a sewer issue this morning, and thanks to David DiGregorio and the DPW for their prompt and effective work.
3. **PAVING & CURBING:** As per my last report, paving projects have begun on the south portion of the Village. Again, we encourage residents to sign up for email alerts and Nixle notifications to receive information regarding any road closures or detours.
4. **FIRE TRUCK:** Following up on an item from the last Board meeting, Chief Knoesel and I spoke with the local dealer, the National Director of Sales, and the CEO of Seagrave Fire Apparatus LLC. The Seagrave team projected the 10% cost increase based on observations from the original bid date (September 2021) to the date of the letter (May of 2023). The CEO further added that though there are additional increases they can expect to observe until the date of construction, they will cap those material cost increases at 10%. Depending on the type of apparatus ordered, some jurisdictions have incurred price increases anywhere from 15%-22%. We have been given assurance that there will not be any further increases due to materials or labor costs. We have also negotiated additional year of manufacturer's warranty. Based on the CEO's calendar of construction, which he estimates to remain consistent throughout the upcoming months, our projected construction date is now January 2024 with an estimated delivery of April 2024 – more than 1 year after our original delivery date.
5. **WESTCHESTER COUNTY MOBILE CLERK'S OFFICE:** The Westchester County Clerk's Community Outreach Mobile Office will be at Pascone Park from 10 a.m. to 1 p.m. Tuesday, September 26th. If you are applying for a new passport or if your adult passport expired more than five years ago, the mobile office can help you. Other services available September 26th include free notary services, preserving military discharge papers and filing a business certificate. In-person notary services will be available

free of charge. Bring photo ID. Feel free to reach out to Village Clerk, Ann Marie Rocco 914-693-1550 with any questions.

6. **SCHOOL TAX:** Village residents are reminded that the first installment of the School tax is due by Monday, October 2, as September 30th falls on a weekend. For those of you who like to pay in person at the last minute, please remember NOT to bring your payments to Ardsley Village Hall. Bring them directly to Greenburgh Town Hall which is located at 177 Hillside Avenue. Should you have any questions, please telephone the Town Tax Receiver’s Office at 989-1550.

3. ABSTRACT REPORT/TREASURER REPORT

- 3.a September 18, 2023 Abstract Report
 Village Treasurer, Leslie Tillotson read the September 18, 2023 Abstract Report as follows:
 From the General Fund:\$437,278.86 from the Trust & Agency Fund:\$487.50 and from the Capital Fund: \$484,297.50 Sewer Fund: \$3,706.30.

Moved by Trustee Bencosme, Seconded by Trustee Edelstein and passed unanimously.

RESOLVED, that the Village Board of the Village of Ardsley hereby authorizes the Village Treasurer to make the following payments: From the General Fund: \$437,278.86 from the Trust & Agency Fund:\$487.50 from the Capital Fund:\$484,297.50 and Sewer Fund:\$3,706.30

Carried by the following votes: 4-0-0
 Ayes: Mayor Kaboolian, Trustee Di Justo, Trustee Bencosme & Trustee Edelstein
 Nays: None
 Abstained: None

- 3.b Treasurer, Leslie Tillotson read the following Fiscal year end May 31, 2023 highlights:

GENERAL FUND-REVENUES

Account	Final Budget	Actual	Variance with Final Budget	Balance as of 5/31/23
Sales Tax	\$990,000	\$1,311,310	\$321,310	\$1,226,852
Mortgage Tax	\$135,000	\$170,209	\$35,209	\$175,568
Fines & Forfeitures	\$665,000	\$790,919	\$125,919	\$644,370
Building Permits	\$125,000	\$193,424	\$68,424	\$128,581
FEMA	\$0	\$82,026	\$82,026	\$282,261

GENERAL FUND -EXPENDITURES

Expenditure Function	Final Budget	Actual	Variance with Adopted Budget	Balance as of 5/31/22
General Support	\$2,463,335	\$2,219,038	\$244,297	\$2,154,482
Public Safety	\$4,230,862	\$4,178,911	\$51,951	\$4,347,275
Transportation	\$1,289,578	\$1,245,333	\$44,245	\$1,138,836
Culture & Recreation	\$523,448	\$516,954	\$6,494	\$503,214
Home & Community	\$678,517	\$625,734	\$52,783	\$543,377
Employee Benefits	\$3,876,573	\$4,014,424	(\$137,851)	\$3,627,429
Debt Services	\$1,881,015	\$1,881,015	\$0	\$1,777,642

Fiscal Year Highlights

- The projected unaudited increase in fund balance for the general fund for the 2022/2023 fiscal year could potentially range between \$600,000-\$700,000.
- This projected increase for 2022/2023 was based on a budget that was adopted below the tax cap.
- For the current fiscal year the average increase in sales tax for June – August 2023 is 1.5% higher compared to June-August of 2022.

Capital Project-Highway Garage

- Total Project Budget \$22,858,540
- Total costs to date \$14,609,072
- Balance of project \$8,249,468

Treasurer, Leslie Tillotson recommended to the Mayor and the Board of Trustees to add TD Bank as a depository for the Village effective immediately. As Village Treasurer it is my fiscal responsibility to research what is in the best interest for the Village and through my inquiries, TD Bank will provide services that will benefit the Village.

4. BUILDING

- 4.a Mayor Kaboolian stated that the June, July & August 2023 Building Department Reports be accepted under submission.

June 2023 Building Department Report.

Building Inspector Larry Tomasso provided the board with the following financial report:

17 Building permits
17 Application fees
7 Certificates of Occupancy
18 Plumbing permits
11 Electrical permits
10 Title Searches
3 Miscellaneous
Total received - \$23,555.75
Other activities:
71 Building inspections
13 Zoning inspections
0 Fire Inspections
5 Violations
1 Warnings
0 Appearance Tickets

July 2023 Building Department Report.

Building Inspector Larry Tomasso provided the board with the following financial report:

7 Building permits
9 Application fees
9 Certificates of Occupancy
5 Plumbing permits
11 Electrical permits
9 Title Searches
0 Miscellaneous
Total received - \$7,795.75
Other activities:
78 Building inspections
10 Zoning inspections
0 Fire Inspections
7 Violations
7 Warnings
0 Appearance Tickets

August 2023 Building Department Report.

Building Inspector Larry Tomasso provided the board with the following financial

report:

10 Building permits
13 Application fees
11 Certificates of Occupancy
10 Plumbing permits
8 Electrical permits
8 Title Searches
1 Miscellaneous
Total received - \$27,303.00
Other activities:
112 Building inspections
15 Zoning inspections
3 Fire Inspections
4 Violations
1 Warnings
0 Appearance Tickets

5. POLICE

5.a Police Chief, Anthony Piccolino was absent.

6. FIRE DEPARTMENT

6.a Mayor Kaboolian stated that August 2023 Fire Department Report be accepted under submission.

Chiefs

Chiefs Activity Report:

The following is the Chiefs report and summary of activities:

- 20 Calls for month of August
- Department held 5 weekly training drills (August 3-10-17-24-31) see attached training report.
- August 4 Members attended the annual Ossining Fire Department parade winning two trophies. "Best appearing Department without band" and "Best appearing Engine".
- August 7 Chief Knoesel met with Hudson Valley Fire Apparatus for annual aerial certification.
- August 15 Chief Knoesel, Podolski, Lindsay met with Vendor to demo new thermal imaging camera.
- August 30 -Chief Knoesel and Chief Lindsay met vendor for Firefighting Gear replacememnt.

Training Officers Report-August 2023

August 3rd Firehouse maintenance and parade prep-Training Hours 40.00, 20 members Present
August 10th SCBA refresher and gear donning-Training Hours 32.50, 13 members present
August 17th monthly drill, hose line and hydrant operations-Training hours 52.50, 21 members present
August 24th Airbag and strut operations -Training hours 16.00 8 members present
August 31st Fast team operations-Training hours 35.00, 15 members present
New York State Classes 0.00 hours
Training Hours 176.00, 77 Members present
Online training McNeil & Co. E-Learning:
Training: 176.00 hours
Inspection: 0.00 hours
Maintenance 0.00 hours
New York State: 0.00 hours
Online Training McNeil & Co. e-learning 0.00 hours
Total: 176.00 hours

Total Runs for the Month of August 2023: 20

7. MAYOR'S ANNOUNCEMENTS

- 7.a Mayor Kaboolian announced that Craig Weitz submitted his letter of resignation as a Trustee to the Village on September 12, 2023 and the Village accepted the letter of resignation.

This vacancy is Mayor appointed and if anyone is interested in the Village Trustee position, please email Mayor Kaboolian at nkaboolian@ardsleyvillage.com or mail letter of interest to Village Hall, 507 Ashford Avenue, Ardsley, NY 10502.

8. COMMITTEE & BOARD REPORTS

- 8.a Trustee DiJusto announced the following:
- Thanked Trish Lacy & recreation department for putting together the food truck Friday event.
 - Thanked the Ardsley Historical Society for their presentation at the Atria
 - Fire Carnival will start September 20th-24th
 - ASVAC will be having a Wellness Fair on

Trustee Bencosme announced the following:

- CAC has postponed their upcoming October 5th meeting. Stay tuned for a new meeting date.
- Attended the Climate March in New York City.

7. OLD BUSINESS:

7.1 Consider a Resolution to Amend Chapter 143-4 and 143-5 of the Ardsley Village Code Entitled "Parking Meter Zones" And "Permit Parking"

Moved by Trustee DiJusto, Seconded by Trustee Bencosme and passed unanimously.

RESOLVED, that the Village Board of the Village of Ardsley hereby amends Chapter 143-4 and 143-5 of the Ardsley Village Code entitled "Parking Meter Zones" and "Permit Parking" as follows:

The deleted text is in ~~highlighted strikethrough~~ and the proposed text is **bold underlined**.

§ 143-4 Parking meter zones.

The following locations are hereby designated as parking meter zones, to be governed as provided in Chapter 190, Vehicles and Traffic, Article IV, see § 143-5 below for exceptions:

Name of Highway	Side	Hours/Days	Time Limit/Rate	Location
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Village Green (Municipal Parking Lot No. 2)	West	8:00 a.m. to 8:00 p.m.	2 hrs.	<u>All</u> Rear along Saw Mill River from southwest corner north for 135 feet
<u>Bridge Street Parking Lot</u>	<u>All</u>	<u>8:00 a.m. to 8:00 p.m.</u>	<u>2 hrs.</u>	<u>All</u>

§ 143-5 Permit parking.

Parking in the Village Green and Bridge Street parking meter zones specified in § 143-4 above shall be allowed by permit between the hours of 8:00 a.m. and 8:00 p.m. Such parking permit shall be affixed to the driver's side of the rear bumper. The Village Clerk shall issue such parking permits on an annual basis and shall collect therefore the fees set forth in § A210-3 of the Ardsley Village Code for the issuance of such permits.

~~Parking in designated areas shall be by permit only between the hours of 7:00 a.m. and 9:00 p.m. Such parking permit shall be affixed to the driver's side of the rear bumper. The Village Clerk shall issue such parking permits on an annual basis and shall collect therefore the fees set forth in § A210-3 of the Ardsley Village Code for the issuance of such permits. Parking in the following designated parking areas shall be by permit only:~~

- ~~A. Bridge Street Parking Lot.~~
~~B. The Village Green (Municipal Parking Lot No. 2), east side, from north rear corner of building north for 100 feet.~~
~~C. The Village Green (Municipal Green Municipal Parking Lot No. 2), west side along Saw Mill River from northwest corner south for 100 feet. [Amended 3-2-1998]~~
~~D. The Village Green (Municipal Parking Lot No. 2), north side of north driveway from Saw Mill River Road sidewalk west for 100 feet.~~

Carried by the following votes: 4-0-0

Ayes: Mayor Kaboolian, Trustee DiJusto, Trustee Bencosme & Trustee Edelstein

Nays: None

Abstained: None

8. NEW BUSINESS:

- 8.1 Consider a Resolution to Suspend Parking Meter Fees in the Village of Ardsley from October 1, 2023 through October 31, 2023

Moved by Trustee Bencosme, Seconded by Trustee Edelstein and passed unanimously.

RESOLVED, that the Village Board of the Village of Ardsley hereby suspends parking meter fees at all metered parking spaces in the Village of Ardsley from October 1, 2023 to October 31, 2023; and

BE IT FURTHER RESOLVED, that all other parking rules and regulations, including but not limited to posted time limits, shall remain in full effect.

Carried by the following votes: 4-0-0

Ayes: Mayor Kaboolian, Trustee DiJusto, Trustee Bencosme & Trustee Edelstein

Nays: None

Abstained: None

9. CORRESPONDENCE

9. The following comments were received regarding the Public Hearing on the proposed development located at 657 Saw Mill River Road:

- Please allow the following to constitute a partial list of comments on the proposed Site Plan for 657 Saw Mill River Road for conveyance to the Mayor and Ardsley Village Board Trustees:

1. The Ardsley Village Code, Section 200-100 (C), provides that non-conforming uses may not be enlarged. The term enlarged is not defined and has not been interpreted by the building department or the ZBA concerning

gasoline stations. Accordingly, the Village Board should consider deferring the hearing on the Site Plan until the ZBA opines on what the term means and whether it allows a former gasoline station operation to expand its prior non-conforming use beyond the four fuel pumps that existed seven years ago when the Getty station ceased operations.*

2. The Ardsley Village Code is silent on electric charging stations. Whether 657 Saw Mill River Road is legally zoned for the proposed electric charging station is an open question. Again, as this issue is somewhat novel (although many communities in the United States have amended their zoning code to address electric charging stations, and all three of the other river villages have public charging stations), this issue should possibly be referred to the ZBA for its opinion on this proposed first of its kind use.

3. The Site Plan's addition of a "meditation center" and "dog park" are risible window dressings on the site plan, which plainly states what it is on the architectural plans, to wit, a gas station.

4. Unlike a case where an existing gasoline station business is seeking to make an alteration and modernize its operation, here we have an entirely new gasoline station being built from scratch seven years after the last station at this location closed. Given the six-month "use it or lose it provision" in Ardsley's Zoning Code, to allow an entirely new gas station with more fuel pumps than previously existed is a mockery of the Village's zoning law governing this business district. With the climate crisis worsening by the hour, if the proposed Site Plan for a gasoline station is approved, it would be a civic tragedy. Minimally, given the passage of time, the Village Board should consider asking the ZBA to take a new look at the actions of the proposed operator over the past seven years to see if an abandonment has occurred under the Ardsley Village Code.

5. It should also be observed that the controversial decision by the Zoning Board of Appeals finding the non-conforming gasoline station use was not abandoned (there was an initial vote finding there was an abandonment that was "reversed" after the member who cast the deciding vote resigned without explanation leading to an unexplained new vote) was never reviewed by the courts. Instead, the propriety of the ZBA's resolution was evaded when the Appellate Division claimed an adjacent property owner lacked legal standing to challenge the ZBA's decision. Fairness dictates that the Village Board take a hard look at the ZBA's conclusion and the record of that hearing demonstrating that the proposed new operator knew about Ardsley's six-month rule yet moved solely to re-open. As seven years have passed, the question remains: does Ardsley's Zoning Code exist, or is it just a suggestion?

6. To the extent the proposed gasoline station operator contends that its gasoline station down the street was closed for three years yet allowed to re-

open, it may very well have been the case that the Village got the matter wrong at the time or no one was aware of the 2003 zoning code change regarding non-conforming uses. Accordingly, and as found by the ZBA, that gas station cannot be used as a precedent for the 657 location.

7. For over seven decades, it has been the public policy in New York State to favor the restriction and elimination of non-conforming uses *Pelham Esplanade v. Board of Trustees of Village of Pelham Manor*, 77 N.Y.2d 66, 72 (1990) ("the overriding public policy of zoning is to reasonably restrict and eventually eliminate these types of uses"). In a similar situation, the Court of Appeals rejected an effort to build an entirely new gasoline station where the prior gas station was a non-conforming use. *Crossroads Recreation, Inc v. Broz* 4 N.Y.2d 39, (1958), 172 N.Y.S.2d 129. Although *Crossroads*, which remains good law, essentially turned on the issue of hardship, as the owner of a non-conforming gas station failed to show he could not realize a reasonable return by converting the property to a use permitted by the zoning ordinances, the underlying principles are the same.** Here, the applicant has failed to show that it cannot make a reasonable return on permissible land use of 657 Saw Mill River Road but is instead doing what is suitable for him (and not the residents of the Village who uniformly oppose another gas station in Ardsley) by perpetuating what New York law seeks to end: the construction of a non-conforming gasoline station in Ardsley's downtown for another generation.

As previously above, allowing this proposed use would be a tragic result for the Ardsley community. Our children are watching what we adults do.

Respectfully submitted,

Gary S. Rappaport, Esq
Ardsley resident since 2001

- My question for tonight's public hearing pertaining to 657 Saw Mill River Road is: Are Electric Charging stations a possibility for the new gas station? I would hate to see the continued impact on our climate. The empty space is already continuing to have. Best wishes, Andy Laub, Croton Court

- Trustees,

I am unclear as to the procedural posture of this application. Obviously it is before the Trustees for site plan review, but where it ultimately stands with zoning is rather confusing.

In general, I am opposed to this project because the last thing the Village needs is another gas station (where all the others charge exorbitant prices and this will likely reflect those prices) or convenience stores (especially with one right next door). Additionally, gas stations will be on the decline as EV's start to

consume more and more of the vehicles on the road. Fossil fuel refilling will shortly be on the decline and we will be left with more empty lots than productive spaces (until and of course they are turned into EV charging stations....). If there still is any role for the zoning board, I would urge them to deny this application.

However, I understand that site plan review is limited. In that regard, and upon review of the items attached to the agenda, the Trustees must first and foremost consider the traffic congestion in that intersection. As we all know, that intersection backs badly during rush hour and during the days on weekends. It is already difficult enough to visit some of the pre-existing local businesses as turning in and out is often precarious. I have had personal difficulty leaving Carvel and the bakery. Even making the right turn out of the Ardsley Fresh Market is difficult at times with the volume of cars. I would urge the Trustees to prohibit any left turns into and out of the property onto Saw Mill River Road.

Furthermore, the proposed design of the store is architecturally unpleasing and sterile based on the renderings. It looks plain old ugly. Site plan review is an opportunity to offer guidance on appearance. This stucco looking one story building is anything but interesting and given the location at the entrance to our village should be designed to excite the captive traffic audience to notice the quaint possibilities in Ardsley.. Diagonally across is the much more aesthetically pleasing and interesting Addyman Square with historic (looking) buildings. Through design we can echo that appearance of an albeit unwanted structure and start to create a design cohesiveness as we work toward the Villages master plan..

Thank you,
Rachel Kravitz-Boyle
5 Columbia Rd.

- To Whom It May Concern:

I understand that there is a petition to use the empty lot across from Carvel as another gas station. I and my family are not in favor of this.

Are there any options for what could be done with this space? Can we deny a gas station so the owners will have the option to try another kind of business in the space? Have any other businesses or town plans surfaced?

I understand that the town needs the tax revenues, but it is a shame to keep allowing for these kinds of businesses to keep opening that don't contribute much to our community.

I look forward to hearing the outcome and hope that there is an outcome that offers something this community actually needs.

Thank you for your consideration and for the time you put into the work for Ardsley.

Laura Londin
28 Eastern Drive

- Dear Ardsley Board of trustees -

I am emailing to express that I am strongly opposed to the opening of another gas station in the village. There absolutely no need for another one. We have 2 in close proximity. It does not serve the community in any way to have another gas station. We need to have different types of businesses in our town to elevate our community and the town.

Thank you for the consideration. Esther Ban, Western Drive

- Dear Ardsley Board of Trustees,

We are a group of Ardsley residents strongly oppose the opening of another gas station in the village, there is no need for an additional gas station beyond the two existing ones in Ardsley. Additionally, gas stations will be on the decline as EV's are projected to have great increase in the next decade. Fossil fuel refilling will shortly be on the decline and we will be left with more empty lots than productive spaces (until and of course they are turned into EV charging stations, which will require costly and lengthy land remediation and will leave more abandoned decrepit properties....). If there still is any role for the zoning board, I would urge them to deny this application.

However, I understand that site plan review is limited. In that regard, and upon review of the items attached to the agenda, the Trustees must first and foremost consider the traffic congestion in that intersection. A constant flow of cars in and out in that space will make an already difficult and congested intersection more dangerous. Furthermore, the proposed design of the store is architecturally unpleasing and sterile based on the renderings. It looks ugly and not in line with the comprehensive plan and what the comprehensive plan has been trying to achieve. Site plan review is an opportunity to offer guidance on appearance. The current design is unappealing and given the location at the entrance to our village a structure should be designed to match Addyman Square with historic (looking) buildings. Through design we can echo that appearance of an albeit unwanted structure and start to create a design cohesiveness as we work toward beautifying our village.

Thank you for your consideration,

Merav Gur & Peter Lobl, 38 Eastern Dr
Carolyn & Rob Best, 19 Rest Ave
Rona Sheramy & Adam Segal, 9 Rest Ave
Lucy & Alex Brandes, 24 Eastern Dr
Wu Han & David Finckel, 53 Eastern Dr
Richard Marius & Emma Rodgers, 41 Eastern
Emily & Stephan Murphy, 26 Eastern
Allison & David Kochman, 4 Rest Ave
Steve & Karen Nguyen, 44 Eastern

Merav Gur, Ph.D.
NY State Licensed Clinical Psychologist
315 Madison Ave (@42nd Street), Suite 506
New York, NY 10017
917-582-2018/212-247-2010
<http://www.meravgurphd.com> <http://www.huffingtonpost.com/merav-gur/>

- Good morning,

First a correction to my note below. In place of SECOR please correct it to SEQR.

Please also enter this letter into the public record regarding 657 Saw Mill River Road.

I spent the night combing through minutes from prior Zoning Board of Appeals Minutes (ZBA), the court case, and Village Board minutes. Instead of clarity I have more questions.

I think the community deserves to hear from the Village Board clarifying your interpretation of both the court decision and the Zoning decision - meaning what is it that is being debated, that was not clear. Was the hearing to determine whether or not a gas station is allowed on the site or is that decision closed and the only decision is to determine the site plan?

As stated, last night I wish the board provided a preface regarding the specification for the hearing. In addition, I think we deserve to hear from board members regarding their perspectives. We elected you to represent us, and we deserve to know what the hearing is debating as well as your perspective on this issue.

Perhaps you feel that this is not allowed due to legal reasons. If that is the case then that should have been stated with an explanation about the legal parameters that keep you from stating your perspectives. To remain silent,

without any real opportunity to gauge what was being discussed wastes resources - time, energy, and money.

From the site owner and Thornwood's perspective, all that was at stake was whether you will approve the preferred plan or the less desirable plan. If that is the discussion then I have many questions regarding that. In my opinion the site should be no larger than it was previously and needs to be held to four bays without a convenience store - why should the site increase in size and change scope? There also need to be clear environmental guidelines given both the track record of spills from the two previous owners, as well as the location at the base of a hill, abutting the Bramble Brook, and with runoff from the station going directly into the street, sewers, and our drinking water.

If the question is what can be done with the site, if you have the authority to disagree with the ZBA regarding abandonment and non-conforming use, then that is something entirely different. This location is next to Bramble Brook, which feeds directly into the Saw Mill River. This is a prime location to address flooding in this section of the town. The work that has already been done at the Arthur Sillman Park can be extended to this location to provide a buffer zone before runoff reaches Bramble Brook and the Saw Mill River. The village can create parking, EV charging stations, and/or possibly approve a new business that does not exacerbate climate issues in our Village but improves conditions for residents.

These are two distinct issues and in order for the public to effectively engage it is incumbent on the board to specify what is being debated.

Respectfully,
Jodie Reaver

- My name is Eda Kapsis. I provide these comments on September 17, 2023 for consideration during the hearing of plans proposed for the site at 657 Saw Mill River Road. I comment as a resident of Ardsley and to advise the Board as the current Vice Chair of Ardsley's Climate Advisory Committee and the Ardsley CAN community initiative.

These comments reflect opposition to the site plans submitted and recommendation to the members to vote 'no' if a Board vote follows on a later date.

I comment understanding well that the Board and other Village bodies have been considering evaluations and emerging plans for this site for years.

Comment #1

In the short term the plan contradicts the Village 2020 Comprehensive Plan in multiple ways including provision of redundant services and addition of significant risks to the Village.

The proposed plan will

- result in diversion of revenue for the three gas stations that currently operate along a 1.3 mile stretch of Saw Mill River Road. Indeed this proposed new station will be fourth in that stretch and just 500 yards north of a competing station.
 - <https://www.ardsleyvillage.com/comprehensive-plan/the-plan/pages/board-of-trustees-and-comprehensive-plan-steering-committee-join>
- increase risk of recurrence of conditions as documented over decades at the property at 701 Saw Mill River Road. Note these two articles for context:
 - <https://grist.org/accountability/gas-stations-underground-storage-tank-leaks-environmental-disaster/>
 - <https://legal-planet.org/2022/01/03/the-future-of-the-american-gas-station/>
- be out of date with contemporary service station design including the NY State Thruway I-87 Ardsley Service Area which reopened on 6/3/23. Note that electrical lines are in place and construction is progressing on the site's high-speed EV chargers. See these links:
 - <https://www.thruway.ny.gov/news/pressrel/2023/06/2023-06-08-ardsley-opens.html#:~:text=The%20Ardsley%20Service%20Area%20is,Burger%20King>
 - <https://youtu.be/Ij5Ql0iL-g4?si=rlmjbZW6-bFbzeRM>
- significantly increase the risk of continuous airborne exposure to carcinogens such as benzene for business' employees/patrons and residents in the area. Updated studies show 10x exposure risk in comparison to prior reported measurements. See this link:
 - <https://www.sciencedirect.com/science/article/abs/pii/S0048969718337549>

Comment #2

The plan lacks any elements of review or compliance with the 2019 NY State Climate Leadership and Community Protection Act (CLCPA). Recall that the Ardsley CAC formed in 2019 advised the Board on strategies to comply with the CLCPA and was approved by the Board to launch Ardsley CAN, <https://www.ardsleycan.org>,

I can confirm unequivocally to the Board that any hard-earned success in reduction of CO2 equivalent emissions within the 1.3 sq mile Ardsley boundary before 2030 will be negated by construction and operations of this one new venture including fuel delivery and ventilation.

Note: the CLCPA benchmarks are as follows
(as per <https://climate.ny.gov/Resources/Scoping-Plan>)

- 70% renewable electricity by 2030
- 100% zero-emission electricity by 2040
- 40% reduction in statewide GHG emissions from 1990 levels by 2030
- 85% reduction in statewide GHG emissions from 1990 levels by 2050
- Net zero emissions statewide by 2050

And notably in 2022, to achieve these marks, NY State committed to advance to ‘Zero-Emission Vehicles Requirements by 2035 for All New Passenger Cars, Pickup Trucks, and SUVs Sold in New York.’ See this link:

- <https://www.governor.ny.gov/news/governor-hochul-drives-forward-new-yorks-transition-clean-transportation>

Hence the operating lifetime of a new gas station will decrease significantly as demand steadily reduces year over year starting with this notice to the public in 2022.

This week is ‘Climate Solutions’ week in our region in parallel with the United Nations General Assembly’s session. I urge this Board to recognize the full context of this plan and do the right thing: reject this plan. Yes, there are considerations of a pending challenge. However the outcomes of approval are much more far reaching and the harms exceed the risk of good use of New York’s legal systems.

- Hi Nancy,
Until Monday night I didn’t realize exactly how short 3 minutes was. In any case I wanted to share with you some additional concerns about this proposal. They are all related to traffic and safety.
 - a. Vehicles (cars and trucks) entering the service station should only be allowed to turn from the northbound lane of Saw Mill River Road (since turning left from the southbound lane would be unsafe and would create a major traffic backup on both SMR Rd and the Ashford Avenue Bridge; therefore it should be prohibited).
 - b. Vehicles (cars and trucks) leaving the service station should only be allowed to turn right onto the northbound lane of Saw Mill River Road (since turning left from the service station would be unsafe and would create a major traffic backup on both SMR Rd and the Ashford Avenue Bridge; therefore it should be prohibited).
 - c. As my diagram of the area showed, there are also vehicles turning into and out of Carvel, Riviera/Stagioni, Market Fresh, the car wash and Ridge Road from both northbound and southbound lanes of SMR Rd. In conclusion, the traffic situation at this location is very complex. The addition of a gas station will only make it worse.

Respectfully submitted,
Peter Marcus

10. VISITORS

11. CALL FOR EXECUTIVE SESSION

12. ADJOURNMENT OF MEETING

12.1 Adjournment

Moved by Trustee Edelstein, Seconded by Trustee Bencosme and passed unanimously.

RESOLVED, hat the Village Board of the Village of Ardsley hereby adjourns the regular meeting of Monday, September 18, 2023 at 9:25 p.m.

Carried by the following votes: 4-0-0

Ayes: Mayor Kaboolian, Trustee DiJusto, Trustee Bencosme & Trustee Edelstein

Nays: None

Abstained: None

13. UPCOMING MEETINGS & EVENTS

- September 19th Board of Architectural Review Meeting 8:00 pm
- September 20th-24th Fireman's Carnival at Pascone Park
- September 21st Veterans Recognition BBQ Dinner 4:30 pm
- September 24th Yom Kippur
- September 26th Westchester County Mobile Passport 10am
- September 27th Zoning Board of Appeals 8:00 pm
- September 28th Library Board Meeting 8:00 pm
- October 3rd Board of Architectural Review Meeting 8:00 pm
- October 5th Climate Action Committee Meeting 7:00 pm
- October 6th Concert in the Park- Crossfire Hurricane 6:00 pm
- October 9th Columbus Day-Indigenous Peoples -All Village Offices/Departments Closed
- October 14th MDI-Italian Festival 12:00 pm
- October 28th Trunk or Treat! 1:00 pm

14. NEXT BOARD MEETING: October 2nd Board of Trustees Legislative Meeting 8:00 pm
October 11th Board of Trustees Work Session 7:30 pm

Village Clerk, Ann Marie Rocco

Date: _____

**ABSTRACT FOR VILLAGE BOARD MEETING OF
OCTOBER 2nd, 2023**

GENERAL FUND \$110,362.72

TRUST & AGENCY FUND \$0.00

CAPITAL FUND \$211,588.01

SEWER FUND \$0.00

Date	Vendor Name	Description	Amount
9/15/2023	PRECISE TRANSLATIONS LLC	Translations	\$845.00
9/15/2023	PRECISE TRANSLATIONS LLC	Translations	\$170.00
9/15/2023	Carl R Anderson	Court Reporter	\$475.00
7/28/2023	FUNDAMENTAL BUSINESS SERVICE I	Receivables	\$103.50
7/28/2023	FUNDAMENTAL BUSINESS SERVICE I	Receivables	\$163.50
9/28/2023	STATE COMPTROLLER	August 2023 Court Fees & Fines	\$21,522.00
9/20/2023	Atlantic A Program of De Lage	Service for September 2023	<u>\$174.04</u>
		Ardsley Court Subtotal	\$23,453.04
9/25/2023	VINCENT GIORDANO	Service for 9-4 to 9-15	\$110.00
9/25/2023	ALFREDO DIVITTO	Service for 9-4 to 9-15	<u>\$385.00</u>
		Building Dept. Subtotal	\$495.00
9/20/2023	Sam's Club	Usage for 8-9 to 9-8	\$755.45
9/26/2023	SIGNARAMA	Halloween banner	\$30.00
9/20/2023	Veolia Water NY Inc-VWW-RD1	Usage for 8-3 to 9-5	\$247.78
9/20/2023	Atlantic A Program of De Lage	Service for September 2023	\$64.42
9/22/2023	Atlantic Tomorrows Office	Printer Overage	<u>\$15.21</u>
		Community Center Subtotal	\$1,112.86

9/20/2023	Veolia Water NY Inc-VWW-RD1	Usage for 8-3 to 9-5	\$125.33
9/22/2023	Veolia Water NY Inc-VWW-RD1	Bring the account current	\$475.56
9/27/2023	VERIZON	Usage for 9-22 to 10-21	<u>\$37.84</u>
		Fire Dept. Subtotal	\$638.73
9/22/2023	TOLLS BY MAIL PAYMENT CENTER	Toll Bill 17959718550	\$3.54
9/26/2023	GIAMPICCOLO TOWING	tow garbage truck	\$350.00
9/26/2023	HENDERSON PRODUCTS INC.	pressure valve	\$192.49
9/26/2023	ARGENTO AND SONS INC	spindle kit/bolt/spring	\$371.20
9/26/2023	JESCO INC	belt	\$58.60
9/26/2023	AIRGAS	cylinder rental	\$123.57
9/26/2023	GABRIELLI TRUCK SALES LTD	hose	\$36.45
9/22/2023	READERS HARDWARE INC	Brass Bushing	\$2.38
9/26/2023	CORSI TIRE	remove and replace tires	\$389.90
9/29/2023	PARKWAY PEST SERVICES	August Pest Service	\$150.00
9/22/2023	JAMES J HAHN ENGINEERING PC	Parking Analysis	\$230.00
6/19/2023	SAW MILL STONE & MASONRY SUPPL	item 4	\$70.00
6/19/2023	SAW MILL STONE & MASONRY SUPPL	item 4	\$105.00
9/22/2023	BUCCI EXCAVATING	Speed Bumps Work	\$7,850.00
9/22/2023	RCA ASPHALT LLC	Asphalt	\$752.22
9/22/2023	JAMES J HAHN ENGINEERING PC	2022 Milling & Paving	\$10,805.00
9/22/2023	JAMES J HAHN ENGINEERING PC	2023 Milling & Paving	\$7,585.00
9/22/2023	READERS HARDWARE INC	Garbage Cans	\$25.00
9/26/2023	PRECAST CONCRETE SALES	hdpe pipe	\$1,151.00
9/26/2023	CASA BLDG MATERIALS	planiseal/block/cement/sand	\$55.99
9/26/2023	CASA BLDG MATERIALS	planiseal/block/cement/sand	\$1,451.10
9/20/2023	WESTCHESTER COUNTY DEF	Tipping for July 2023	<u>\$5,096.11</u>
		Highway Dept. Subtotal	\$36,854.55
9/26/2023	OPTIMUM	Usage for 9-23 to 10-22	\$8.00
9/27/2023	VERIZON	Usage for 9-22 to 10-21	\$40.06
9/26/2023	SPECIALTY WARNING SYSTEMS	Equipment set up Det. Vehicle	\$3,585.35
9/28/2023	ESS INC.	Radio repair car 93	\$551.84
7/18/2023	Municipal Emergency Service	Ballistic vests 4 officers	\$4,368.80
9/28/2023	CORSI TIRE	Replacement tire task force ca	\$165.00
9/28/2023	ARDSLEY MOTORS	Inspection car 94	\$10.00
9/20/2023	Atlantic A Program of De Lage	Service for September 2023	<u>\$185.02</u>
		Police Dept. Subtotal	\$8,914.07

9/26/2023	THE RIVERTOWNS ENTERPRISE	legal notice of estoppel	\$112.00
9/26/2023	THE RIVERTOWNS ENTERPRISE	ZBA public hearing notice	\$35.50
9/26/2023	NYS ASSOC CITY/VILL CLERK	yearly dues	\$50.00
7/7/2022	Staples	Office Supplies	\$0.00
9/26/2023	W.B. MASON CO. INC.	Various Office Supplies	\$33.98
9/26/2023	W.B. MASON CO. INC.	Various Office Supplies	\$145.47
9/20/2023	Veolia Water NY Inc-VWW-RD1	Usage for 8-3 to 9-5	\$263.22
9/20/2023	Herman Katz Cangemi	tax cert Lock up 6.70-42-2	\$13,166.83
9/20/2023	Ameritas Life Insurance	Premium for September 2023	\$6,190.56
9/28/2023	WCMCTA	Clerk & Treasurer Luncheon	\$80.00
9/26/2023	MUNICIPAL ADMINISTRATORS ASSOC	D. DiGregorio Fee for 9-25-23	\$30.00
9/20/2023	Atlantic A Program of De Lage	Service for September 2023	\$227.27
9/22/2023	Atlantic Tomorrows Office	Printer Overage	\$28.90
6/2/2023	ROBERT PONZINI	Legal Service 6-1 to 12-31	\$6,312.61
9/20/2023	BOND SCHOENECK & KING	August Professional Services	\$9,100.00
9/20/2023	Veolia Water NY Inc-VWW-RD1	Usage for 8-3 to 9-4	\$123.55
9/20/2023	BRUNI & CAMPISI INC	Service & Filters	\$530.00
9/22/2023	BRUNI & CAMPISI INC	Service & Filters	\$530.00
9/20/2023	Con Edison	Usage for 8-10 to 9-11	\$77.11
6/21/2023	GEORGE MALONE	Cable Access Broadcast/Editing	\$856.47
9/20/2023	STANDARD INSURANCE COMPANY	October 2023 Premium	<u>\$1,001.00</u>
		Village Hall Subtotal	\$38,894.47
		General Fund Total	\$110,362.72
		Trust & Agency Total	\$0.00
9/20/2023	WESTON & SAMPSON	Service through 9-30-22	\$15,225.00
9/27/2023	MURTAGH, COSSU, VENDITTI & CASTRO	Professional Service	\$100.00
9/29/2023	WESTON & SAMPSON	Service through 8-25-22	\$15,225.00
9/20/2022	Con Edison	Usage for 8-10 to 9-11	<u>\$294.81</u>
		New Highway Garage Project	\$30,844.81
9/22/2023	Woodland Manor LLC	Curbing-Application #4	<u>\$180,743.20</u>
		Curbing Program	\$180,743.20
		Capital Fund Total	\$211,588.01
		Sewer Fund Total	\$0.00

**RESOLUTION TO APPROVE WORK CHANGE ORDER NUMBER 1
FOR MONTESANO BROTHERS, INC. REGARDING THE 2023
JOINT ROAD MILLING AND PAVING PROJECT**

WHEREAS, on June 5, 2023, the Village Board of the Village Ardsley unanimously approved a resolution to award a bid for the 2023 joint road milling and paving project to Montesano Brothers, Inc. located at 76 Plain Avenue, New Rochelle, NY 10801 in the amount of \$239,084.75; and

WHEREAS, it has been determined that the area in which recent stormwater and curbing work conducted on certain roads in the Village have advanced the need to have those roads paved; and

WHEREAS, the Village has an opportunity to extend the bid contract pricing for paving to include Huntley Drive and Oakhill Road, as per contract pricing in the attached spreadsheet \$147,815 and \$39,797.75, respectively, and to lock pricing in at a lower rate versus waiting until the next paving cycle; and

WHEREAS, the Engineer, Highway Foreman and Village Manager have reviewed and approved the work in the field;

NOW THEREFORE, BE IT RESOLVED, that the Village Board of the Village of Ardsley hereby approves work change order number 1 in the amount of \$187,612.75 related to the 2023 joint road milling and paving project.

BE IT FURTHER RESOLVED that the change order is to be funded in part through reimbursements received by ConEdison for the shared paving of Lakeview Avenue, Sweetbriar Road and Euclid Avenue totaling \$57,817.80, and the remaining \$129,794.95 will be funded through the NY State CHIPS program.

2023 MILLING AND PAVING ESTIMATE
VILLAGE OF ARDSLEY
Updated September 26, 2023

Spec. Sec.	Bid Item	Units	Unit Price	Euclid Ave. 1507X27		Felix Ave. 355X21		Lakeview Ave. 360x25		Sweetbriar Rd. 309x20		Huntley Dr 1778x23		Oakhill Rd Ave. 451X24		TOTALS	
				Quantity	Cost	Quantity	Cost	Quantity	Cost	Quantity	Cost	Quantity	Cost	Quantity	Cost	Quantity	Cost
10A	Asphalt Miscellaneous Sidewalks, Swales, and Driveways	SF	\$4.00	0	\$0.00	0	\$0.00	0	\$0.00	0	\$0.00	0	\$0.00	0	\$0.00	0	\$0.00
13VA	Adjust Valve Boxes	EA	\$100.00	11	\$1,100.00	4	\$400.00	7	\$700.00	2	\$200.00	10	\$1,000.00	5	\$500.00	39	\$3,900.00
50	Bituminous Base Course	TON	\$145.00	20	\$2,900.00	10	\$1,450.00	5	\$725.00	0	\$0.00	0	\$0.00	0	\$0.00	35	\$5,075.00
51A-6F	Bituminous Top Course	TON	\$143.00	630	\$90,090.00	105	\$15,015.00	150	\$21,450.00	120	\$17,160.00	695	\$99,385.00	185	\$26,455.00	1,885	\$269,555.00
51M	Cold Milling & Removal of Bituminous Pavement (2")	SY	\$6.55	5,550	\$36,352.50	930	\$6,091.50	1,290	\$8,449.50	1,030	\$6,746.50	5,000	\$32,750.00	1,325	\$8,678.75	15,125	\$99,068.75
52	Speed Humps and Tables - Speed Tables	EA	\$12,000.00	0	\$0.00	0	\$0.00	0	\$0.00	0	\$0.00	0	\$0.00	0	\$0.00	0	\$0.00
76	Maintenance and Protection of Traffic	NP	NP	NP	NP	NP	NP	NP	NP	NP	NP	NP	NP	NP	NP	NP	NP
102HMA-1	Adjust Manhole & Catch Basin Frames, Covers and Grates	EA	\$490.00	0	\$0.00	2	\$980.00	1	\$490.00	0	\$0.00	0	\$0.00	0	\$0.00	3	\$1,470.00
102HMA-1	Adjust Manhole & Catch Basin Frames, Covers and Grates (Replacement)	EA	\$940.00	10	\$9,400.00	0	\$0.00	0	\$0.00	0	\$0.00	5	\$4,700.00	2	\$1,880.00	17	\$15,980.00
102HMA-2	Adjust Manhole & Catch Basin Frames, Covers and Grates	EA	\$1,200.00	1	\$1,200.00	0	\$0.00	0	\$0.00	0	\$0.00	0	\$0.00	0	\$0.00	1	\$1,200.00
102HMA-3	Adjust Manhole & Catch Basin Frames, Covers and Grates	EA	\$1,900.00	1	\$1,900.00	0	\$0.00	0	\$0.00	0	\$0.00	5	\$9,500.00	1	\$1,900.00	7	\$13,300.00
127	Restoration	NP	NP	NP	NP	NP	NP	NP	NP	NP	NP	NP	NP	NP	NP	NP	NP
TG640	ReflectORIZED Pavement Marking Paints	LF	\$2.40	1,600	\$3,840.00	0	\$0.00	0	\$0.00	0	\$0.00	200	\$480.00	160	\$384.00	1,960	\$4,704.00
TOTALS					\$146,782.50		\$23,936.50		\$31,814.50		\$24,106.50		\$147,815.00		\$39,797.75		\$414,252.75


**RESOLUTION DECLARING LEAD AGENCY AND SCHEDULING A
PUBLIC HEARING FOR
DNAC REALTY, LLC., 500 ASHFORD AVENUE**

RESOLVED, that the Village Board of the Village of Ardsley hereby declares itself Lead Agency for site plan approval for a proposed application to construct a single story addition to convert the vacant building located at 500 Ashford Avenue into medical offices.

NOW THERE FORE BE IT FURTHER RESOLVED, that the Village Board of the Village of Ardsley hereby refers the application to the Planning Board and Board of Architectural Review for review and comment and hereby schedules a public hearing on Monday, November 6, 2023 at 8:00 p.m. or soon thereafter to discuss the proposed permit.

MEMO

TO: Mayor Kaboolian
Village Board of Trustees

FROM: Larry J. Tomasso 

DATE: September 19, 2023

RE: DNAC Realty, LLC 500 Ashford Avenue

Dr. Donas of DNAC Realty, LLC applied for a permit to construct an approximately 300 square foot single story addition on the existing building and to convert the vacant building into a medical offices. The last tenant in the building was Chase Bank. VB approval is required pursuant to §200-65A of the Village Code. This is a Type II action under SEQR and a Notice of Intent is not required since the VB is the only the only agency with approval authority.

Type II actions are actions that do not significantly impact the environment, or are otherwise precluded from environmental review under SEQR. They include the construction or expansion of a primary or accessory/appurtenant, nonresidential structure or facility involving less than 4,000 square feet of gross floor area and not involving a change in zoning or a use variance and consistent with local land use controls, but not radio communication or microwave transmission facilities.

The plans appear to comply with the zoning regulations so the VB should declare itself Lead Agency for site plan review, refer the applicant to the PB and BAR for review and comment and schedule a public hearing for the November 6th meeting.

Let me know if you need any additional information.

Files: VILLAGE BOARD/ashford500 DNAC Realty 09-19-23



3 200' BUFFER MAP NTS

ZONING INFORMATION SCHEDULE			
GENERAL CODE: VILLAGE OF ARDSLEY		EX ZONE: BI DISTRICT	
ITEM	REG/ALLOWED	EXISTING	PROPOSED
USE(S)	COMMERCIAL/RETAIL/OFFICE/PERSONAL SERVICE	COMMERCIAL/BANK	MEDICAL OFFICE
LOT AREA (SQUARE FT)	MIN 5,000	26,076.6	NO CHANGE
LOT WIDTH (FT)	MIN 100	190.0	NO CHANGE
FRONT YARD (FT)	10.0	21.0'	NO CHANGE
REAR YARD SETBACK (FT)	0.0/6.0 MIN	102.0	99.5
FIRST SIDE YARD (FT)	0.0/6.0 MIN	28.7	18.9
SECOND SIDE YARDS (FT)	0.0/6.0 MIN	29.2'	NO CHANGE
MAXIMUM BUILDING COVERAGE	65.0%	10.5%	11.3 %
BUILDING HEIGHT (STORIES / FEET)	2 STY/30.0	1.0 STY/22.0' +/-	NO CHANGE
PARKING REQUIREMENTS			
TENANT SPACE #1 = 2244 SF	MEDICAL OFFICE 1: 200 SF 2244/200 = 11.2 ~ 12 SPACES		MEDICAL OFFICE, 19 PARKING SPACES PROPOSED
TENANT SPACE #2 = 416 SF	MEDICAL OFFICE 2: 200 SF 416/200 = 2.1 ~ 2 SPACES		
BANK = 2755 SF / 150 = 18.3	BANK AT LEAST FIVE SPACES PER TELLER OR 1 SPACE FOR EACH 150 SF 2755/150 = 18.3 ~ 18 P.S.	EXISTING = 12 SPACES (1)	
NOTE: (1) DENOTES PRE-EXISTING NON CONFORMING CONDITION			

IMPERVIOUS SURFACE TABULATION			
EXISTING IMPERVIOUS SURFACES	EXIST BUILDING	2755 SF	2755 SF
	EXIST PARKING & DRIVEWAYS	1043 SF	382 SF
	EXIST FRONT WALKWAY	17 SF	4757 SF
	TOTAL EXISTING IMPERVIOUS SURFACES:	1805 SF	61 SF
PROPOSED IMPERVIOUS SURFACES	EXIST BUILDING	2755 SF	2755 SF
	PROPOSED BUILDING ADDITION	2755 SF	4757 SF
	PROPOSED PARKING & DRIVEWAYS	1043 SF	17 SF
	PROPOSED FRONT WALKWAY ADDITION	17 SF	61 SF
	TOTAL PROPOSED IMPERVIOUS SURFACES:	1805 SF	48 SF
	NET CHANGE IN IMPERVIOUS SURFACES:		+ 47 SF

BUILDING CODE DATA TENANT #1		
TYPE	APPLICABLE CODE	
BUILDING	2020 BUILDING CODE OF NY STATE	
ELECTRICAL	2020 ELECTRICAL CODE OF NY STATE	
PLUMBING	2020 PLUMBING CODE OF NY STATE	
ACCESSIBILITY	BCNYS CHAPTER 11 AND ICC / ANSI A117.1-2009	
ZONE	EXISTING USE	PROPOSED USE
BI - BUSINESS	BANKS, GROUP B	MEDICAL OFFICE, GROUP B
CONSTRUCTION TYPE	SCOPE OF WORK	
TYPE B3 PER TABLE 601	PARTIAL CHANGE OF USE/INTERIOR ALTERATION	
PROPOSED OCCUPANCY: GROUP B PER SEC. 304.1 BUSINESS		
OCCUPANT LOAD (REF. SECT. T1.004.5)	WAITING T1.01 RECEIPT T1.02 OFFICER/RECEIPT T1.03 BOLLER RM T1.04 EX ADA REST RM T1.05 NEW ADA REST RM T1.06 STAFF RM T1.07 OFFICE T1.08 EXAM RM #1 T1.09 EXAM RM #2 T1.10 EXAM RM #3 T1.11 EXAM RM #4 T1.12 TESTING AREA T1.13 V. FIELDS T1.14	1100 BUSINESS 30 SF/100 = 3.0 ~ 3 1100 BUSINESS 151 SF/100 = 1.5 ~ 2 1100 BUSINESS 112 SF/100 = 1.1 ~ 2 1100 BUSINESS 64 SF/100 = 0.6 ~ 1 52 SF/100 = 0.5 ~ 1 48 SF/100 = 0.5 ~ 1 1100 BUSINESS 52 SF/100 = 0.5 ~ 1 48 SF/100 = 0.5 ~ 1 1100 BUSINESS 134 SF/100 = 1.3 ~ 2 1100 BUSINESS 100 SF/100 = 1.0 ~ 1 1100 BUSINESS 100 SF/100 = 1.0 ~ 1 41 SF/100 = 0.4 ~ 1 1100 BUSINESS 103 SF/100 = 1.0 ~ 1 1100 BUSINESS 134 SF/100 = 1.3 ~ 2 1100 BUSINESS 30 SF/100 = 0.3 ~ 1
TOTAL: 20 OCCUPANTS		

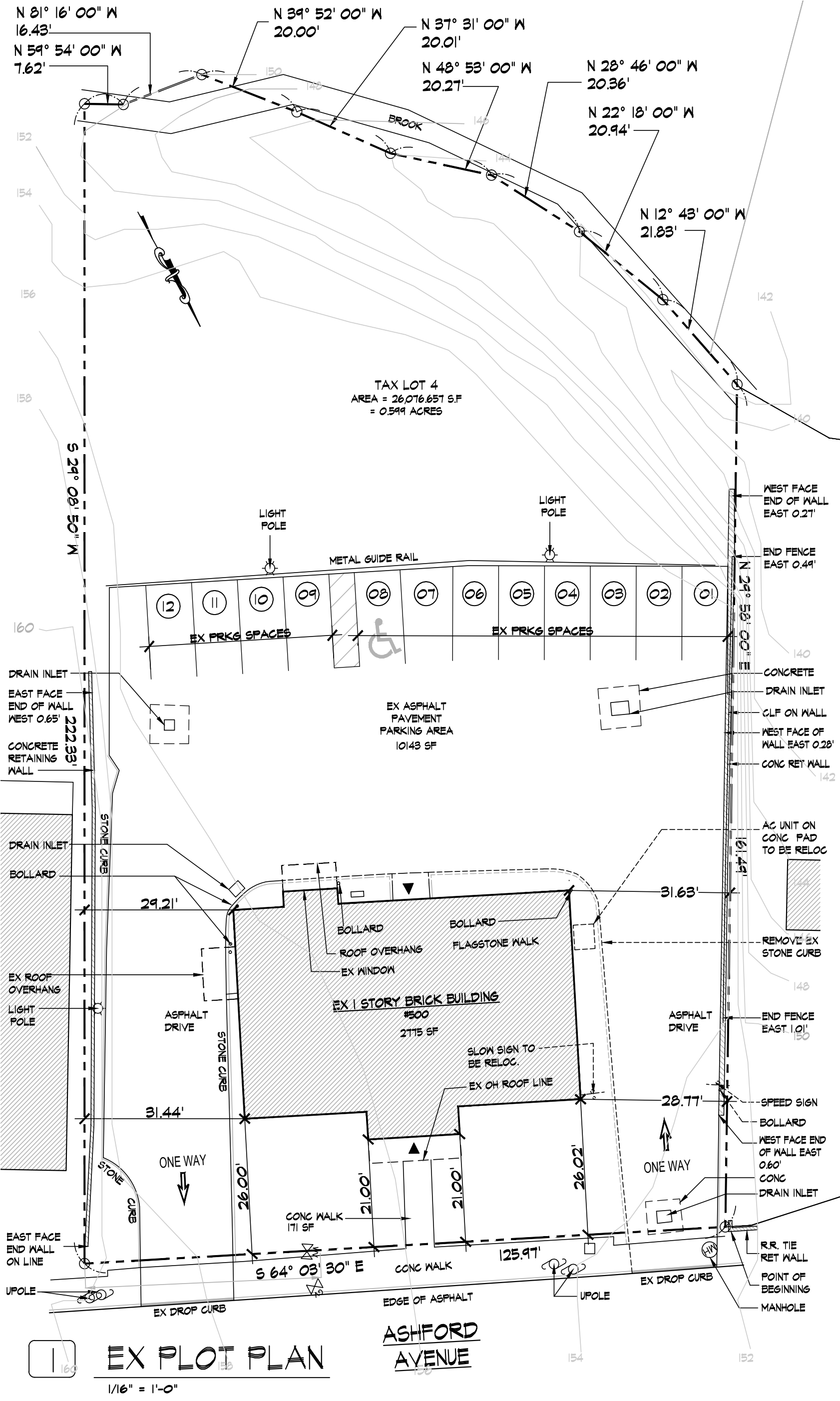
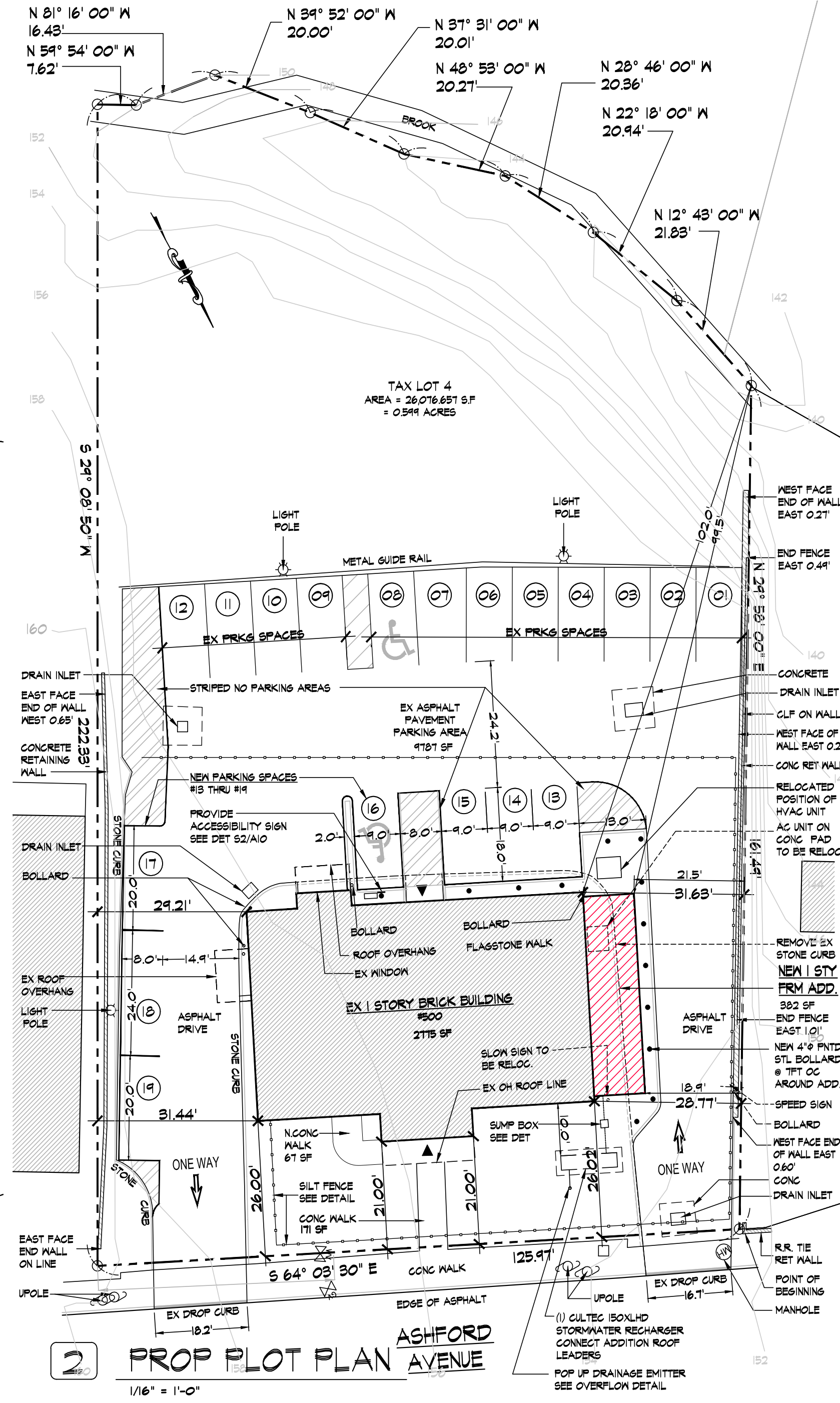


TABLE 1006.2.1 - NUMBER OF EXITS & CONTINUITY - WITHOUT SPRINKLER				
OCCUPANCY	NO. OCCUPANTS	# EXITS REQ'D / TRAVEL DISTANCE	MAX TRAVEL DISTANCE	NO. OF BUILDING EXITS
GROUP B BUSINESS	20 OCCUPANTS	130 OCCUPANTS / 1 EXIT RGD / 100 FT	GROUND FLR: 79.0'	2 EXIT
PLUMBING CALCULATIONS - TABLE 2402.1 - MIN. NUMBER OF REQ'D PLUMBING FIXTURES				
GROUP B - BUSINESS	OCC.	REQUIRED	EXISTING / PROPOSED	
Water Closets	3 Male 3 Female	1:25 20	1-Water Closet	2 - P.C. SEE NOTE #1
Lavatories	3 Male 3 Female	1:40 20	1-Lavatory	2- LAV SEE NOTE #1
Drinking Fountains	3	1:1000	1-Drinking Fountain	1 - PROVIDED
Other	3	1:service sink	1-Service Sink	1 - PROVIDED
NOTE #1: 2022 - EXCEPTIONS: 2 SEPARATE FACILITIES SHALL NOT BE REQUIRED IN STRUCTURES OR TENANT SPACES WITH A TOTAL OCCUPANT LOAD, INCLUDING BOTH EMPLOYEES AND CUSTOMERS, OF 15 OR FEWER				
SECTION 509.13 INT. WALL & CEILING FINISH REQMTS BY OCCUPANCY (FINISH CLASS)				
NON-SPRINKLERED	INTERIOR EXIT STAIR, RAMP & EXIT PASSAGEWAYS	CORRIDORS & ENCL. FOR EXIT ACCESS STAIRWAYS & RAMPS	ROOMS AND ENCLOSED SPACES	
GROUP B - NOT SPRINKLERED	A	B	C	
CLASS A: FLAME SPREAD 0-25, SMOKE-DEVELOPED 0-450 CLASS B: FLAME SPREAD 26-75, SMOKE-DEVELOPED 0-450 CLASS C: FLAME SPREAD 76-200, SMOKE-DEVELOPED 0-450				

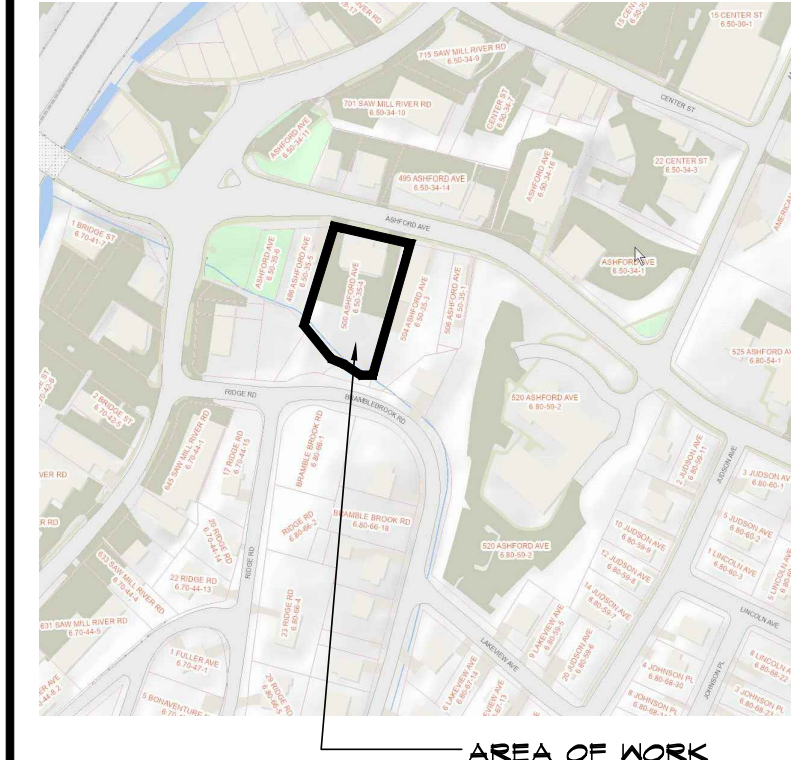


BUILDING CODE DATA TENANT #2				
TYPE	APPLICABLE CODE			
BUILDING	2020 BUILDING CODE OF NY STATE			
ELECTRICAL	2020 ELECTRICAL CODE OF NY STATE			
PLUMBING	2020 PLUMBING CODE OF NY STATE			
ACCESSIBILITY	BCNYS CHAPTER 11 AND ICC / ANSI A117.1-2009			
ZONE	EXISTING USE	PROPOSED USE		
BI - BUSINESS	BANKS GROUP B	MEDICAL OFFICE, GROUP B		
CONSTRUCTION TYPE	SCOPE OF WORK			
TYPE B3 PER TABLE 601	PARTIAL CHANGE OF USE/INTERIOR ALTERATION			
PROPOSED OCCUPANCY: GROUP B PER SEC. 304.1 BUSINESS				
OCCUPANT LOAD (REF. SECT. T1.004.5)	NEW OPEN OFFICE T2.01 NEW ADA REST RM T2.02 EX ELEC RM T2.03	1100 BUSINESS 545 SF/100 = 5.4 ~ 6 1100 BUSINESS 58 SF/100 = 0.5 ~ 1 1100 ACCESSORY 57 SF/100 = 0.5 ~ 1	TOTAL: 8 OCCUPANTS	
NYS ENERGY CODE COMPLIANCE STATEMENT				
THIS IS TO CERTIFY THAT TO THE BEST OF MY KNOWLEDGE THE PROPOSED WORK, WHICH IS SHOWN IN THE PLANS OR SPECIFICATIONS IS IN COMPLIANCE WITH THE 2020 ENERGY CONSERVATION CONSTRUCTION CODE OF NY STATE				
SURVEY NOTES				
SURVEY INFORMATION TAKEN FROM SURVEY PREPARED BY TC MERRITS LAND SURVEYORS DATED JANUARY 19, 2023. TOPOGRAPHICAL CONTOUR LINES OBTAINED FROM NESTOR/HESTER GIS ARCHITECT NOT RESPONSIBLE FOR SURVEY INFO & DIMENSIONS				

TABLE 1006.2.1 - NUMBER OF EXITS & CONTINUITY - WITHOUT SPRINKLER				
OCCUPANCY	NO. OCCUPANTS	# EXITS REQ'D / TRAVEL DISTANCE	MAX TRAVEL DISTANCE	NO. OF BUILDING EXITS
GROUP B BUSINESS	8 OCCUPANTS	130 OCCUPANTS / 1 EXIT RGD / 100 FT	GROUND FLR: 80.0'	2 EXIT
PLUMBING CALCULATIONS - TABLE 2402.1 - MIN. NUMBER OF REQ'D PLUMBING FIXTURES				
GROUP B - BUSINESS	OCC.	REQUIRED	EXISTING / PROPOSED	
Water Closets	3 Male 3 Female	1:25 8	1-Water Closet	1 - P.C. SEE NOTE #1
Lavatories	3 Male 3 Female	1:40 8	1-Lavatory	1- LAV SEE NOTE #1
Drinking Fountains	3	1:1000	1-Drinking Fountain	0 - SEE NOTE #2
Other	3	1:service sink	1-Service Sink	0 - PROVIDED
NOTE #1: 2022 - EXCEPTIONS: 2 SEPARATE FACILITIES SHALL NOT BE REQUIRED IN STRUCTURES OR TENANT SPACES WITH A TOTAL OCCUPANT LOAD, INCLUDING BOTH EMPLOYEES AND CUSTOMERS, OF 15 OR FEWER				
NOTE #2: PER IBC 2022, DRINKING FOUNTAINS ARE NOT REQ'D WHERE THERE IS AN OCCUPANT LOAD OF 15 OR FEWER				
SECTION 509.13 INT. WALL & CEILING FINISH REQMTS BY OCCUPANCY (FINISH CLASS)				
NON-SPRINKLERED	INTERIOR EXIT STAIR, RAMP & EXIT PASSAGEWAYS	CORRIDORS & ENCL. FOR EXIT ACCESS STAIRWAYS & RAMPS	ROOMS AND ENCLOSED SPACES	
GROUP B - NOT SPRINKLERED	A	B	C	
CLASS A: FLAME SPREAD 0-25, SMOKE-DEVELOPED 0-450 CLASS B: FLAME SPREAD 26-75, SMOKE-DEVELOPED 0-450 CLASS C: FLAME SPREAD 76-200, SMOKE-DEVELOPED 0-450				

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NOTE:
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ZONE: B-1 TAX MAP ID #: 6.50-35-4

LIST OF DRAWINGS	
T1	SITE PLAN, ZONING INFO, & BLDG CODE INFO
T2	SITE DETAILS
T3	NOTES
A1	EXIST GROUND FLR PLAN & EXIST ELEVATIONS
A2	PROPOSED GROUND FLR PLAN
A4	PROPOSED GROUND FLR REFLECTED CEILING PLAN
A5	PROPOSED EXTERIOR ELEVATIONS
A6	PROPOSED EXTERIOR ELEVATIONS
A7	EXISTING & PROPOSED CROSS SECTIONS
A8	PROP SECTION, PROP FOUND PLAN, PROP ROOF PLAN
A9	ENLARGED RESTRM PLANS, FRD & ACCESSIBILITY DET
A10	DETAILS

NO. DATE ISSUE/REV.

CLIENT
NICHOLAS DONAS MD
18 ASHFORD AVE, SUITE 2M, DOBBS FERRY NY 10522

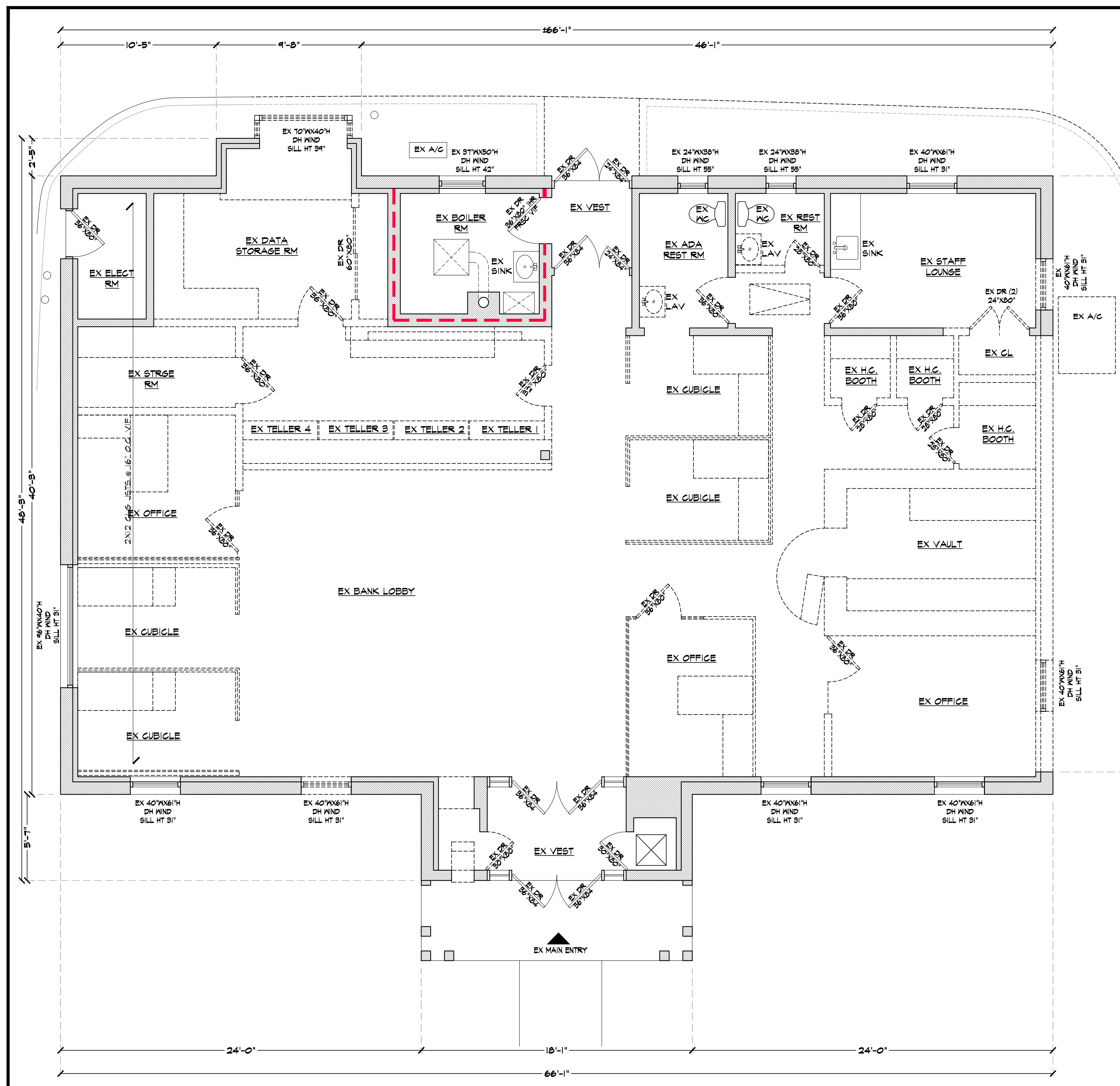
PROJECT
PROPOSED CHANGE OF USE TO MEDICAL OFFICES
INCL. INTERIOR ALTERATION AND SIDE YARD
ADDITION TO EXISTING COMMERCIAL BUILDING FOR:

500 ASHFORD AVENUE, ARDSLEY, NY 10502

DRAWINGS TITLE
EX & PROP PLOT PLAN, ZONING INFO & BLDG CODE INFO

DRAWN BY: SZ/JJ CHECKED BY: NF PROJECT NO.: 23.0310

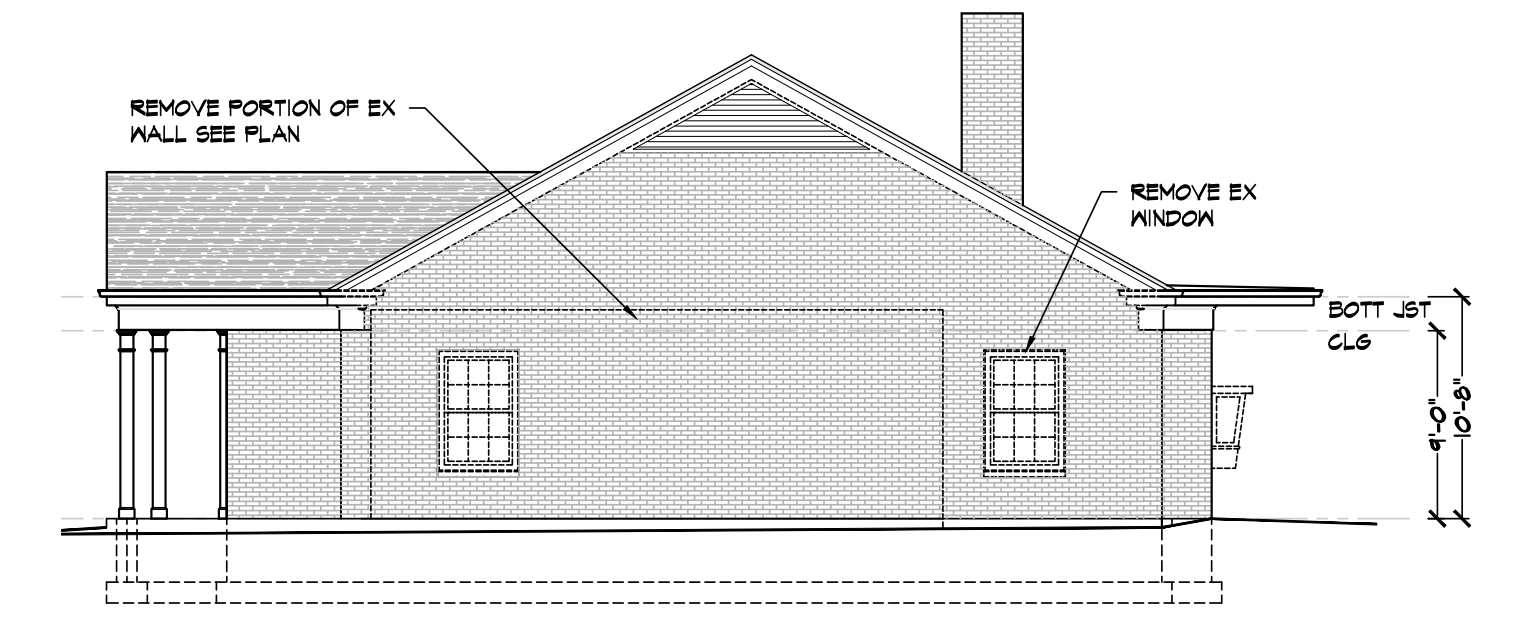
DATE: 08.25.23
DRAWING NO.: 1



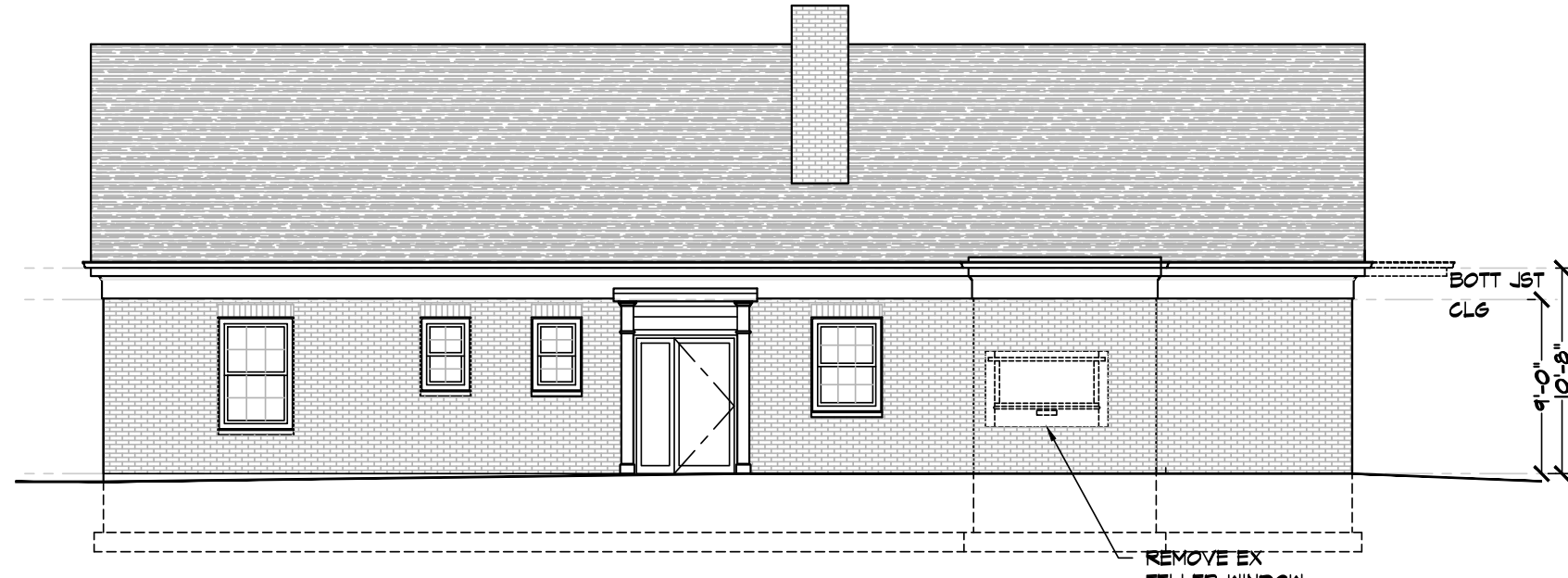
1 EXISTING GROUND FLOOR PLAN
1/4" = 1'-0"



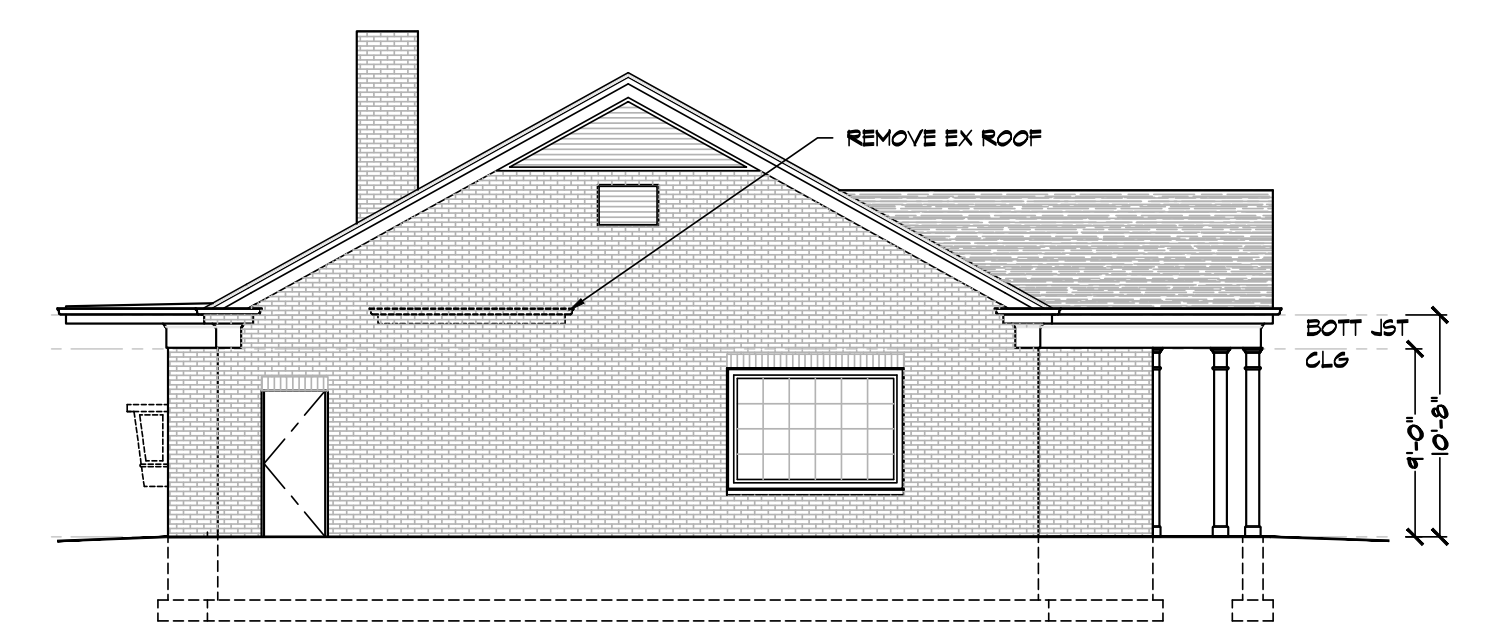
E1 EX FRONT ELEVATION
1/8" = 1'-0"



E2 EX RIGHT SIDE ELEVATION
1/8" = 1'-0"



E3 EX REAR ELEVATION
1/8" = 1'-0"



E4 EX LEFT SIDE ELEVATION
1/8" = 1'-0"

EXISTING CONSTRUCTION NOTES

- BEFORE PROCEEDING WITH ANY WORK WITHIN THE EXISTING PROPERTY, THE CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH EXISTING STRUCTURAL AND OTHER CONDITIONS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE ALL NECESSARY BRACINGS, SHORING AND OTHER SAFEGUARDS TO MAINTAIN ALL PARTS OF THE EXISTING WORK IN A SAFE CONDITION DURING THE PROCESS OF DEMOLITION AND CONSTRUCTION AND TO PROTECT FROM DAMAGE THOSE PORTIONS OF THE EXISTING WORK WHICH ARE TO REMAIN.
- THE CONTRACTOR SHALL FIELD VERIFY THE DIMENSIONS, ELEVATIONS, ETC. NECESSARY FOR THE PROPER CONSTRUCTION AND ALIGNMENT OF THE NEW PORTIONS OF THE WORK TO THE EXISTING WORK. THE CONTRACTOR SHALL MAKE ALL MEASUREMENTS NECESSARY FOR FABRICATION AND ERECTION OF STRUCTURAL MEMBERS. ANY DISCREPANCY SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ARCHITECT/ENGINEER.

DEMOLITION GENERAL NOTES:

- SEE DRAWINGS FOR ADDITIONAL NOTES & SPECIFICATIONS.
- DEMOLITION CONTRACTOR TO COORDINATE ALL PHASES OF DEMOLITION FOR THE PROJECT AND NOTIFY ARCHITECT AND/OR THE CLIENT OF ANY DISCREPANCIES OR CONFLICTING CONDITIONS WHICH WOULD INTERFERE WITH THE SATISFACTORY COMPLETION OF THE WORK, PRIOR TO THE START OF CONSTRUCTION.
- DEMOLITION SHALL BE DONE IN NEAT WORKMANLIKE MANNER WITHIN THE LIMITS INDICATED IN THE DRAWINGS AND IN ALL CASES TO THE EXTENT NEEDED TO PRODUCE THE INTENDED WORK.
 - GENERAL CONTRACTOR IS RESPONSIBLE FOR DEMOLITION AND REMOVAL OF ALL DEBRIS AND DISCARDED MATERIALS &/OR EQUIPMENT AS INDICATED (W) IN THE SPACE. GC SHALL BE RESPONSIBLE FOR PROPER DISPOSAL OF DEBRIS ACCORDING TO LOCAL, STATE & FEDERAL REGULATIONS.
 - GENERAL CONTRACTOR IS RESPONSIBLE FOR REMOVAL OF MATERIALS FROM RESIDENCE PREMISES ON A DAILY BASIS. DO NOT MIX CONSTRUCTION DEBRIS WITH THAT OF THE RESIDENTS.
 - IMMEDIATELY CLEAN AND REMOVE ALL DEBRIS FROM HALLWAYS & ROOMS AFTER DEMOLITION OPERATION AND BEFORE COMMENCEMENT OF THE NORMAL WORK DAY.
- ALL UNUSED PLUMBING, SHEET METAL DUCTS, AND EQUIPMENT LINES MUST BE REMOVED & CAPPED AT THE MAIN RISER OR BRANCH CONNECTION.
- PATCH ALL EXISTING CONSTRUCTION TO REMAIN AS REQUIRED (V.I.F.) TO ACCOMMODATE DEMOLITION & SCOPE OF ALL NEW WORK.
- GC TO COORDINATE DEMOLITION WITH ALL TRADES. IT IS THE GC'S RESPONSIBILITY TO DETERMINE WHICH ITEMS ARE TO BE REMOVED, WHICH ARE TO REMAIN AND WHICH NEED TO BE PROTECTED, AS REQUIRED, DURING DEMOLITION (INCLUDING, BUT NOT LIMITED TO, PARTITIONS, FINISHES, DOORS, FRAMES, HARDWARE AND ELECTRICAL CIRCUITRY).
- GC IS RESPONSIBLE FOR THE PROTECTION OF ALL ITEMS TO REMAIN THROUGH THE ENTIRE COURSE OF DEMOLITION AND CONSTRUCTION (INCLUDING, BUT NOT LIMITED TO, PARTITIONS, FINISHES, DOORS, FRAMES, HARDWARE AND ELECTRICAL CIRCUITRY). CONTRACTOR SHALL REPAIR AND/OR REPLACE ANY DAMAGE WHICH MIGHT OCCUR.
- PATCH AND REPAIR AS REQUIRED ALL EXISTING PARTITIONS TO REMAIN WHERE AN EXISTING PARTITION THAT INTERSECTED THE PARTITION IS REMOVED. PREPARE ALL SURFACES TO RECEIVE NEW FINISHES AS SPECIFIED.

WALL LEGEND

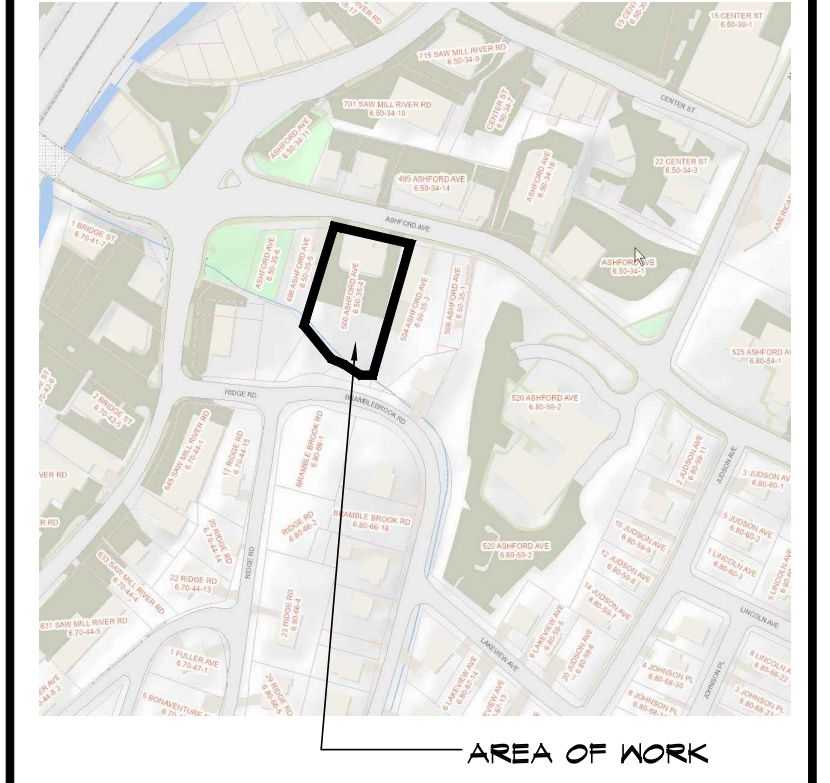
ITEM	DESCRIPTION
	EXISTING WALL TO REMAIN
	EXISTING WALL TO BE REMOVED

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NOTE:
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ZONE: B-1 TAX MAP ID #: 6.50-35-4

LIST OF DRAWINGS

T1	SITE PLAN, ZONING INFO, & BLDG CODE INFO
T2	SITE DETAILS
T3	NOTES
A1	EXIST GROUND FLR PLAN & EXIST ELEVATIONS
A2	PROPOSED GROUND FLR PLAN
A3	PROPOSED GROUND FLR FF&E PLAN
A4	PROPOSED GROUND FLR REFLECTED CEILING PLAN
A5	PROPOSED EXTERIOR ELEVATIONS
A6	PROPOSED EXTERIOR ELEVATIONS
A7	EXISTING & PROPOSED CROSS SECTIONS
A8	PROP SECTION, PROP FOUND PLAN, PROP ROOF PLAN
A9	ENLARGED RESTRM PLANS, FRD & ACCESSIBILITY DET
A10	DETAILS

NO.	DATE	ISSUE/REV.
--	08.26.23	ISSUED FOR DOB FILING

CLIENT
NICHOLAS DONAS MD
18 ASHFORD AVE, SUITE 2M, DOBBS FERRY NY 10522

PROJECT
PROPOSED CHANGE OF USE TO MEDICAL OFFICES
INCL. INTERIOR ALTERATION AND SIDE YARD
ADDITION TO EXISTING COMMERCIAL BUILDING FOR:
500 ASHFORD AVENUE, ARDSLEY, NY 10502

DRAWINGS TITLE
EXISTING GROUND FLOOR PLAN & EXT ELEVATIONS

DRAWN BY	CHECKED BY	PROJECT NO.
SZ/JJ	NF	23.0810
		DATE
		08.25.23
		DRAWING NO.
		A=1



A=1

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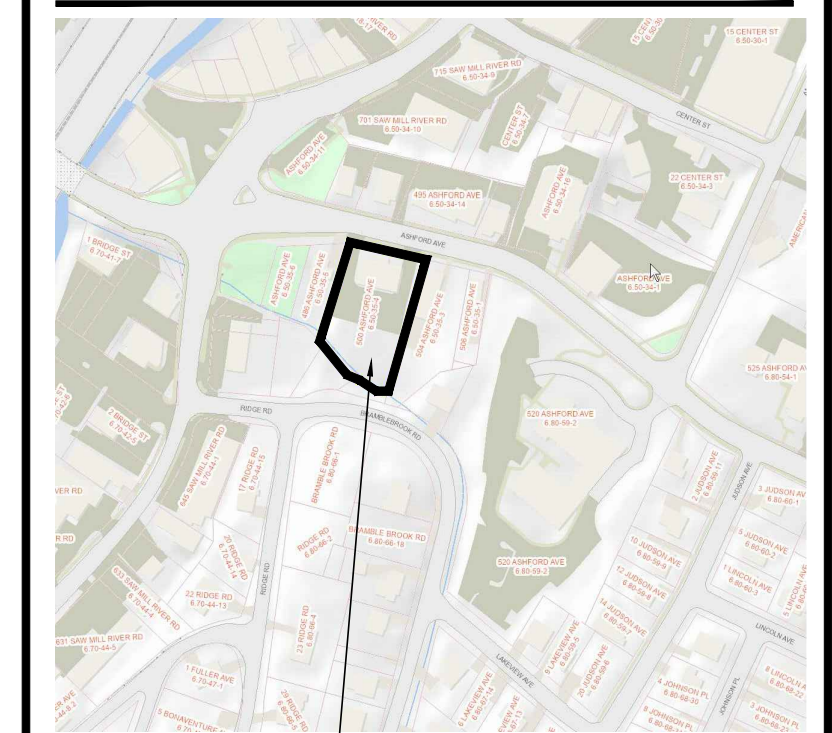
Greenburgh: 6 Burns Street, Hartsdale, NY 10530
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AREA OF WORK

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ZONE: B-1 TAX MAP ID #: 6.50-35-4

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- A5 PROPOSED EXTERIOR ELEVATIONS
- A6 PROPOSED EXTERIOR ELEVATIONS
- A7 EXISTING & PROPOSED CROSS SECTIONS
- A8 PROP SECTION, PROP FOUND PLAN, PROP ROOF PLAN
- A9 ENLARGED RESTRM PLANS, FRD & ACCESSIBILITY DET
- A10 DETAILS

-- 08.26.23 ISSUED FOR DOB FILING

NO.	DATE	ISSUE/REV.

CLIENT

NICHOLAS DONAS MD
18 ASHFORD AVE, SUITE 2M, DOBBS FERRY NY 10522

PROJECT

PROPOSED CHANGE OF USE TO MEDICAL OFFICES
INCL INTERIOR ALTERATION AND SIDE YARD
ADDITION TO EXISTING COMMERCIAL BUILDING FOR:

500 ASHFORD AVENUE, ARDSLEY, NY 10502

DRAWINGS TITLE

PROPOSED GROUND FLOOR PLAN

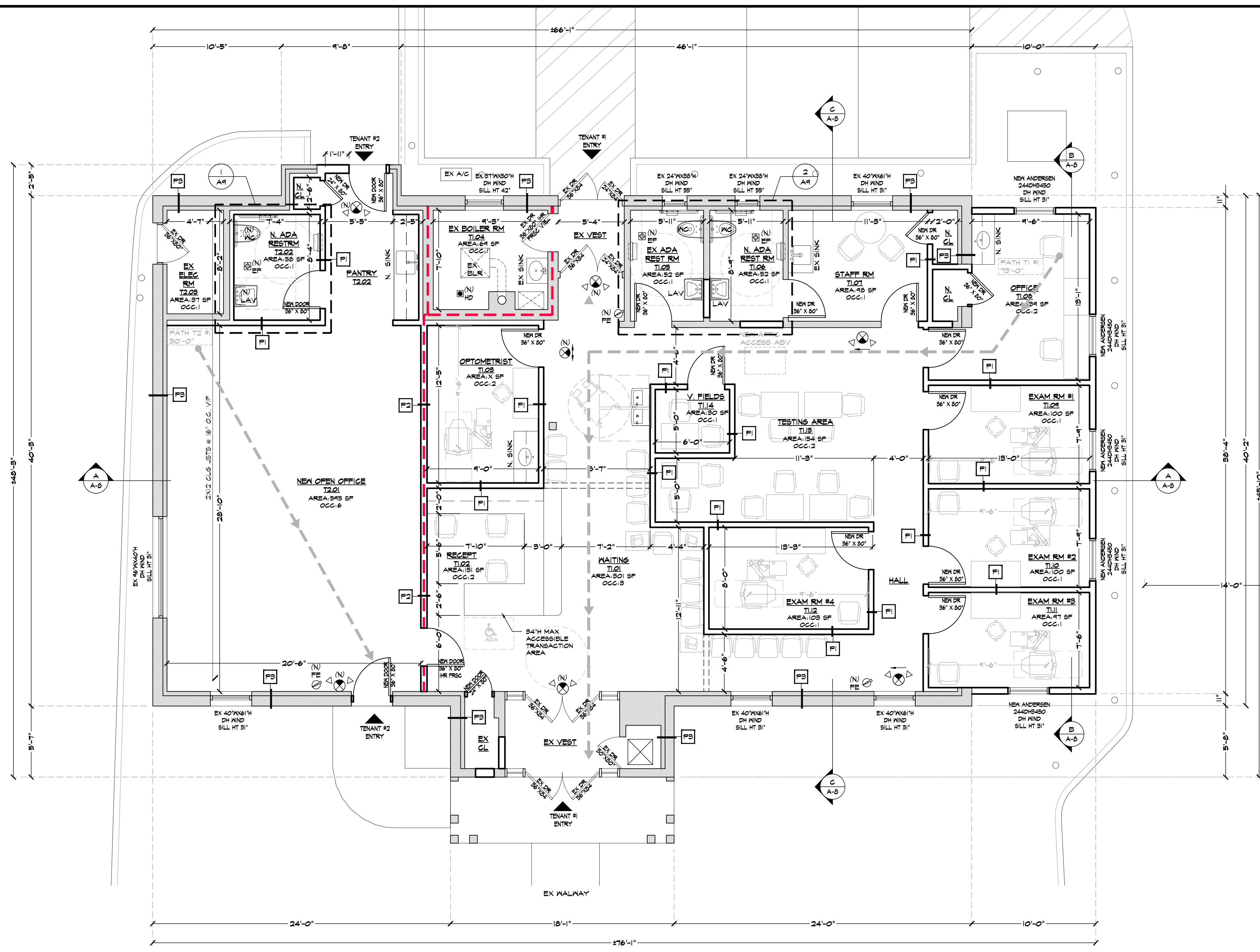
DRAWN BY	CHECKED BY	PROJECT NO.
SZ/JJ	NF	23.0310

DATE 08.25.23

DRAWING NO.



A-2



PROPOSED GROUND FLOOR PLAN

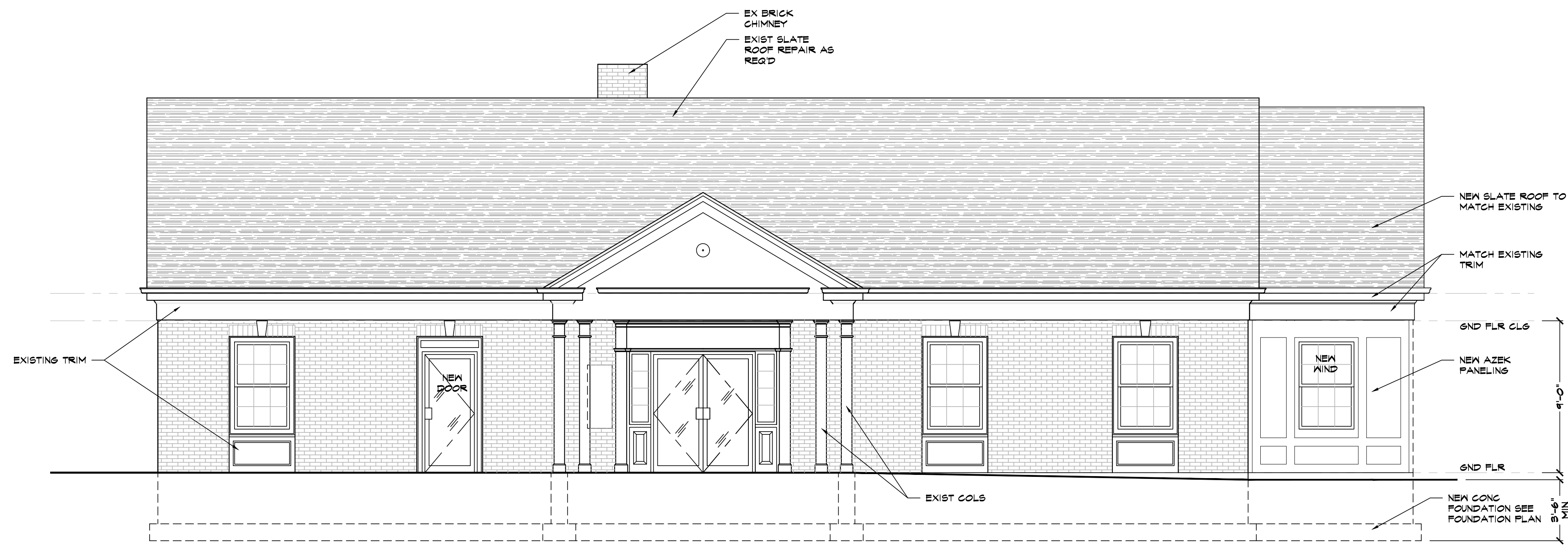
1/4" = 1'-0"

PARTITION TYPES:

[Line Style]	EX. BASE BUILDING CORE AND SHELL WALL OR COLUMN ENCLOSURE TO REMAIN.
[Line Style]	CONTRACTOR SHALL MAKE ALL NECESSARY REMOVALS OF ROUGH OR UNFINISHED MATERIAL AND PATCH LAMINATE, OR RE-FURR TO PROVIDE A SMOOTH MONOLITHIC SURFACE FOR NEW FINISHES. CONTRACTOR SHALL FURR OR LAMINATE NEW GYPSUM BOARD WHERE NECESSARY TO CREATE SMOOTH ALIGNMENT WITH NEW CONSTRUCTION, OR TO ACCOMMODATE NEW PLUMBING OR ELECTRICAL INSTALLATIONS. WHERE NEW CONSTRUCTION AFFECTS ACCESS TO EXISTING VALVES, PULL BOXES, ETC., HE SHALL RELOCATE EXISTING ACCESS DOORS OR PROVIDE NEW ACCESS DOORS.
[Line Style]	DENOTES NEW PARTITION TYPE. SEE SHEET A10 FOR DETAILS

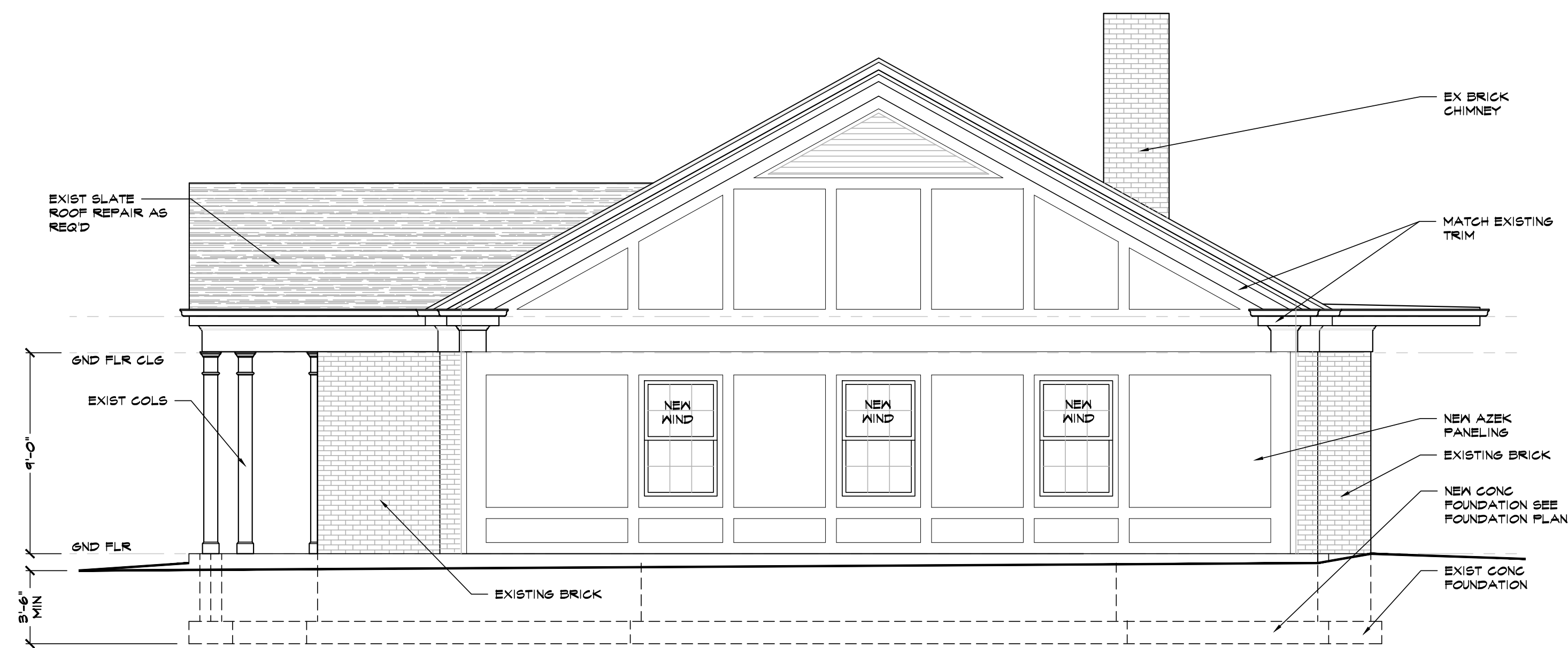
WALL LEGEND

ITEM	DESCRIPTION
[Line Style]	EX PARTITION TO REMAIN REPAIR AS REQUIRED
[Line Style]	EX DEMISING WALL TO REMAIN REPAIR AS REQUIRED
[Line Style]	NEW PARTITION SEE DET. FOR ADD. INFO



E1 PROP FRONT ELEVATION

1/4" = 1'-0"



E2 PROP RIGHT SIDE ELEVATION

1/4" = 1'-0"

Nicholas L. Faustini Architect PC

nf

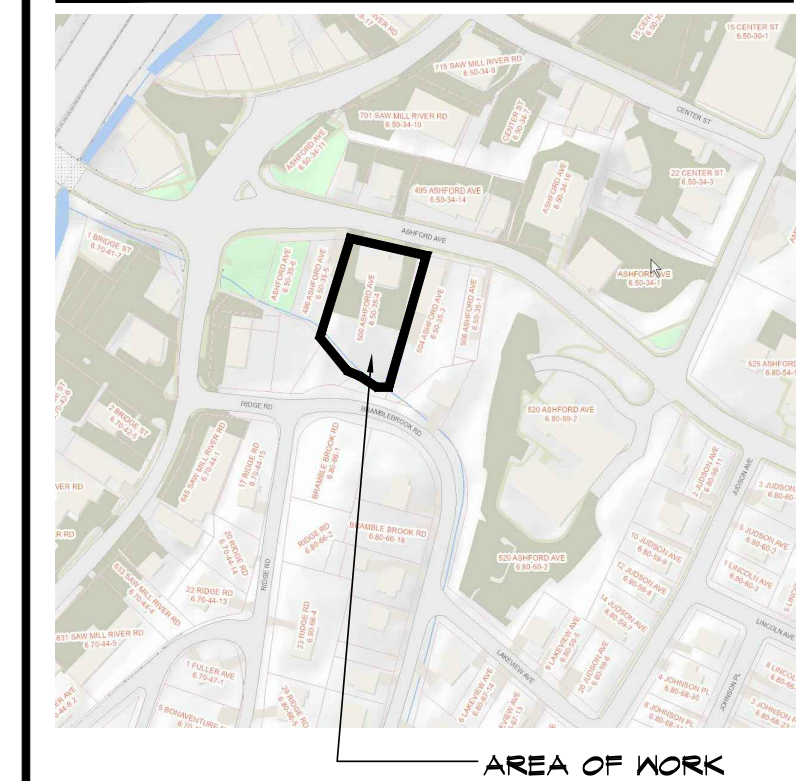
T 914.329.1518
nfaarchitect.com

Greenburgh: 6 Burns Street, Hartsdale, NY 10530
Yonkers: 77 Remsen Road, Yonkers, NY 10710

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NOTE:

Drawings may be printed at reduced scale

ZONE: B-1 TAX MAP ID #: 6.50-35-4

LIST OF DRAWINGS

- T1 SITE PLAN, ZONING INFO, & BLDG CODE INFO
- T2 SITE DETAILS
- T3 NOTES
- A1 EXIST GROUND FLR PLAN & EXIST ELEVATIONS
- A2 PROPOSED GROUND FLR PLAN
- A3 PROPOSED GROUND FLR FF&E PLAN
- A4 PROPOSED GROUND FLR REFLECTED CEILING PLAN
- A5 PROPOSED EXTERIOR ELEVATIONS
- A6 PROPOSED EXTERIOR ELEVATIONS
- A7 EXISTING & PROPOSED CROSS SECTIONS
- A8 PROP SECTION, PROP FOUND PLAN, PROP ROOF PLAN
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- A10 DETAILS

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PROJECT

PROPOSED CHANGE OF USE TO MEDICAL OFFICES
INCL. INTERIOR ALTERATION AND SIDE YARD
ADDITION TO EXISTING COMMERCIAL BUILDING FOR:

500 ASHFORD AVENUE, ARDSLEY, NY 10502

DRAWINGS TITLE

PROPOSED EXTERIOR ELEVATIONS

DRAWN BY	CHECKED BY	PROJECT NO.
SZ/JJ	NF	23.0310

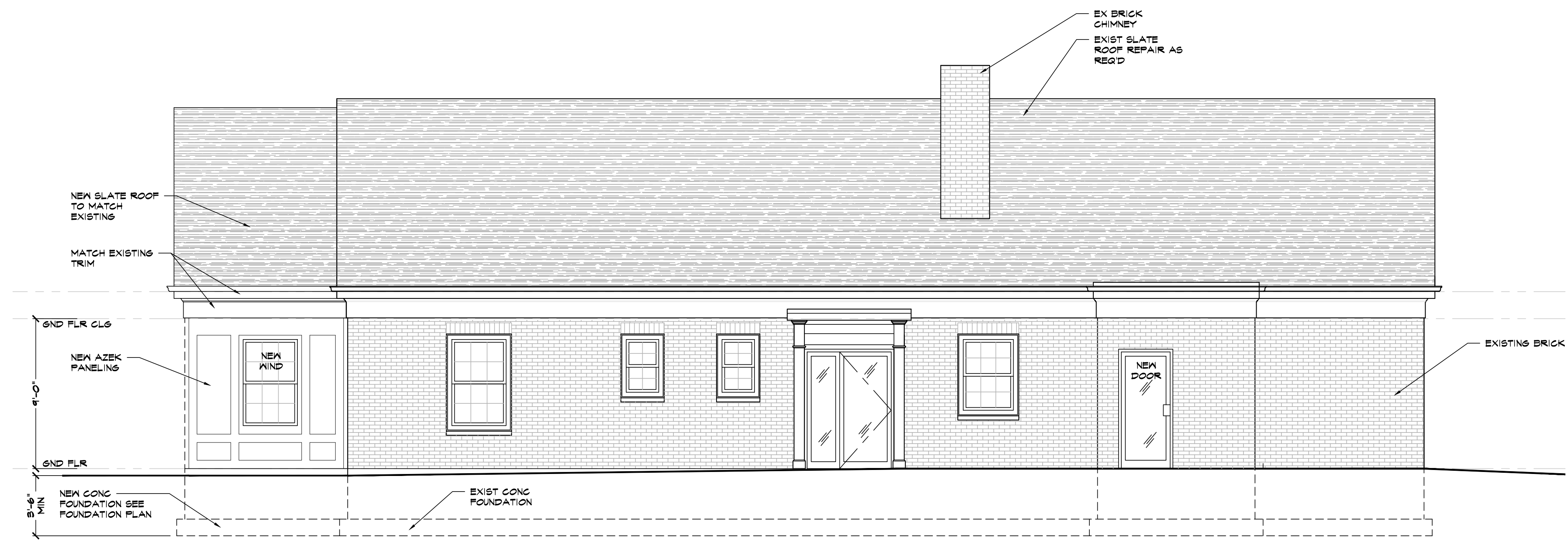
DATE

08.25.23

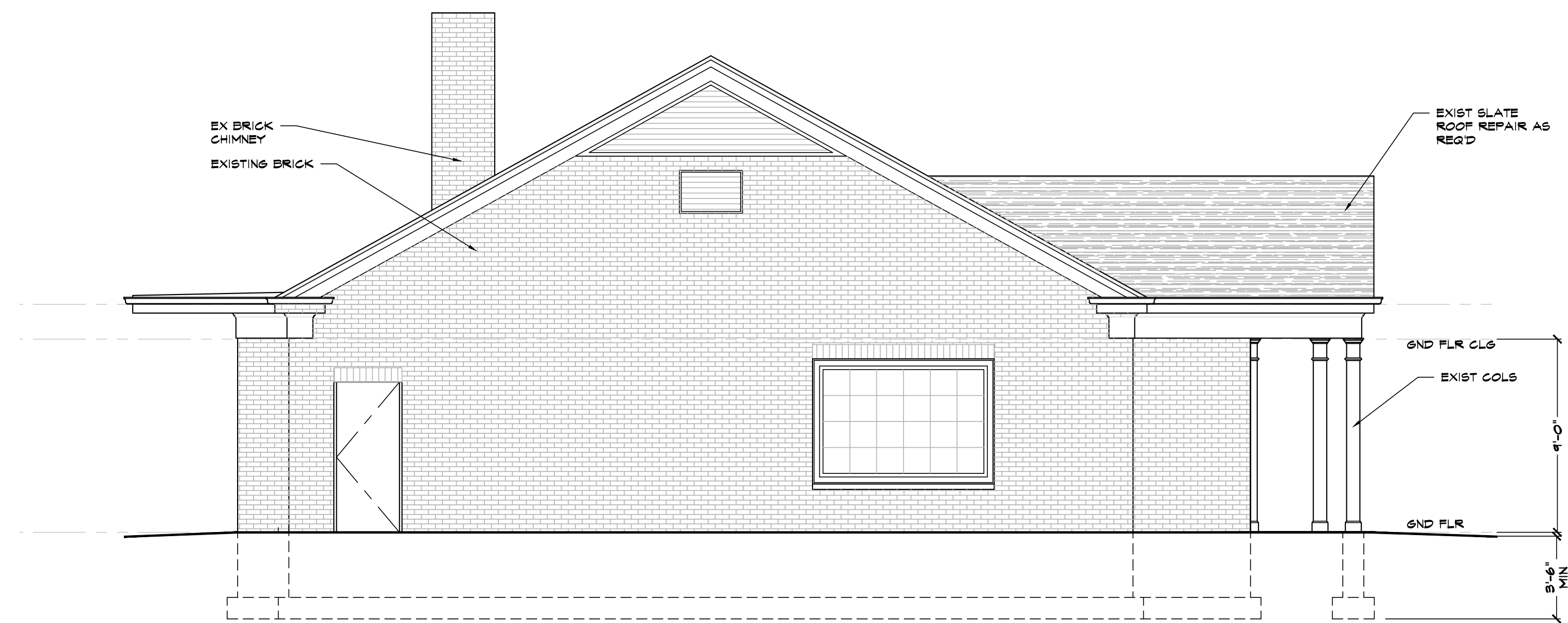
DRAWING NO.



A-5



E3 PROP LEFT SIDE ELEVATION
1/4" = 1'-0"

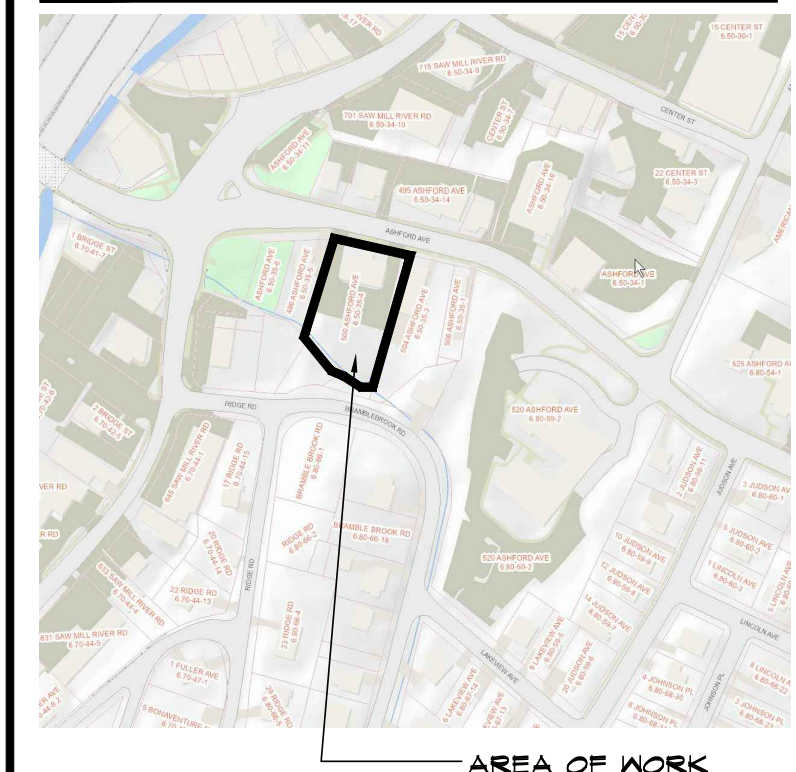


E4 PROP REAR ELEVATION
1/4" = 1'-0"

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T 914.329.1518
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NOTE:
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ZONE: B-1 TAX MAP ID #: 6.50-35-4

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DRAWINGS TITLE
PROPOSED EXTERIOR ELEVATIONS

DRAWN BY	CHECKED BY	PROJECT NO.
SZ/JJ	NF	23.0310
DATE		08.25.23
DRAWING NO.		A-6



A-6

**RESOLUTION ADDING TD BANK TO THE LIST OF
OFFICIAL DEPOSITORIES**

Resolved, that the Village Board of the Village of Ardsley hereby adds TD Bank as an official depository, effective immediately.