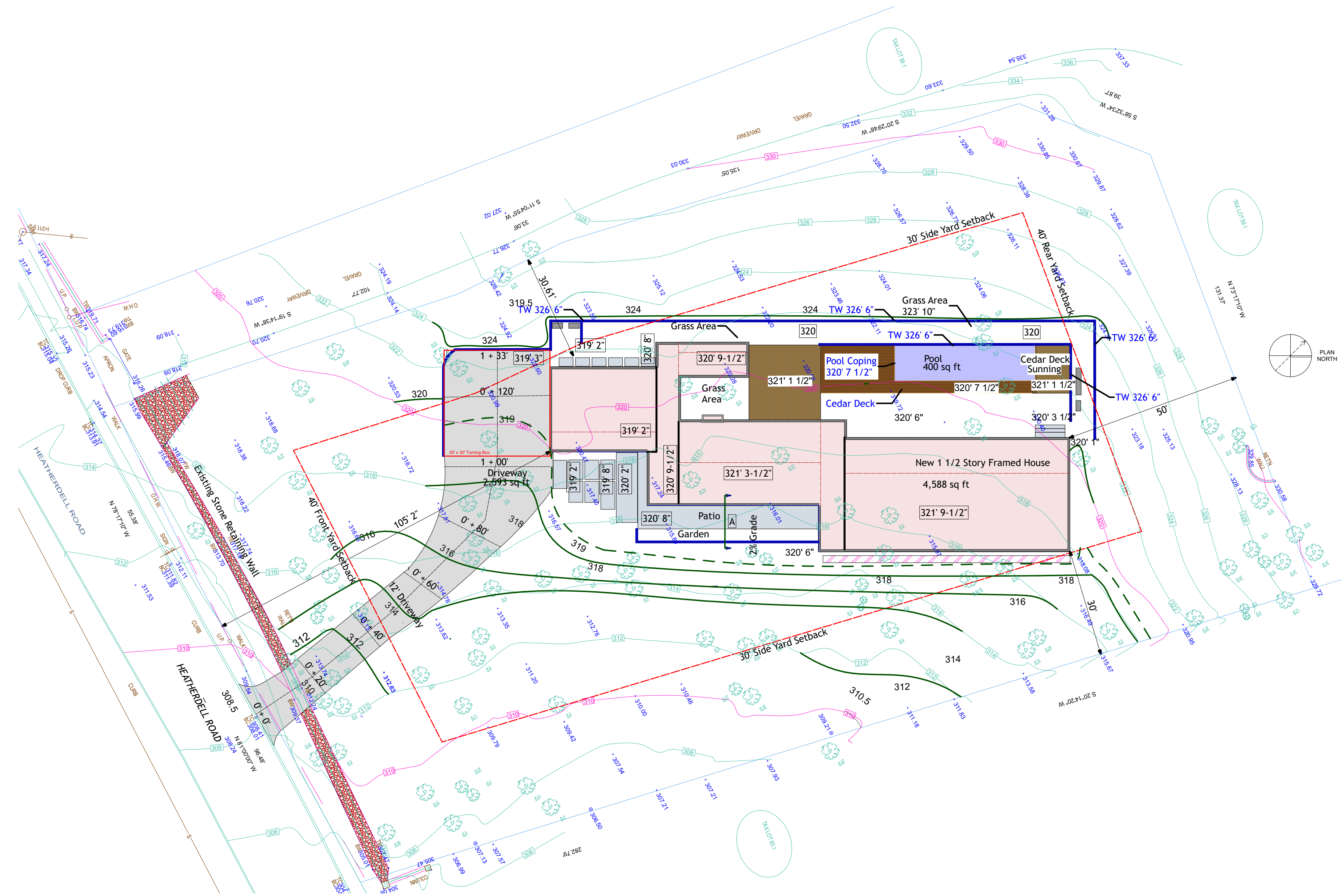
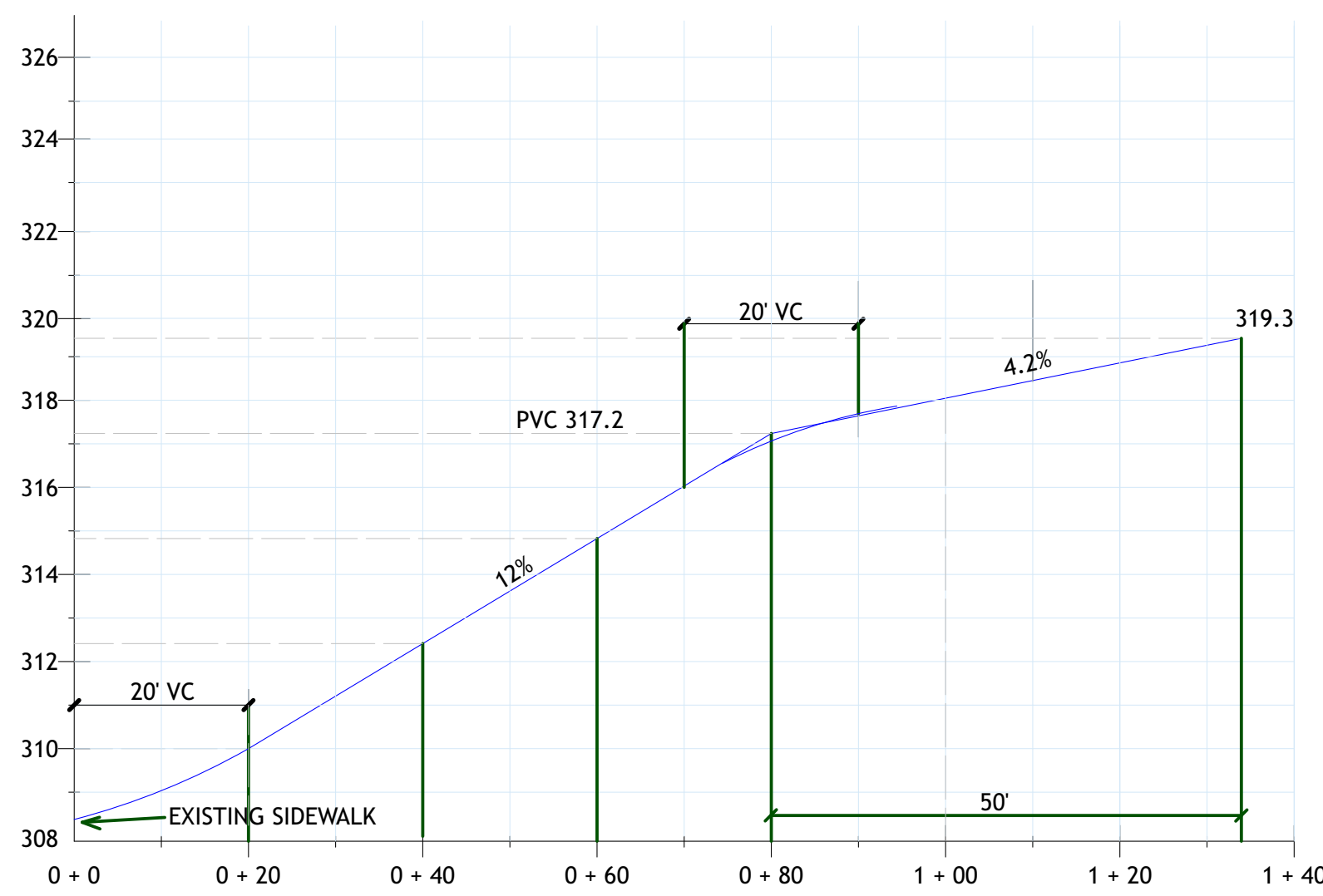


Zoning Schedule		
R1 District	Ordinance	Proposed
Minimum Lot Area	40,000	44,676
Minimum Lot Frontage	100	152
Maximum Building Coverage	11%	10.3%
Minimum Floor Area	800 sf	4,683
Maximum Building Height*	2 sty, 30'	1 1/2 sty, 27'
Minimum Front Yard Depth	40	111.19
Minimum Rear Yard Depth	40	40
Minimum Side Yard Width	30	30
Maximum Lot Coverage	9,414	9,359

First Floor Area	4,588
Total Building Area	4,588
Total Building Coverage	4,588
Driveway	2,495
Front Steps & Sidewalk	686
Back Concrete	60
Back Deck	990
Pool	400
Drainage Trench	140
Total Lot Coverage	9,359



Site Plan
SCALE: 1" = 20'



DRIVEWAY PROFILE
SCALE: N.T.S.

GENERAL NOTES

- TAX DESIGNATION FOR THIS PARCEL IS SECTION 6.3, Block 14, LOT 59.2. THE ADDRESS IS HEATHERDELL ROAD, ARDSLEY, NY.
- TOTAL AREA OF THE LOT IS 1.5 ACRES.
- TOPOGRAPHICAL AND SURVEY INFORMATION SHOWN HEREON WAS TAKEN FROM A MAP ENTITLED "TOPOGRAPHICAL SURVEY TAX LOT 59.2 IN BLOCK 14, SECTION 6.3 AS SHOWN ON THE OFFICIAL TAX MAPS OF VILLAGE OF ARDSLEY, NY", DATED OCTOBER 26, 2020, PREPARED BY SUMMIT LAND SURVEYING P.C. OF WHITE PLAINS, NY.
- THE CONTRACTOR IS TO OBTAIN A BUILDING PERMIT FROM THE APPROPRIATE TOWN OFFICIALS.
- THERE SHALL BE NO MODIFICATION TO ANY ASPECT OF THIS PLAN WITHOUT CONTACTING THE DESIGN ENGINEER. ANY CHANGES TO THESE PLANS SHALL BE APPROVED BY THE DESIGN ENGINEER IN WRITING.
- ALL CONSTRUCTION RELATED ACTIVITIES MUST BE WITHIN THE LIMITS SHOWN ON THESE PLANS.
- ALL SILT FENCE MUST REMAIN IN PLACE UNTIL THE PROJECT IS FINISHED.
- UPON COMPLETION OF FINAL GRADING, ALL SLOPES AND OTHER DISTURBED AREAS SHALL BE IMMEDIATELY SEEDDED WITH A QUICK GROWING RYE AND PERENNIAL GRASS MIXTURE AND MULCHED AND PERMANENT VEGETATION SHALL BE ESTABLISHED AS SOON AS POSSIBLE. (SEE SEDIMENT CONTROL DETAILS AND NOTES ON SHEET SP2).
- PRIOR TO COMMENCING ANY WORK THE CONTRACTOR IS TO CONTACT THE LOCAL UNDERGROUND LINE LOCATION SERVICE AND MUST VERIFY THAT ALL UTILITIES ARE LOCATED IN THE FIELD.
- CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL EXISTING UTILITIES AND SUBSURFACE STRUCTURES.
- CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL EXISTING UTILITIES AND SUBSURFACE STRUCTURES.
- IF NEEDED, ALL FILL MATERIAL SHALL BE DENSE WELL GRADED, SAND/GRAVEL CAPABLE OF ACHIEVING 95% COMPACTION.
- ALL PVC PIPE SHALL BE SDR 35 (UON).

REVISIONS:

STRUCTURAL/CIVIL:
PREFERRED DESIGN & CONSTRUCTION
Ed Vergano
96 Buckhaven Hill, Saddle River
New Jersey 07458

MECHANICAL/ELEC/PLUMB:
NLG ENGINEERING, PC
Nicholas L. Guiglielminetti, PE
3062 route 9W
New Windsor, New York 12553

DESIGNER:

WHITEBOX

1226 Dean Street
Brooklyn, New York 11216
917-940-5622
www.whitebox-design.com
tinam@whitebox-design.com

PROPERTY:
CID PATEL RESIDENCE
HEATHERDELL ROAD
VILLAGE OF ARDSLEY, NEW YORK
10502

ISSUANCE:
SUBMISSION FOR PERMIT



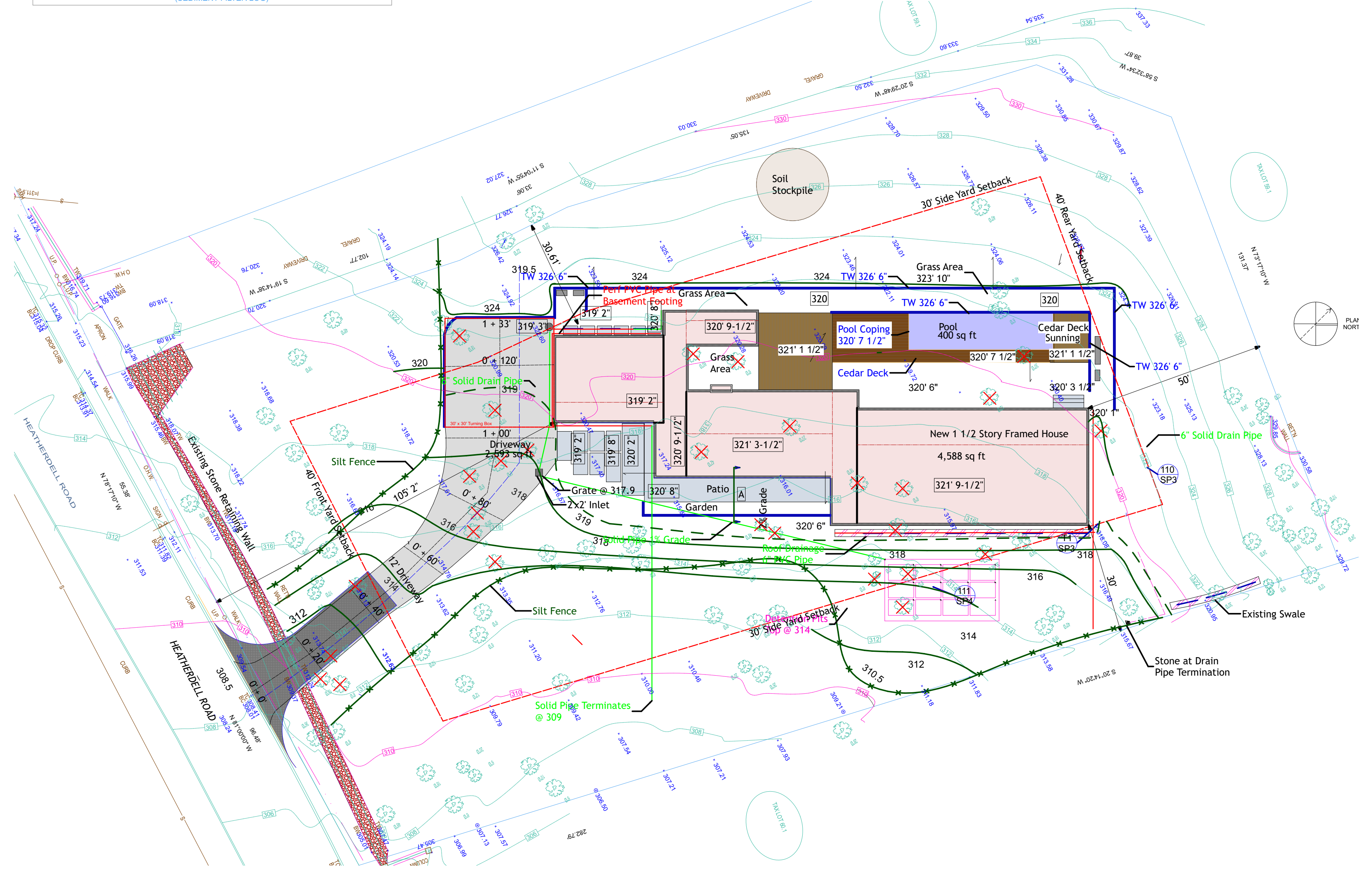
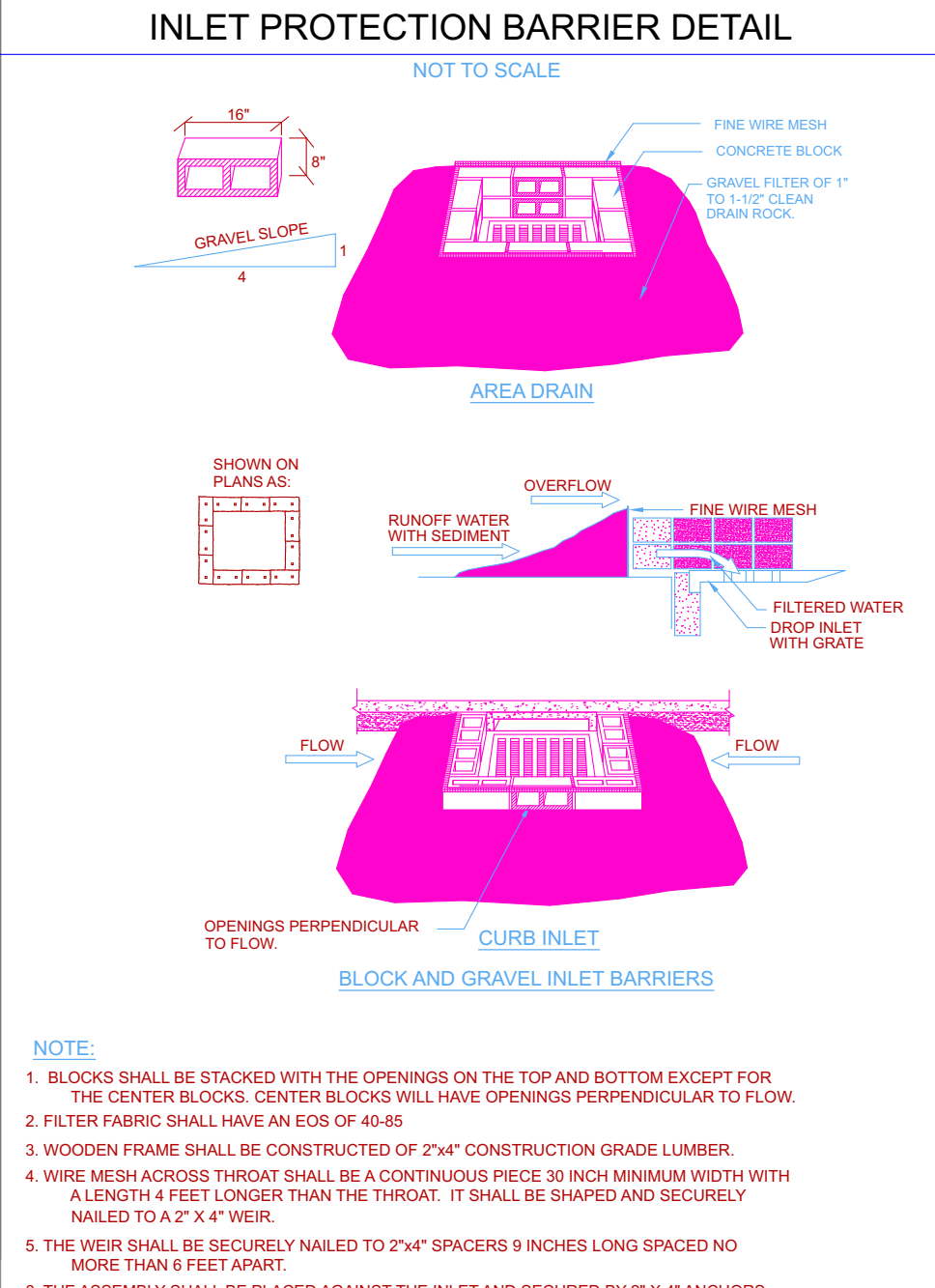
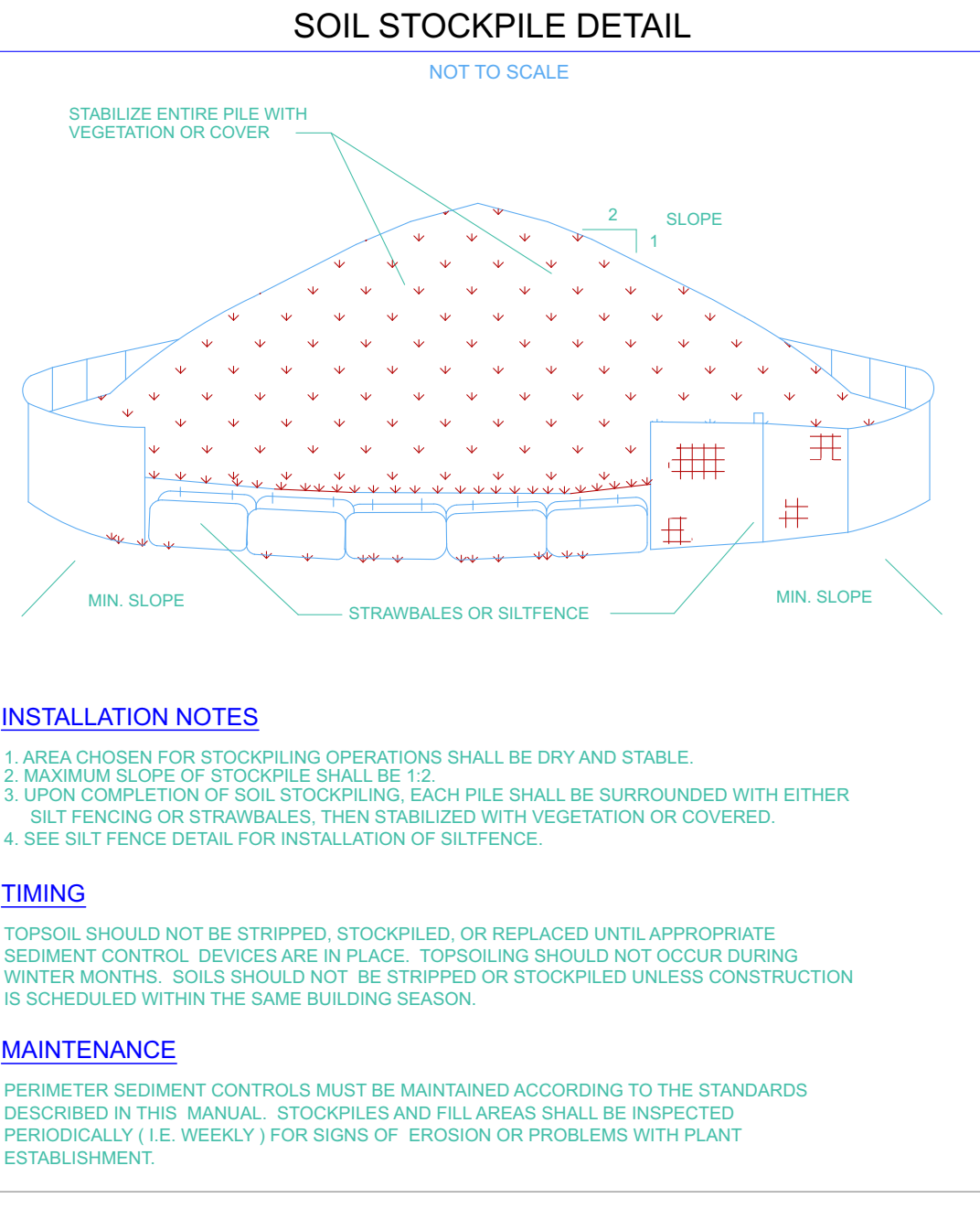
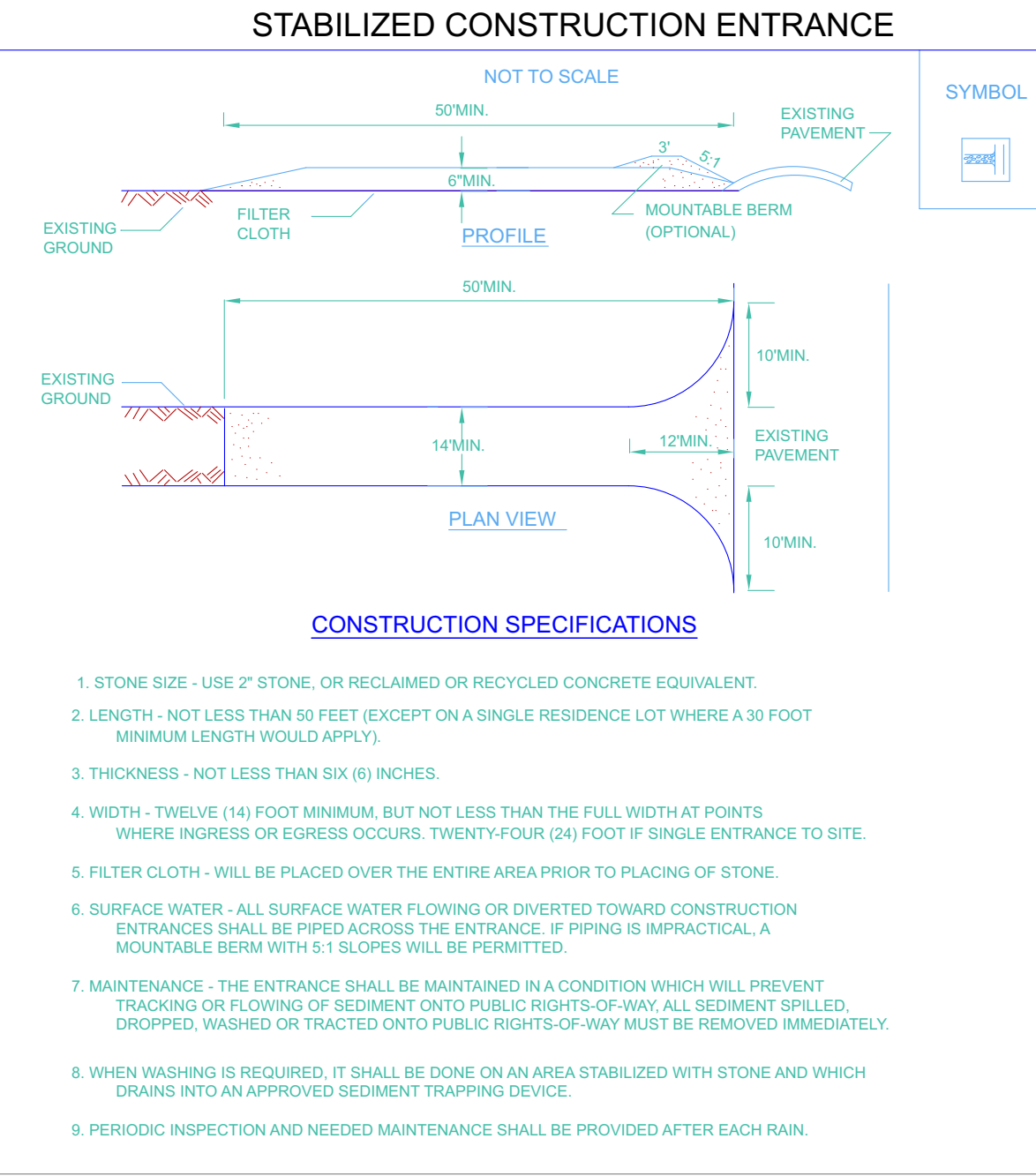
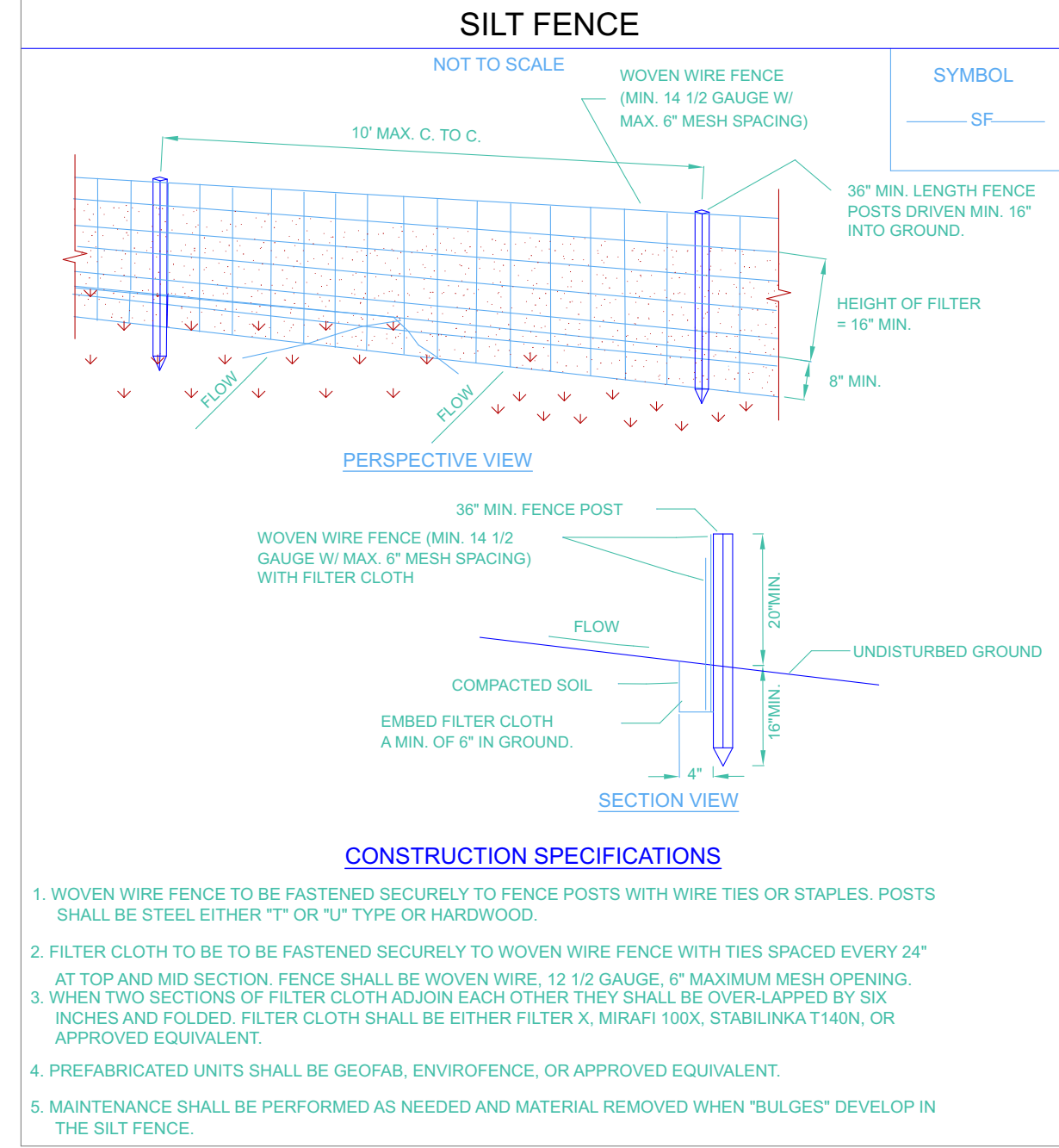
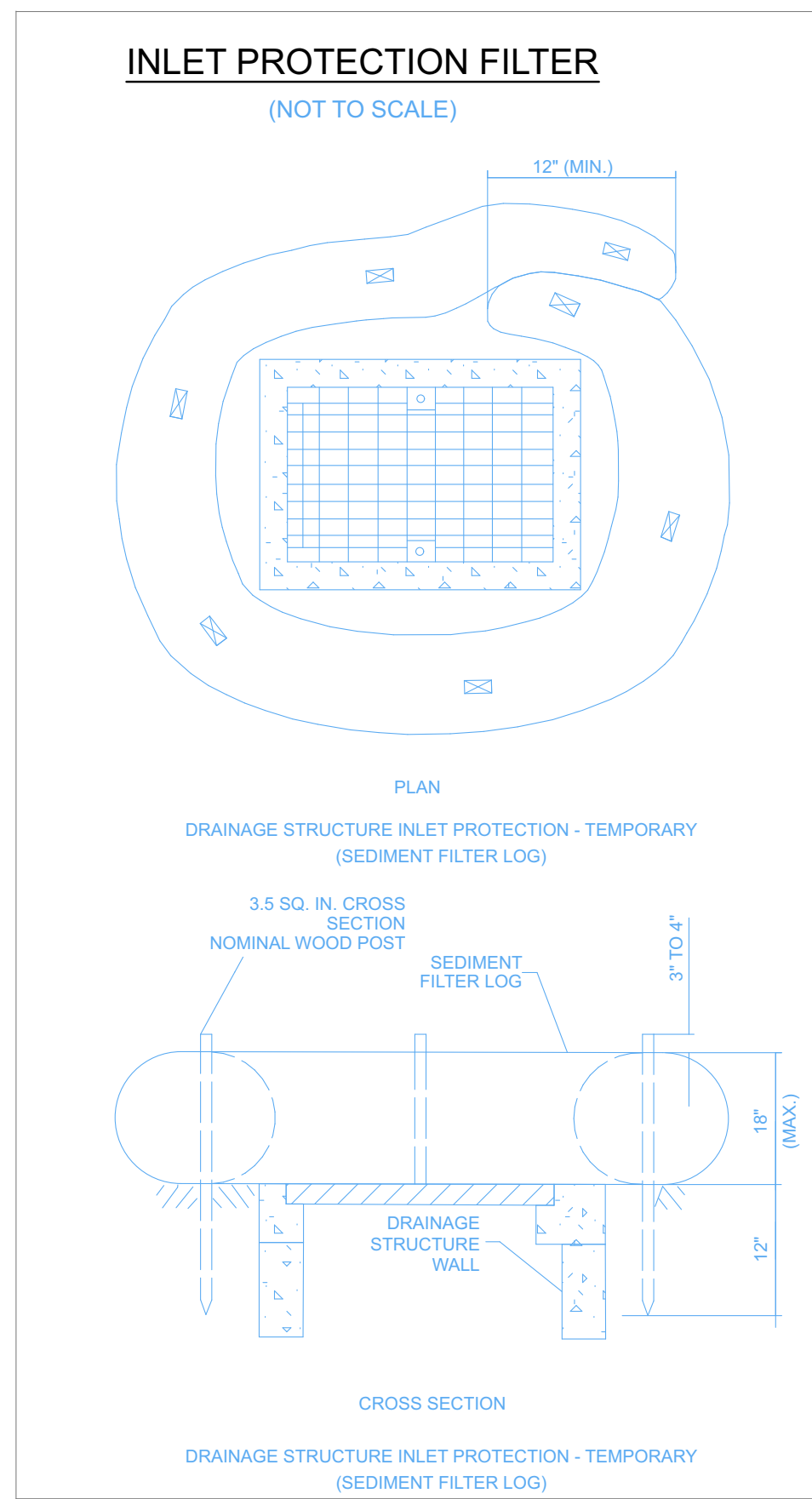
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DRAWING:

SCALE: As Shown

DATE: 15 NOVEMBER 2021

Site Plan



REVISIONS:

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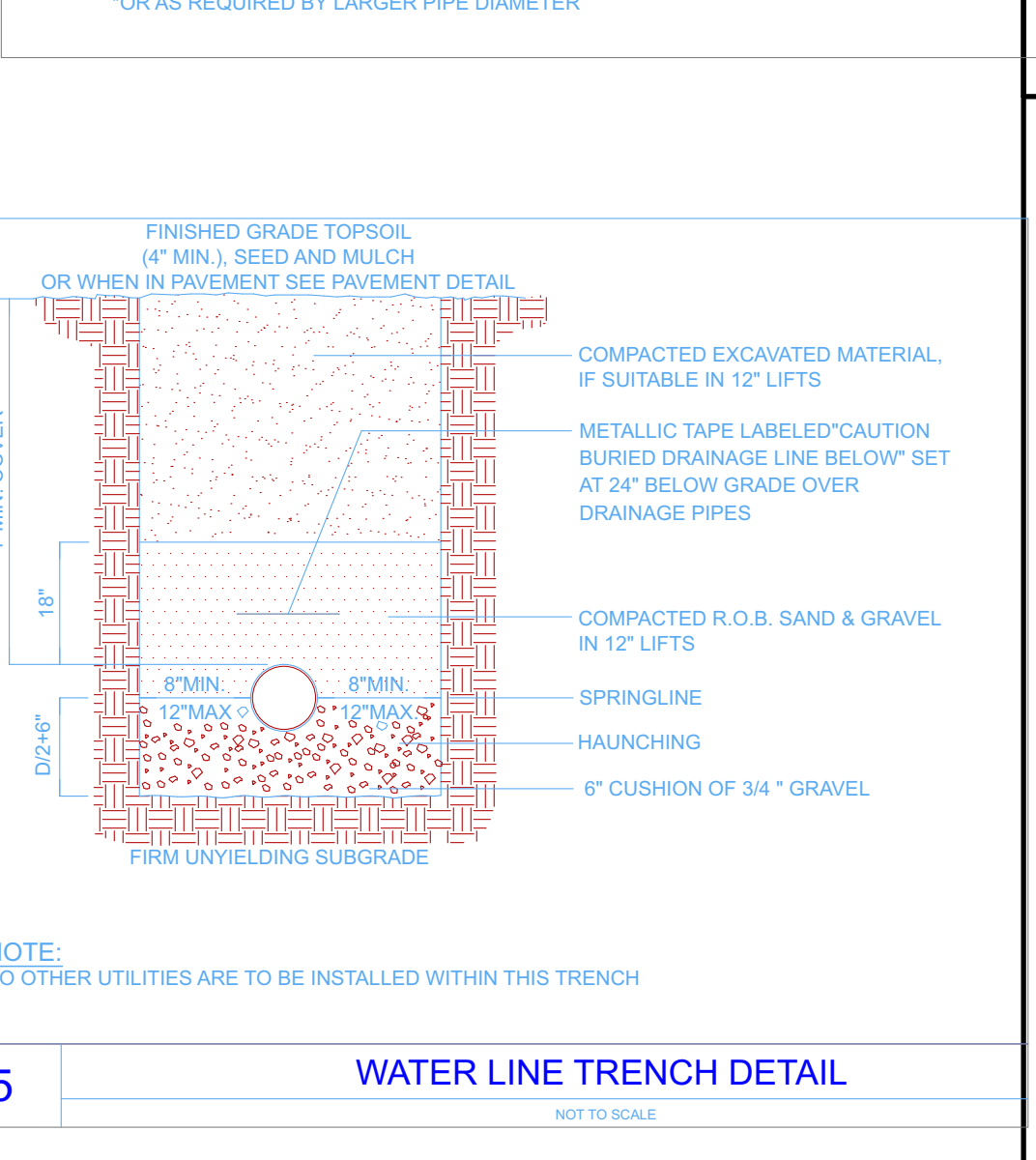
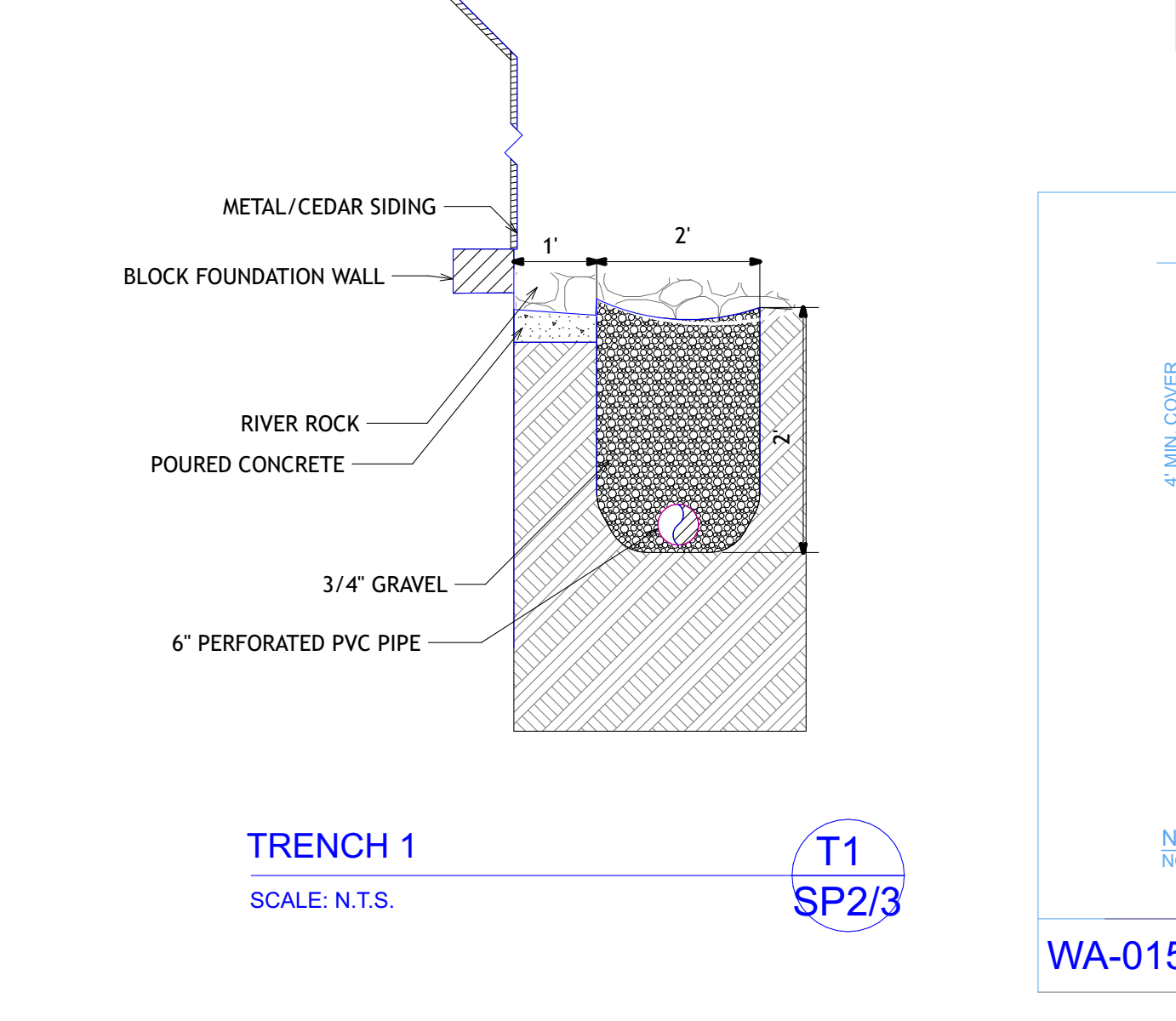
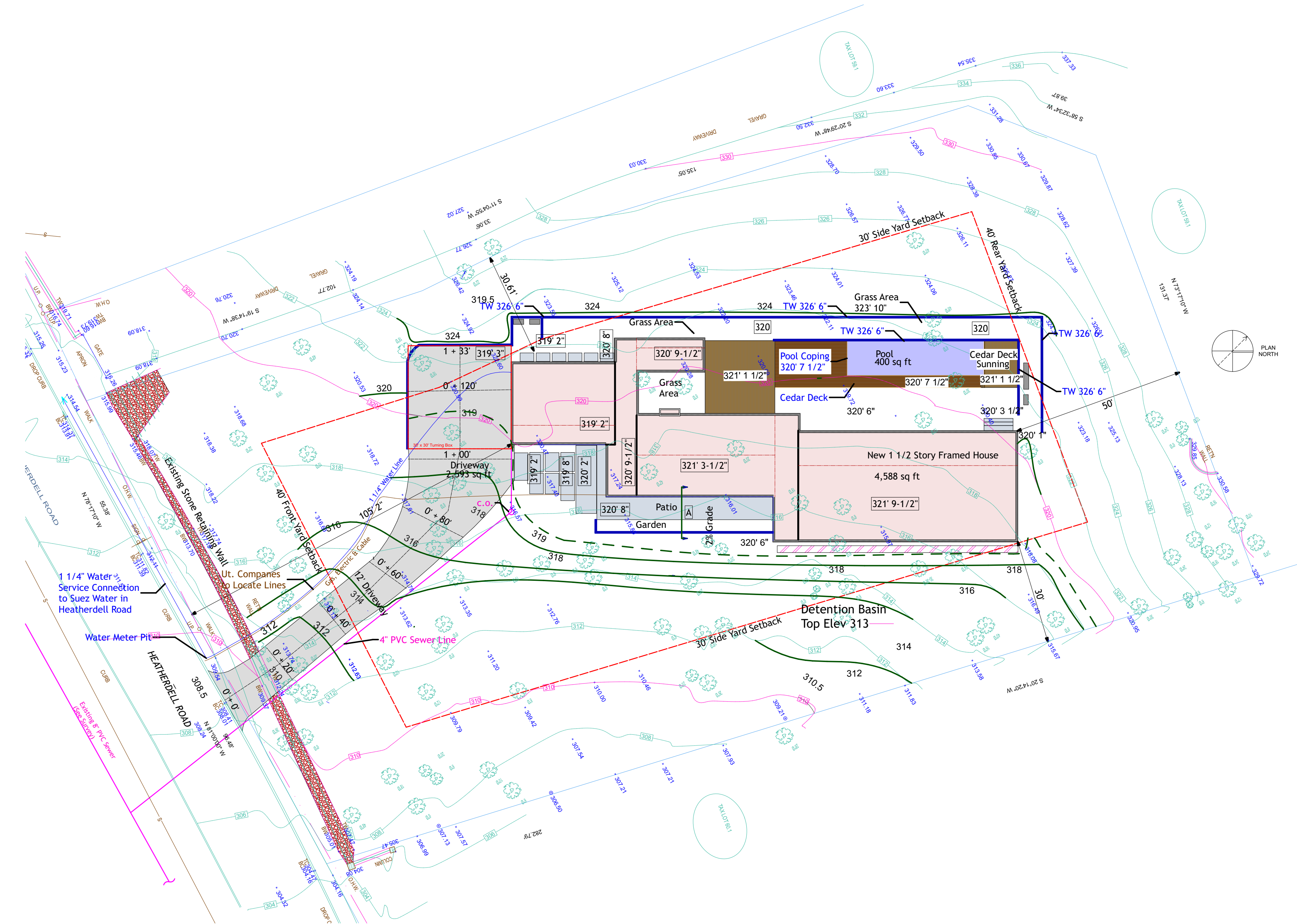
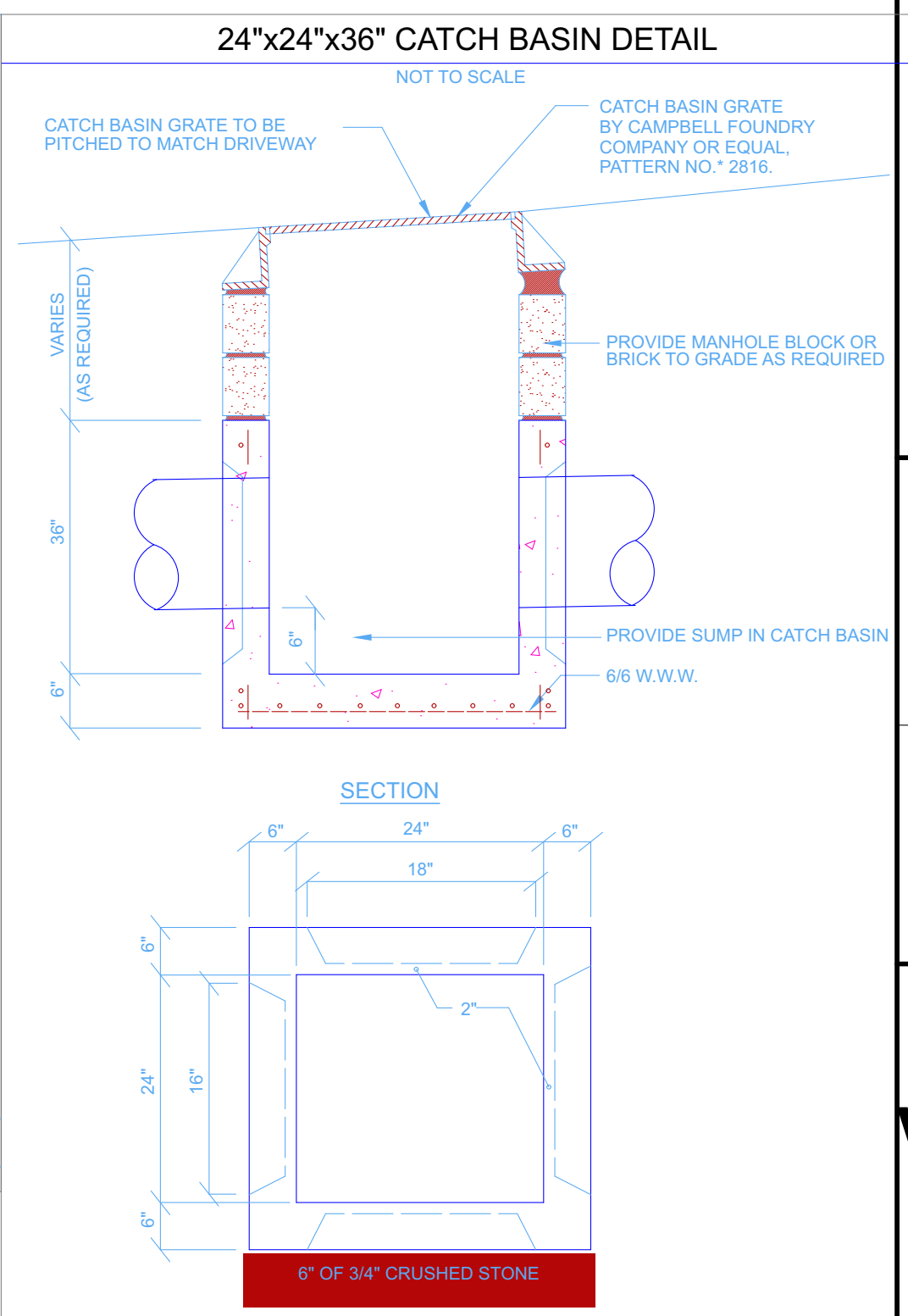
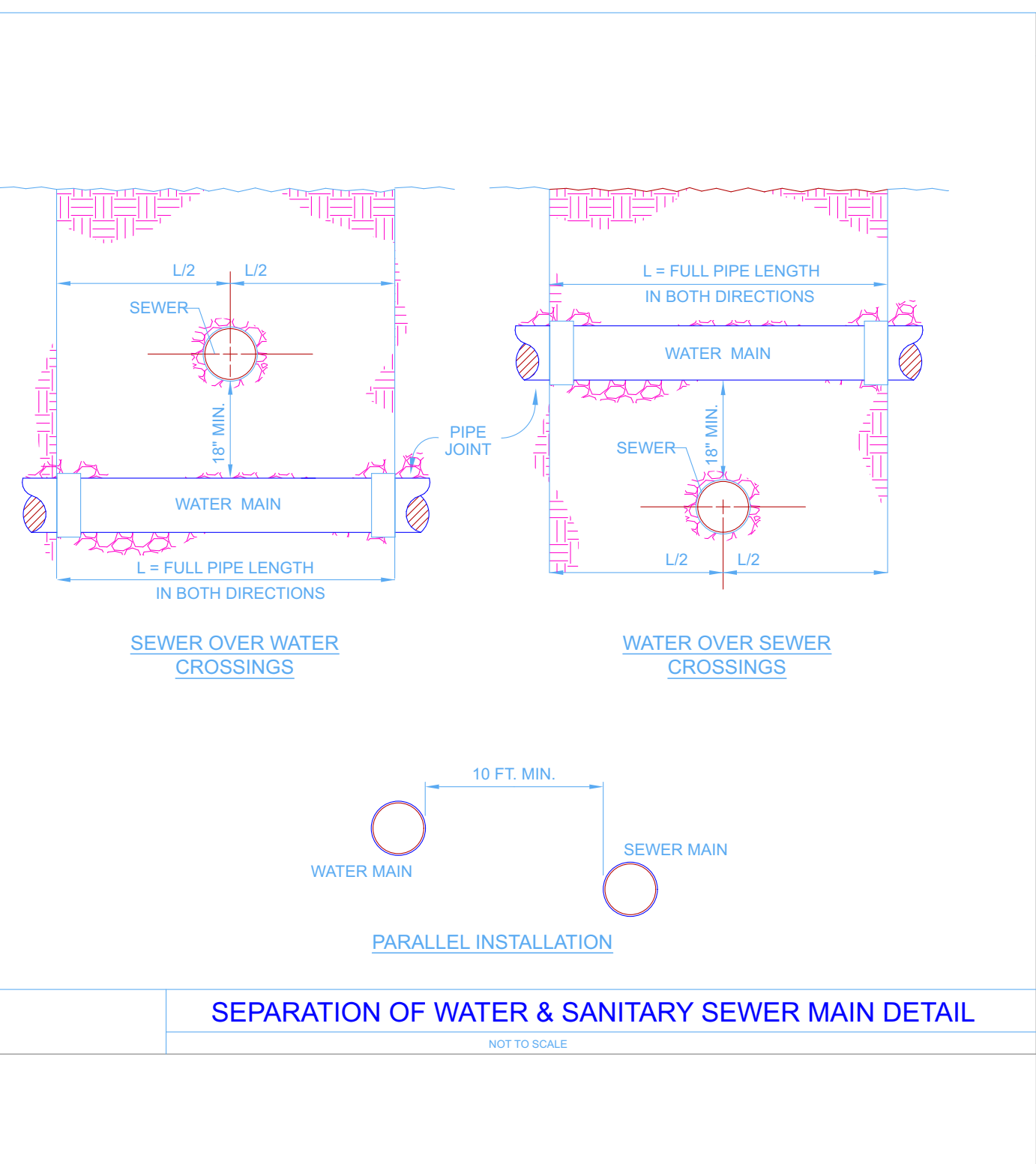
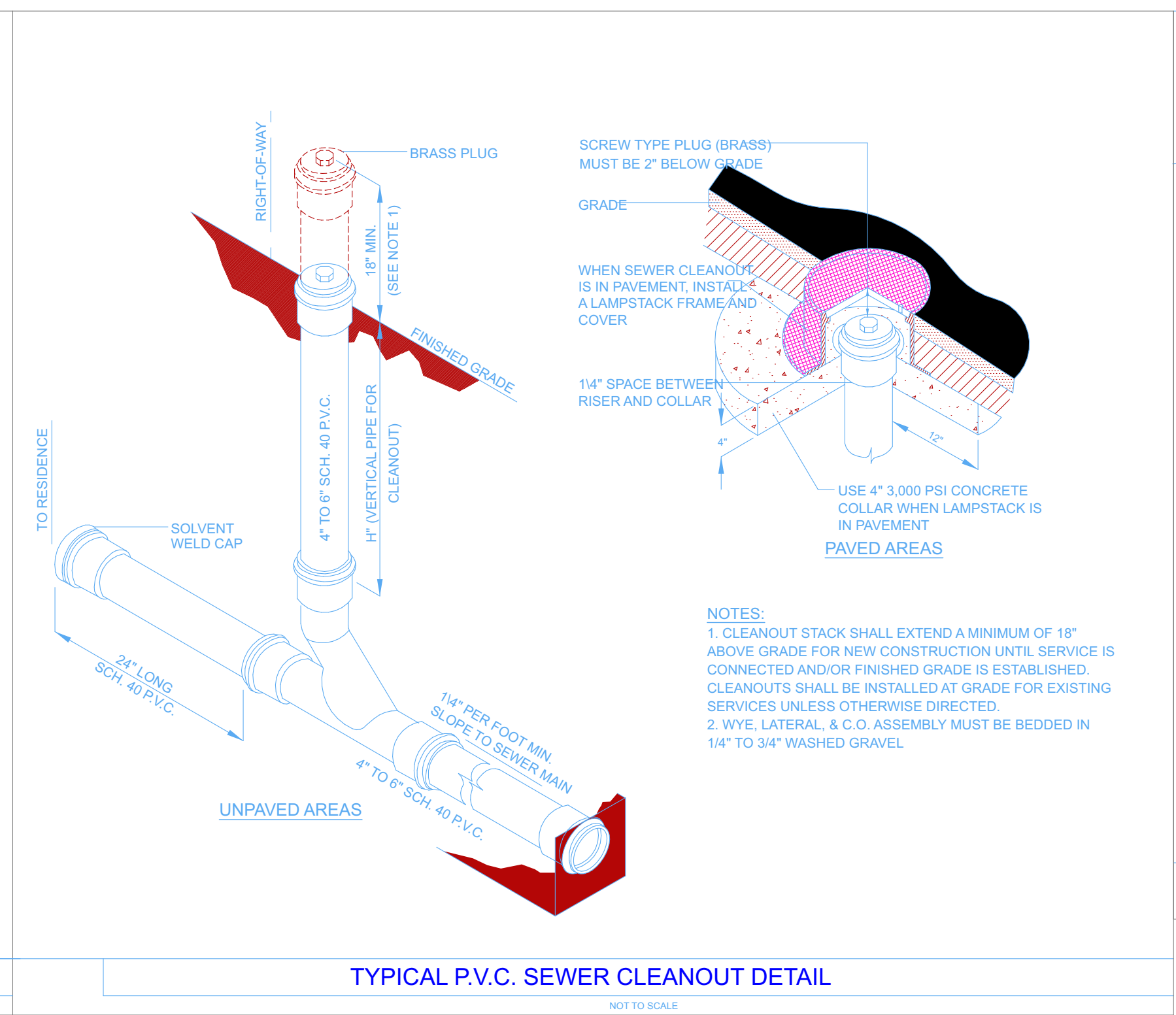
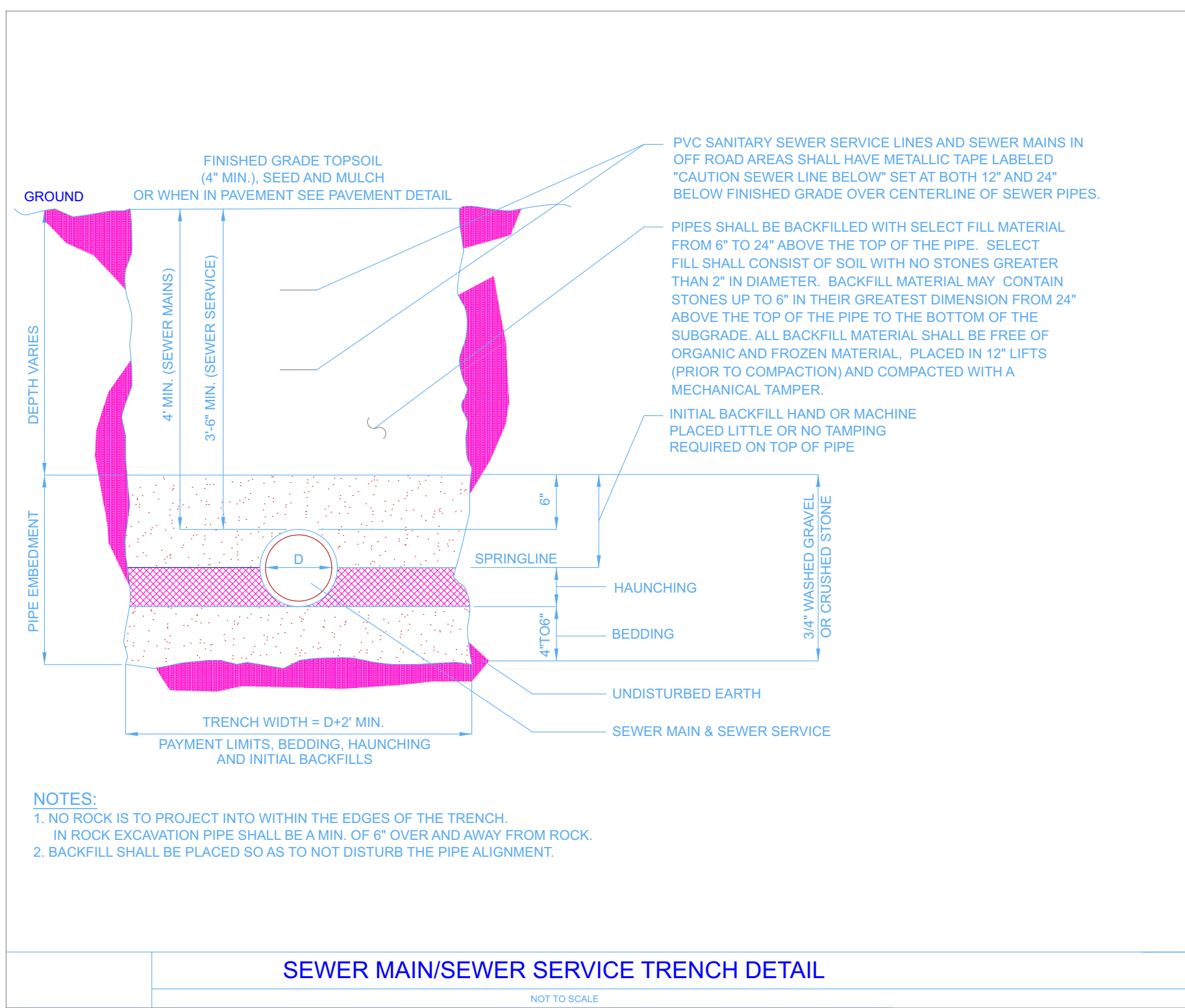


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DATE: 15 NOVEMBER 2021

Soil Erosion and Sediment Control Plan

DRAWING NO. SP-2



Utilities Plan
SCALE: 1" = 20'

REVISIONS:

STRUCTURAL/CIVIL:
PREFERRED DESIGN & CONSTRUCTION
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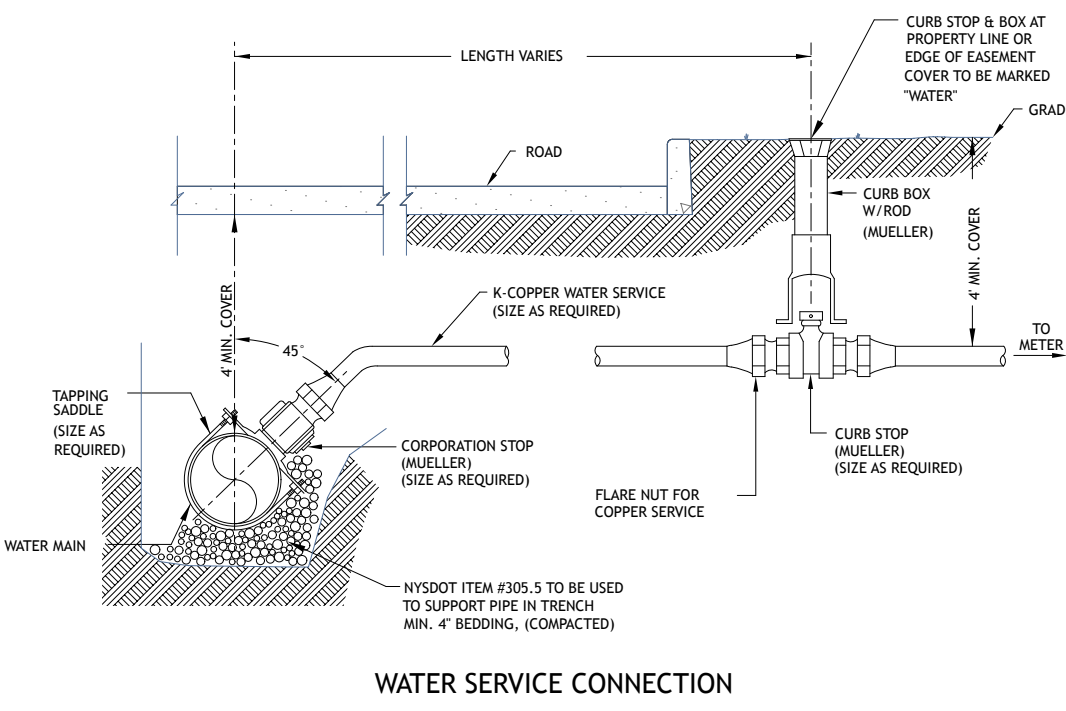


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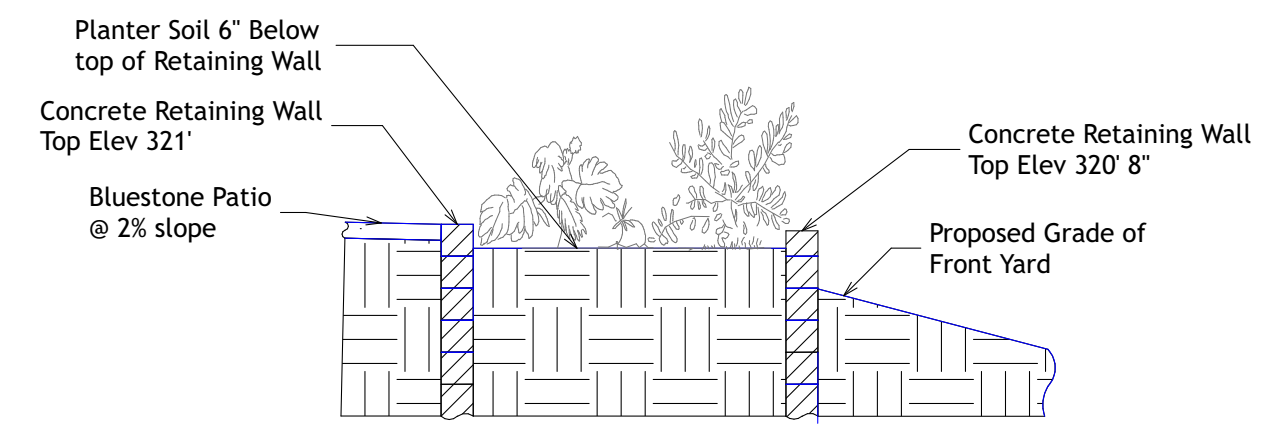
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Utility Plan

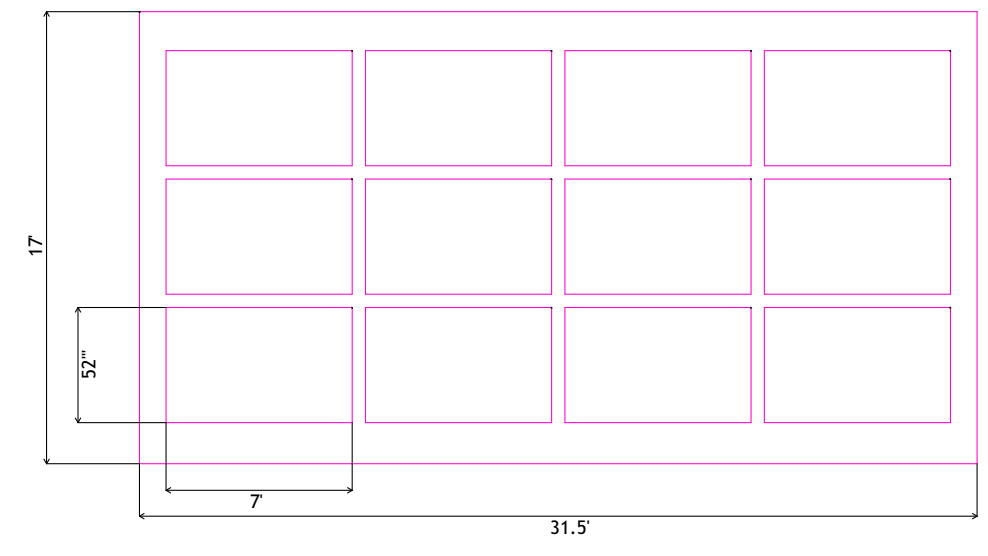
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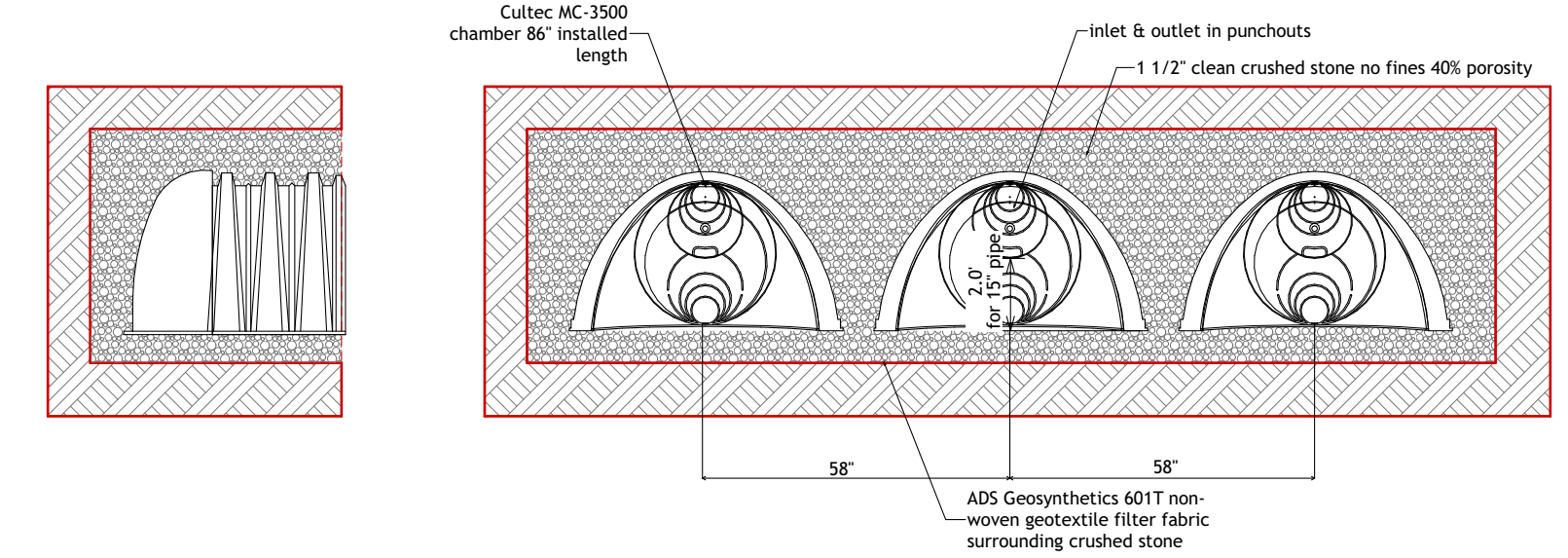
WATER SERVICE CONNECTION



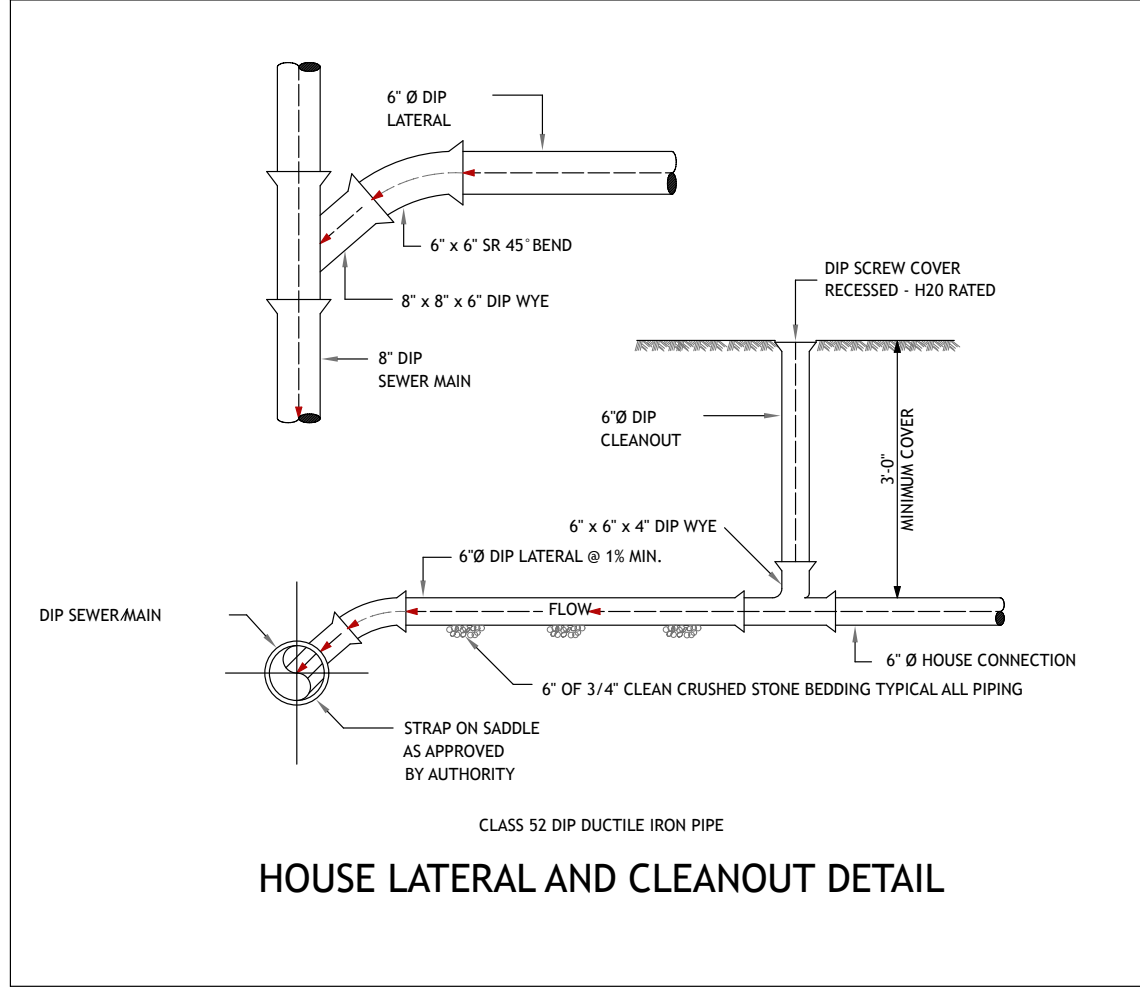
FRONT PATIO & PLANTER SECTION AA
SCALE: N.T.S.



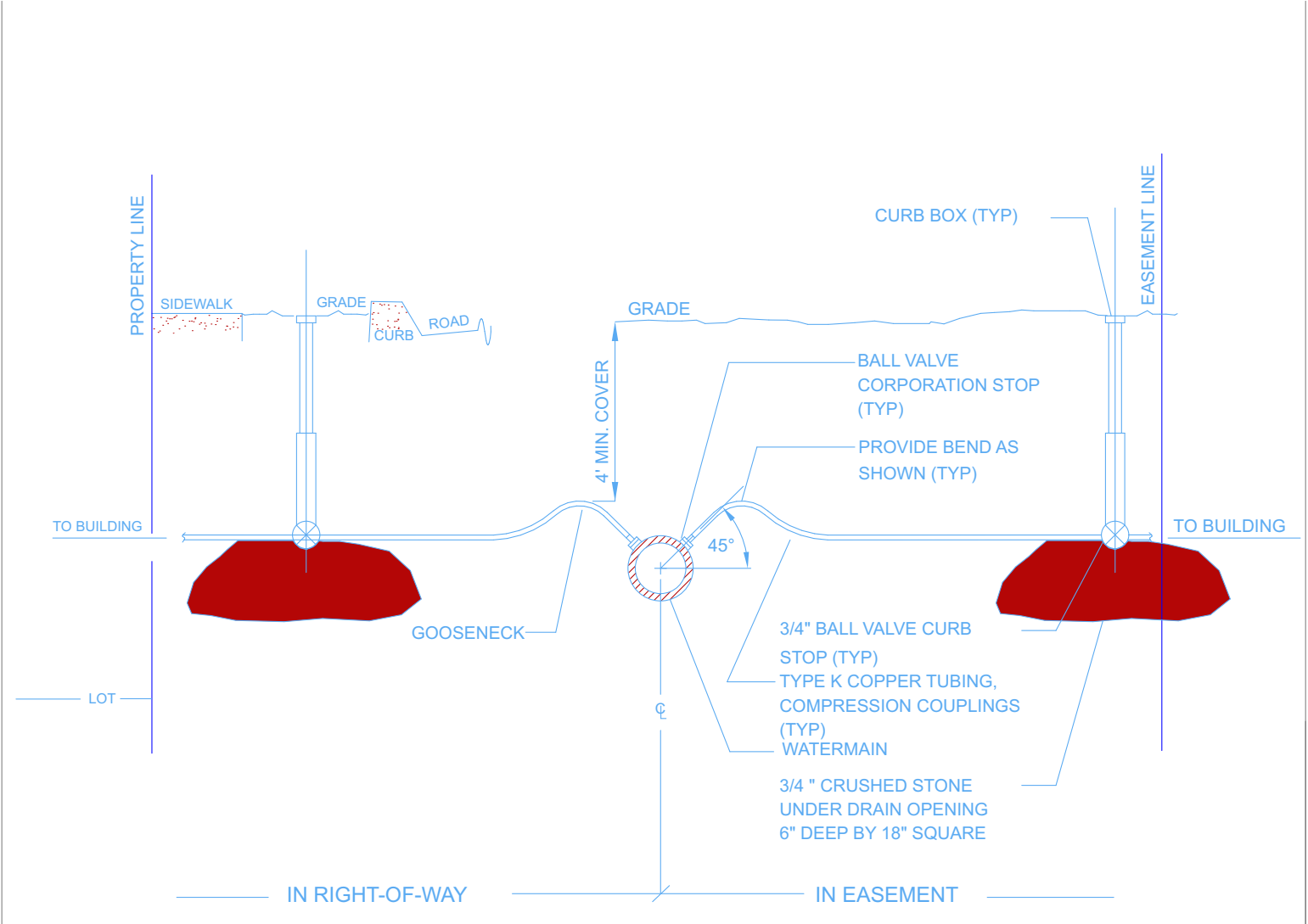
CULTEC DETENTION CHAMBER PLAN VIEW 111
SCALE: N.T.S. SP2



CULTEC DETENTION CHAMBER SECTION 111
SCALE: N.T.S. SP2



HOUSE LATERAL AND CLEANOUT DETAIL



- NOTES:
- CONNECTION TO BE MADE TO THE SATISFACTION OF THE ENGINEER OR MUNICIPAL PLUMBING INSPECTOR
 - RESIDENTIAL SERVICE CONNECTIONS TYPICALLY 3/4\"/>

TYPICAL WATER SERVICE CONNECTION DETAIL
NOT TO SCALE

REVISIONS:

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Details

DRAWING NO. SP-4