



AGENDA

Ardsey Village Board of Trustees

8:00 PM - Monday, April 1, 2024

507 Ashford Avenue & Zoom Platform

Join Zoom Meeting

<https://us02web.zoom.us/j/89842068840?pwd=czdQVUR4Sk1kcTNZb0hpMWh4Yk5DUT09>

Meeting ID: 898 4206 8840

Passcode: 005851

Dial by your location

• +1 929 205 6099 US (New York)

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BROADCAST LIVE ON VERIZON 32/35 & CABLEVISION 75

CALL IN NUMBER (914) 693-6202

Page

**1. 6:30 P.M. BOARD OF TRUSTEES-
BUDGET WORK SESSION**

2. ADJOURNMENT

**3. CALL TO ORDER-PLEDGE OF
ALLEGIANCE-ROLL CALL**

4. CONTINUATION OF PUBLIC HEARING

In the matter of the Proposed Development Located
at 657 Saw Mill River Road in the Village of Ardsley

4.a

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5. APPROVAL OF MINUTES:

5.a March 18, 2024 Regular Meeting Minutes

119 - 139

6. DEPARTMENT REPORTS

6.1. LEGAL

6.1.a Interim Village Attorney, David E. Venditti

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6.2. MANAGER

6.2.a Village Manager, Joseph L. Cerretani

6.3. ABSTRACT REPORT

6.3.a April 1, 2024 Abstract Report

6.4. MAYOR'S ANNOUNCEMENTS

6.5. COMMITTEE & BOARD REPORTS

7. CORRESPONDENCE

8. VISITORS

9. OLD BUSINESS:

10. NEW BUSINESS:

144 - 146

10.a Consider a Resolution Authorizing the Mayor to Sign Letter to the Public Service Commission Regarding Clean Energy Communities Program

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10.b Consider a Resolution to Schedule a Public Hearing to Set Sewer Rents in the Village Pursuant to Section 165 of the Village Code

148 - 149

10.c Consider a Resolution to Schedule a Public Hearing on the Tentative 2024-2025 Budget

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10.d Consider a Resolution to Suspend Parking Meter Fees in the Village of Ardsley Through January 1, 2025

151 - 153

10.e Consider a Resolution Authorizing the Village Manager to Execute Agreement for Art Display at Village Hall

154 - 182

10.f Consider a Resolution to Approve Work Change Order Numbers 11-14 for New DPW Garage

183 - 187

10.g Consider a Resolution Declaring Lead Agency and Scheduling a Public Hearing for River Rock Music School, 721 Saw Mill River Road

188 - 189

10.h Consider a Resolution Approving and Accepting the Settlement of the Matter of the Application of 1007-11 Yonkers Avenue LLC. -Section 6.50, Block 18, Lot 2- 468-472

Ashford Avenue

- 10.i Consider a Resolution Approving and Accepting the Settlement of the Matter of the Application of R.S.A Corporation - Section 6.50, Block 18, Lots 10 & 12 - 690 & 692 Saw Mill River Road

11. CORRESPONDENCE

12. VISITORS

13. CALL FOR EXECUTIVE SESSION

14. ADJOURNMENT OF MEETING

15. UPCOMING EVENTS

- April 2nd Presidential Primary Election 6:00 am
- April 2nd Ardsley Pollinator Pathway Meeting 8:30 pm via Zoom
- April 3rd Senior Citizen Grief Counselor Presentation/Breakfast 12:00 pm
- April 6th Ardsley Little League's Opening Day Parade 9:00 am
- April 8th Eclipse Party at the Ardsley Public Library 2:30 pm
- April 10th Eid al Fitr
- April 10th Ardsley Pollinator Pathway Native Plant Plug Pre-Order
- April 10th Senior Citizens Honest Art Pottery Making 12:00 pm
- April 10th Keystone Species of Native Plants-Webinar 7:30 pm
- April 14th Books & Banter Book Club - Razorblade Tears 7:00 pm
- April 15th The Friends of the Ardsley Public Library-Trivia Night 8:00 pm
- April 17th Senior Citizens Szechuan City Luncheon 12:00 pm
- April 22nd Happy Passover!
- April 24th Senior Citizens Arthur Avenue Trip
- April 26th Friday Night Field Night 6:00 pm
- April 28th Coffee with a Cop! 10:00 am
- April 28th Ardsley Story Quilt 3:00 pm
- May 5th Parks & Recreation-5k RACE 10:00 am
- May 10th Food Truck Festival 5:00 pm

16. UPCOMING BOARD MEETINGS

- April 2nd Board of Architectural Review Meeting @ 8:00 pm
- April 2nd Ardsley Pollinator Pathway Meeting @ 8:30 pm
- April 8th Planning Board Meeting 8:00 pm
- April 14th MDI Committee Meeting 8:00 pm
- April 16th Board of Architectural Review Meeting 8:00 pm
- April 24th Zoning Board Meeting 12:00 pm
- April 25th Library Board Meeting 7:30 pm

17. UPCOMING MEETINGS

- April 4th Board of Trustees Budget Work Session 6:00 pm
- April 8th Board of Trustees Budget Work Session 6:00 pm (if needed)
- April 15th Board of Trustees Regular Meeting 8:00 pm
- April 29th Board of Trustees Work Session 7:30 pm

**Full Environmental Assessment Form
Part 1 - Project and Setting**

Instructions for Completing Part 1

Part 1 is to be completed by the applicant or project sponsor. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification.

Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information; indicate whether missing information does not exist, or is not reasonably available to the sponsor; and, when possible, generally describe work or studies which would be necessary to update or fully develop that information.

Applicants/sponsors must complete all items in Sections A & B. In Sections C, D & E, most items contain an initial question that must be answered either "Yes" or "No". If the answer to the initial question is "Yes", complete the sub-questions that follow. If the answer to the initial question is "No", proceed to the next question. Section F allows the project sponsor to identify and attach any additional information. Section G requires the name and signature of the applicant or project sponsor to verify that the information contained in Part 1 is accurate and complete.

A. Project and Applicant/Sponsor Information.

Name of Action or Project: Gas Station / Convenience Market		
Project Location (describe, and attach a general location map): 657 Saw Mill River Road, Ardsley, NY 10502		
Brief Description of Proposed Action (include purpose or need): Site work on this project includes demolition of the existing gas station convenience store building, installation of six new fueling locations under a 68'x30' canopy, and subsurface gas tanks and installation of stormwater mitigation systems that will be further detailed in this report. A 2,210 square foot convenience store building will be installed with a total of 12 proposed parking spaces (not including the six pump spaces) with associated driveway, sidewalk, landscape and stormwater modifications.		
Name of Applicant/Sponsor: Thornwood Four Corners LLC. (c/o Bryan Orser)		Telephone: (914) 769-0366
		E-Mail: bryan@americantransit.us
Address: 25 St. Charles Street		
City/PO: Thornwood	State: New York	Zip Code: 10594
Project Contact (if not same as sponsor; give name and title/role): Bryan Orser, General Manager		Telephone: 914-769-0366
		E-Mail: bryan@americantransit.us
Address: 25 St. Charles Street		
City/PO: Thornwood	State: New York	Zip Code: 10594
Property Owner (if not same as sponsor): The Thorpe-McCartney Family Limited Partnership		Telephone:
		E-Mail:
Address: 19 Grandview Lane		
City/PO: Thornwood	State: New York	Zip Code: 10594

B. Government Approvals

B. Government Approvals, Funding, or Sponsorship. ("Funding" includes grants, loans, tax relief, and any other forms of financial assistance.)		
Government Entity	If Yes: Identify Agency and Approval(s) Required	Application Date (Actual or projected)
a. City Council, Town Board, <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No or Village Board of Trustees	Village Board of Trustees Site Plan Approval	
b. City, Town or Village <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Planning Board or Commission		
c. City, Town or <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Village Zoning Board of Appeals		
d. Other local agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Village of Ardsley Building Department: Building Permit	
e. County agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	WCDOH: Petroleum Bulk Storage	
f. Regional agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
g. State agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	NYS DOT: Highway Work Permit NYS DEC: Site Remediation	
h. Federal agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
i. Coastal Resources.		
i. Is the project site within a Coastal Area, or the waterfront area of a Designated Inland Waterway?		<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
ii. Is the project site located in a community with an approved Local Waterfront Revitalization Program?		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
iii. Is the project site within a Coastal Erosion Hazard Area?		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

C. Planning and Zoning

C.1. Planning and zoning actions.	
Will administrative or legislative adoption, or amendment of a plan, local law, ordinance, rule or regulation be the only approval(s) which must be granted to enable the proposed action to proceed?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
<ul style="list-style-type: none"> If Yes, complete sections C, F and G. If No, proceed to question C.2 and complete all remaining sections and questions in Part 1 	
C.2. Adopted land use plans.	
a. Do any municipally- adopted (city, town, village or county) comprehensive land use plan(s) include the site where the proposed action would be located?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
If Yes, does the comprehensive plan include specific recommendations for the site where the proposed action would be located?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
b. Is the site of the proposed action within any local or regional special planning district (for example: Greenway; Brownfield Opportunity Area (BOA); designated State or Federal heritage area; watershed management plan; or other?)	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
If Yes, identify the plan(s): The Village of Ardsley is a Greenway Compact Community.	

c. Is the proposed action located wholly or partially within an area listed in an adopted municipal open space plan, or an adopted municipal farmland protection plan?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes, identify the plan(s):	

C.3. Zoning

a. Is the site of the proposed action located in a municipality with an adopted zoning law or ordinance. Yes No
 If Yes, what is the zoning classification(s) including any applicable overlay district?
 B-1 "General Business District" _____

b. Is the use permitted or allowed by a special or conditional use permit? Yes No

c. Is a zoning change requested as part of the proposed action? Yes No
 If Yes,
 i. What is the proposed new zoning for the site? _____

C.4. Existing community services.

a. In what school district is the project site located? Ardsley School District

b. What police or other public protection forces serve the project site?
Ardsley Police Department

c. Which fire protection and emergency medical services serve the project site?
Ardsley Fire and EMS

d. What parks serve the project site?
VE Macy Park & Juhring Nature Preserve

D. Project Details

D.1. Proposed and Potential Development

a. What is the general nature of the proposed action (e.g., residential, industrial, commercial, recreational; if mixed, include all components)? Commercial

b. a. Total acreage of the site of the proposed action? 0.53 acres
 b. Total acreage to be physically disturbed? 0.53 acres
 c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? 0.53 acres

c. Is the proposed action an expansion of an existing project or use? Yes No
 i. If Yes, what is the approximate percentage of the proposed expansion and identify the units (e.g., acres, miles, housing units, square feet)? % _____ Units: _____

d. Is the proposed action a subdivision, or does it include a subdivision? Yes No
 If Yes,
 i. Purpose or type of subdivision? (e.g., residential, industrial, commercial; if mixed, specify types) _____
 ii. Is a cluster/conservation layout proposed? Yes No
 iii. Number of lots proposed? _____
 iv. Minimum and maximum proposed lot sizes? Minimum _____ Maximum _____

e. Will the proposed action be constructed in multiple phases? Yes No
 i. If No, anticipated period of construction: 9 months
 ii. If Yes:
 • Total number of phases anticipated _____
 • Anticipated commencement date of phase 1 (including demolition) _____ month _____ year
 • Anticipated completion date of final phase _____ month _____ year
 • Generally describe connections or relationships among phases, including any contingencies where progress of one phase may determine timing or duration of future phases: _____

f. Does the project include new residential uses? Yes No
 If Yes, show numbers of units proposed.

	One Family	Two Family	Three Family	Multiple Family (four or more)
Initial Phase	_____	_____	_____	_____
At completion	_____	_____	_____	_____
of all phases	_____	_____	_____	_____

g. Does the proposed action include new non-residential construction (including expansions)? Yes No
 If Yes, *The second structure is a canopy over the fuel pumps. It is 68' long by 30' wide and 20' high (2,040 sf).

i. Total number of structures 2
 ii. Dimensions (in feet) of largest proposed structure: +/- 25 height; 34' width; and 65' length
 iii. Approximate extent of building space to be heated or cooled: 2,210 square feet

h. Does the proposed action include construction or other activities that will result in the impoundment of any liquids, such as creation of a water supply, reservoir, pond, lake, waste lagoon or other storage? Yes No
 If Yes,

i. Purpose of the impoundment: _____
 ii. If a water impoundment, the principal source of the water: Ground water Surface water streams Other specify: _____
 iii. If other than water, identify the type of impounded/contained liquids and their source. _____
 iv. Approximate size of the proposed impoundment. Volume: _____ million gallons; surface area: _____ acres
 v. Dimensions of the proposed dam or impounding structure: _____ height; _____ length
 vi. Construction method/materials for the proposed dam or impounding structure (e.g., earth fill, rock, wood, concrete): _____

D.2. Project Operations

a. Does the proposed action include any excavation, mining, or dredging, during construction, operations, or both? (Not including general site preparation, grading or installation of utilities or foundations where all excavated materials will remain onsite) Yes No
 If Yes:

i. What is the purpose of the excavation or dredging? _____
 ii. How much material (including rock, earth, sediments, etc.) is proposed to be removed from the site?
 • Volume (specify tons or cubic yards): _____
 • Over what duration of time? _____
 iii. Describe nature and characteristics of materials to be excavated or dredged, and plans to use, manage or dispose of them. _____
 iv. Will there be onsite dewatering or processing of excavated materials? Yes No
 If yes, describe. _____
 v. What is the total area to be dredged or excavated? _____ acres
 vi. What is the maximum area to be worked at any one time? _____ acres
 vii. What would be the maximum depth of excavation or dredging? _____ feet
 viii. Will the excavation require blasting? Yes No
 ix. Summarize site reclamation goals and plan: _____

b. Would the proposed action cause or result in alteration of, increase or decrease in size of, or encroachment into any existing wetland, waterbody, shoreline, beach or adjacent area? Yes No
 If Yes:
 i. Identify the wetland or waterbody which would be affected (by name, water index number, wetland map number or geographic description): Disturbance only to the Bramble Brook buffer area.

ii. Describe how the proposed action would affect that waterbody or wetland, e.g. excavation, fill, placement of structures, or alteration of channels, banks and shorelines. Indicate extent of activities, alterations and additions in square feet or acres:
 The proposed construction would result in a net decrease of 288 sf (from 2322 sf to 2034 sf) of impervious area within the wetland buffer. 4 evergreen trees, 5 deciduous trees and 86 shrubs/ground covers are proposed to be planted within the wetland buffer.

iii. Will the proposed action cause or result in disturbance to bottom sediments? Yes No

If Yes, describe: _____

iv. Will the proposed action cause or result in the destruction or removal of aquatic vegetation? Yes No

If Yes:

- acres of aquatic vegetation proposed to be removed: _____
- expected acreage of aquatic vegetation remaining after project completion: _____
- purpose of proposed removal (e.g. beach clearing, invasive species control, boat access): _____
- proposed method of plant removal: _____
- if chemical/herbicide treatment will be used, specify product(s): _____

v. Describe any proposed reclamation/mitigation following disturbance: _____

c. Will the proposed action use, or create a new demand for water? Yes No

If Yes:

i. Total anticipated water usage/demand per day: _____ 400 gallons/day

ii. Will the proposed action obtain water from an existing public water supply? Yes No

If Yes:

- Name of district or service area: United Water New Rochelle - West (Veolia)
- Does the existing public water supply have capacity to serve the proposal? Yes No
- Is the project site in the existing district? Yes No
- Is expansion of the district needed? Yes No
- Do existing lines serve the project site? Yes No

iii. Will line extension within an existing district be necessary to supply the project? Yes No

If Yes:

- Describe extensions or capacity expansions proposed to serve this project: _____
- Source(s) of supply for the district: _____

iv. Is a new water supply district or service area proposed to be formed to serve the project site? Yes No

If, Yes:

- Applicant/sponsor for new district: _____
- Date application submitted or anticipated: _____
- Proposed source(s) of supply for new district: _____

v. If a public water supply will not be used, describe plans to provide water supply for the project: _____

vi. If water supply will be from wells (public or private), what is the maximum pumping capacity: _____ gallons/minute.

d. Will the proposed action generate liquid wastes? Yes No

If Yes:

i. Total anticipated liquid waste generation per day: _____ 400 gallons/day

ii. Nature of liquid wastes to be generated (e.g., sanitary wastewater, industrial; if combination, describe all components and approximate volumes or proportions of each):
Sanitary Wastewater

iii. Will the proposed action use any existing public wastewater treatment facilities? Yes No

If Yes:

- Name of wastewater treatment plant to be used: Yonkers Treatment Plant
- Name of district: Saw Mill
- Does the existing wastewater treatment plant have capacity to serve the project? Yes No
- Is the project site in the existing district? Yes No
- Is expansion of the district needed? Yes No

<ul style="list-style-type: none"> • Do existing sewer lines serve the project site? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No • Will a line extension within an existing district be necessary to serve the project? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <p>If Yes:</p> <ul style="list-style-type: none"> • Describe extensions or capacity expansions proposed to serve this project: _____
<p>iv. Will a new wastewater (sewage) treatment district be formed to serve the project site? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If Yes:</p> <ul style="list-style-type: none"> • Applicant/sponsor for new district: _____ • Date application submitted or anticipated: _____ • What is the receiving water for the wastewater discharge? _____ <p>v. If public facilities will not be used, describe plans to provide wastewater treatment for the project, including specifying proposed receiving water (name and classification if surface discharge or describe subsurface disposal plans):</p> <p>_____</p> <p>_____</p> <p>vi. Describe any plans or designs to capture, recycle or reuse liquid waste: _____</p> <p>_____</p>
<p>e. Will the proposed action disturb more than one acre and create stormwater runoff, either from new point sources (i.e. ditches, pipes, swales, curbs, gutters or other concentrated flows of stormwater) or non-point source (i.e. sheet flow) during construction or post construction? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If Yes:</p> <p>i. How much impervious surface will the project create in relation to total size of project parcel?</p> <p style="padding-left: 20px;">_____ Square feet or _____ acres (impervious surface)</p> <p style="padding-left: 20px;">_____ Square feet or _____ acres (parcel size)</p> <p>ii. Describe types of new point sources. _____</p> <p>_____</p> <p>iii. Where will the stormwater runoff be directed (i.e. on-site stormwater management facility/structures, adjacent properties, groundwater, on-site surface water or off-site surface waters)?</p> <p>_____</p> <p>_____</p> <ul style="list-style-type: none"> • If to surface waters, identify receiving water bodies or wetlands: _____ _____ • Will stormwater runoff flow to adjacent properties? <input type="checkbox"/> Yes <input type="checkbox"/> No
<p>iv. Does the proposed plan minimize impervious surfaces, use pervious materials or collect and re-use stormwater? <input type="checkbox"/> Yes <input type="checkbox"/> No</p>
<p>f. Does the proposed action include, or will it use on-site, one or more sources of air emissions, including fuel combustion, waste incineration, or other processes or operations? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If Yes, identify:</p> <p>i. Mobile sources during project operations (e.g., heavy equipment, fleet or delivery vehicles)</p> <p>_____</p> <p>ii. Stationary sources during construction (e.g., power generation, structural heating, batch plant, crushers)</p> <p>_____</p> <p>iii. Stationary sources during operations (e.g., process emissions, large boilers, electric generation)</p> <p>_____</p>
<p>g. Will any air emission sources named in D.2.f (above), require a NY State Air Registration, Air Facility Permit, or Federal Clean Air Act Title IV or Title V Permit? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If Yes:</p> <p>i. Is the project site located in an Air quality non-attainment area? (Area routinely or periodically fails to meet ambient air quality standards for all or some parts of the year) <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>ii. In addition to emissions as calculated in the application, the project will generate:</p> <ul style="list-style-type: none"> • _____ Tons/year (short tons) of Carbon Dioxide (CO₂) • _____ Tons/year (short tons) of Nitrous Oxide (N₂O) • _____ Tons/year (short tons) of Perfluorocarbons (PFCs) • _____ Tons/year (short tons) of Sulfur Hexafluoride (SF₆) • _____ Tons/year (short tons) of Carbon Dioxide equivalent of Hydrofluorocarbons (HFCs) • _____ Tons/year (short tons) of Hazardous Air Pollutants (HAPs)

h. Will the proposed action generate or emit methane (including, but not limited to, sewage treatment plants, landfills, composting facilities)? Yes No

If Yes:

i. Estimate methane generation in tons/year (metric): _____

ii. Describe any methane capture, control or elimination measures included in project design (e.g., combustion to generate heat or electricity, flaring): _____

i. Will the proposed action result in the release of air pollutants from open-air operations or processes, such as quarry or landfill operations? Yes No

If Yes: Describe operations and nature of emissions (e.g., diesel exhaust, rock particulates/dust): _____

j. Will the proposed action result in a substantial increase in traffic above present levels or generate substantial new demand for transportation facilities or services? Yes No

If Yes:

i. When is the peak traffic expected (Check all that apply): Morning Evening Weekend
 Randomly between hours of _____ to _____.

ii. For commercial activities only, projected number of truck trips/day and type (e.g., semi trailers and dump trucks): _____

iii. Parking spaces: Existing _____ Proposed _____ Net increase/decrease _____

iv. Does the proposed action include any shared use parking? Yes No

v. If the proposed action includes any modification of existing roads, creation of new roads or change in existing access, describe: _____

vi. Are public/private transportation service(s) or facilities available within ½ mile of the proposed site? Yes No

vii. Will the proposed action include access to public transportation or accommodations for use of hybrid, electric or other alternative fueled vehicles? Yes No

viii. Will the proposed action include plans for pedestrian or bicycle accommodations for connections to existing pedestrian or bicycle routes? Yes No

k. Will the proposed action (for commercial or industrial projects only) generate new or additional demand for energy? Yes No

If Yes:

i. Estimate annual electricity demand during operation of the proposed action: _____
35,000 kWh (not including additional demand for 2-level 3 dual car charging ports)

ii. Anticipated sources/suppliers of electricity for the project (e.g., on-site combustion, on-site renewable, via grid/local utility, or other):
Consolidated Edison

iii. Will the proposed action require a new, or an upgrade, to an existing substation? Yes No

l. Hours of operation. Answer all items which apply.

<p>i. During Construction:</p> <ul style="list-style-type: none"> • Monday - Friday: _____ 7:00 am - 6:00 pm • Saturday: _____ 7:00 am - 6:00 pm • Sunday: _____ 7:00 am - 6:00 pm • Holidays: _____ N/A 	<p>ii. During Operations:</p> <ul style="list-style-type: none"> • Monday - Friday: _____ 24 hours • Saturday: _____ 24 hours • Sunday: _____ 24 hours • Holidays: _____ 24 hours
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m. Will the proposed action produce noise that will exceed existing ambient noise levels during construction, operation, or both? Yes No
 If yes:
 i. Provide details including sources, time of day and duration:

ii. Will the proposed action remove existing natural barriers that could act as a noise barrier or screen? Yes No
 Describe: _____

n. Will the proposed action have outdoor lighting? Yes No
 If yes:
 i. Describe source(s), location(s), height of fixture(s), direction/aim, and proximity to nearest occupied structures:
 Proposed lighting will include downward facing directed light fixtures as well as building mounted lighting.

ii. Will proposed action remove existing natural barriers that could act as a light barrier or screen? Yes No
 Describe: A portion of the existing vegetation in the rear of the property is proposed to be removed.

o. Does the proposed action have the potential to produce odors for more than one hour per day? Yes No
 If Yes, describe possible sources, potential frequency and duration of odor emissions, and proximity to nearest occupied structures:

p. Will the proposed action include any bulk storage of petroleum (combined capacity of over 1,100 gallons) or chemical products 185 gallons in above ground storage or any amount in underground storage? Yes No
 If Yes:
 i. Product(s) to be stored gasoline and diesel fuel for the proposed filling station that will be in compliance with any and all applicable regulations.
 ii. Volume(s) 60,000 per unit time month (e.g., month, year)
 iii. Generally, describe the proposed storage facilities:
 Underground fuel storage tanks

q. Will the proposed action (commercial, industrial and recreational projects only) use pesticides (i.e., herbicides, insecticides) during construction or operation? Yes No
 If Yes:
 i. Describe proposed treatment(s):
 Limited use to maintain landscaping in accordance with state and local requirements

ii. Will the proposed action use Integrated Pest Management Practices? Yes No

r. Will the proposed action (commercial or industrial projects only) involve or require the management or disposal of solid waste (excluding hazardous materials)? Yes No
 If Yes:
 i. Describe any solid waste(s) to be generated during construction or operation of the facility:
 • Construction: +/- 1.0 tons per construction debris (unit of time)
 • Operation : +/- 0.7 tons per month (unit of time)
 ii. Describe any proposals for on-site minimization, recycling or reuse of materials to avoid disposal as solid waste:
 • Construction: Debris recycling will be in accordance with all applicable local requirements

 • Operation: Recycling will be in accordance with county requirements

 iii. Proposed disposal methods/facilities for solid waste generated on-site:
 • Construction: Solid construction waste will be disposed of in accordance with all applicable local requirements

 • Operation: Solid waste and recyclable materials will be collected and disposed of by private carting company.

s. Does the proposed action include construction or modification of a solid waste management facility? Yes No
 If Yes:
 i. Type of management or handling of waste proposed for the site (e.g., recycling or transfer station, composting, landfill, or other disposal activities): _____
 ii. Anticipated rate of disposal/processing:
 • _____ Tons/month, if transfer or other non-combustion/thermal treatment, or
 • _____ Tons/hour, if combustion or thermal treatment
 iii. If landfill, anticipated site life: _____ years

t. Will the proposed action at the site involve the commercial generation, treatment, storage, or disposal of hazardous waste? Yes No
 If Yes:
 i. Name(s) of all hazardous wastes or constituents to be generated, handled or managed at facility: _____

 ii. Generally describe processes or activities involving hazardous wastes or constituents: _____

 iii. Specify amount to be handled or generated _____ tons/month
 iv. Describe any proposals for on-site minimization, recycling or reuse of hazardous constituents: _____

 v. Will any hazardous wastes be disposed at an existing offsite hazardous waste facility? Yes No
 If Yes: provide name and location of facility: _____

 If No: describe proposed management of any hazardous wastes which will not be sent to a hazardous waste facility:

E. Site and Setting of Proposed Action

E.1. Land uses on and surrounding the project site

a. Existing land uses.
 i. Check all uses that occur on, adjoining and near the project site.
 Urban Industrial Commercial Residential (suburban) Rural (non-farm)
 Forest Agriculture Aquatic Other (specify): _____
 ii. If mix of uses, generally describe:

b. Land uses and covertypes on the project site.

Land use or Coverture	Current Acreage	Acreage After Project Completion	Change (Acres +/-)
• Roads, buildings, and other paved or impervious surfaces	0.43	0.38	-0.05
• Forested			
• Meadows, grasslands or brushlands (non-agricultural, including abandoned agricultural)	0.08	0.13	+0.05
• Agricultural (includes active orchards, field, greenhouse etc.)			
• Surface water features (lakes, ponds, streams, rivers, etc.)	0.02	0.02	No Change
• Wetlands (freshwater or tidal)			
• Non-vegetated (bare rock, earth or fill)			
• Other Describe: _____			

c. Is the project site presently used by members of the community for public recreation? Yes No
i. If Yes: explain: _____

d. Are there any facilities serving children, the elderly, people with disabilities (e.g., schools, hospitals, licensed day care centers, or group homes) within 1500 feet of the project site? Yes No
 If Yes,
i. Identify Facilities:

e. Does the project site contain an existing dam? Yes No
 If Yes:
i. Dimensions of the dam and impoundment:
 • Dam height: _____ feet
 • Dam length: _____ feet
 • Surface area: _____ acres
 • Volume impounded: _____ gallons OR acre-feet
ii. Dam's existing hazard classification: _____
iii. Provide date and summarize results of last inspection:

f. Has the project site ever been used as a municipal, commercial or industrial solid waste management facility, or does the project site adjoin property which is now, or was at one time, used as a solid waste management facility? Yes No
 If Yes:
i. Has the facility been formally closed? Yes No
 • If yes, cite sources/documentation: _____
ii. Describe the location of the project site relative to the boundaries of the solid waste management facility:

iii. Describe any development constraints due to the prior solid waste activities: _____

g. Have hazardous wastes been generated, treated and/or disposed of at the site, or does the project site adjoin property which is now or was at one time used to commercially treat, store and/or dispose of hazardous waste? Yes No
 If Yes:
i. Describe waste(s) handled and waste management activities, including approximate time when activities occurred:

h. Potential contamination history. Has there been a reported spill at the proposed project site, or have any remedial actions been conducted at or adjacent to the proposed site? Yes No
 If Yes:
i. Is any portion of the site listed on the NYSDEC Spills Incidents database or Environmental Site Remediation database? Check all that apply: Yes No
 Yes – Spills Incidents database Provide DEC ID number(s): (Please see attached document titled _____
 Yes – Environmental Site Remediation database Provide DEC ID number(s): "Supplemental EAF Response", prepared
 Neither database by JMC, dated 11/21/2023 that summarizes spill information obtained from the NYSDEC website.
ii. If site has been subject of RCRA corrective activities, describe control measures: _____

iii. Is the project within 2000 feet of any site in the NYSDEC Environmental Site Remediation database? Yes No
 If yes, provide DEC ID number(s): _____
iv. If yes to (i), (ii) or (iii) above, describe current status of site(s):
 (Please see attached information from the NYSDEC database) _____

v. Is the project site subject to an institutional control limiting property uses? Yes No

- If yes, DEC site ID number: _____
- Describe the type of institutional control (e.g., deed restriction or easement): _____
- Describe any use limitations: _____
- Describe any engineering controls: _____
- Will the project affect the institutional or engineering controls in place? Yes No
- Explain: _____

E.2. Natural Resources On or Near Project Site

a. What is the average depth to bedrock on the project site? _____ >6 feet

b. Are there bedrock outcroppings on the project site? Yes No
 If Yes, what proportion of the site is comprised of bedrock outcroppings? _____ %

c. Predominant soil type(s) present on project site:

Uf - Urban Land	_____	100 %
_____	_____	_____ %
_____	_____	_____ %

d. What is the average depth to the water table on the project site? Average: _____ >5.5 feet

e. Drainage status of project site soils:

<input type="checkbox"/> Well Drained:	_____ % of site
<input type="checkbox"/> Moderately Well Drained:	_____ % of site
<input checked="" type="checkbox"/> Poorly Drained	100 % of site

f. Approximate proportion of proposed action site with slopes:

<input checked="" type="checkbox"/> 0-10%:	76.9 % of site
<input checked="" type="checkbox"/> 10-15%:	6.1 % of site
<input checked="" type="checkbox"/> 15% or greater:	17.0 % of site

g. Are there any unique geologic features on the project site? Yes No
 If Yes, describe: _____

h. Surface water features.

i. Does any portion of the project site contain wetlands or other waterbodies (including streams, rivers, ponds or lakes)? Yes No

ii. Do any wetlands or other waterbodies adjoin the project site? Yes No

If Yes to either i or ii, continue. If No, skip to E.2.i.

iii. Are any of the wetlands or waterbodies within or adjoining the project site regulated by any federal, state or local agency? Yes No

iv. For each identified regulated wetland and waterbody on the project site, provide the following information:

- Streams: Name Locally Regulated Watercourse (Bramble Brook) Classification Not Classified
- Lakes or Ponds: Name _____ Classification _____
- Wetlands: Name _____ Approximate Size _____
- Wetland No. (if regulated by DEC) _____

v. Are any of the above water bodies listed in the most recent compilation of NYS water quality-impaired waterbodies? Yes No

If yes, name of impaired water body/bodies and basis for listing as impaired: _____

i. Is the project site in a designated Floodway? Yes No

j. Is the project site in the 100-year Floodplain? Yes No

k. Is the project site in the 500-year Floodplain? Yes No

l. Is the project site located over, or immediately adjoining, a primary, principal or sole source aquifer? Yes No

If Yes:
 i. Name of aquifer: _____

m. Identify the predominant wildlife species that occupy or use the project site: _____
 Typical suburban wildlife species _____

n. Does the project site contain a designated significant natural community? Yes No
 If Yes:
 i. Describe the habitat/community (composition, function, and basis for designation): _____

 ii. Source(s) of description or evaluation: _____
 iii. Extent of community/habitat:
 • Currently: _____ acres
 • Following completion of project as proposed: _____ acres
 • Gain or loss (indicate + or -): _____ acres

o. Does project site contain any species of plant or animal that is listed by the federal government or NYS as endangered or threatened, or does it contain any areas identified as habitat for an endangered or threatened species? Yes No
 If Yes:
 i. Species and listing (endangered or threatened): _____

p. Does the project site contain any species of plant or animal that is listed by NYS as rare, or as a species of special concern? Yes No
 If Yes:
 i. Species and listing: _____

q. Is the project site or adjoining area currently used for hunting, trapping, fishing or shell fishing? Yes No
 If yes, give a brief description of how the proposed action may affect that use: _____

E.3. Designated Public Resources On or Near Project Site

a. Is the project site, or any portion of it, located in a designated agricultural district certified pursuant to Agriculture and Markets Law, Article 25-AA, Section 303 and 304? Yes No
 If Yes, provide county plus district name/number: _____

b. Are agricultural lands consisting of highly productive soils present? Yes No
 i. If Yes: acreage(s) on project site? _____
 ii. Source(s) of soil rating(s): _____

c. Does the project site contain all or part of, or is it substantially contiguous to, a registered National Natural Landmark? Yes No
 If Yes:
 i. Nature of the natural landmark: Biological Community Geological Feature
 ii. Provide brief description of landmark, including values behind designation and approximate size/extent: _____

d. Is the project site located in or does it adjoin a state listed Critical Environmental Area? Yes No
 If Yes:
 i. CEA name: _____
 ii. Basis for designation: _____
 iii. Designating agency and date: _____

<p>e. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If Yes:</p> <p>i. Nature of historic/archaeological resource: <input type="checkbox"/> Archaeological Site <input type="checkbox"/> Historic Building or District</p> <p>ii. Name: _____</p> <p>iii. Brief description of attributes on which listing is based: _____</p>
<p>f. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</p>
<p>g. Have additional archaeological or historic site(s) or resources been identified on the project site? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If Yes:</p> <p>i. Describe possible resource(s): _____</p> <p>ii. Basis for identification: _____</p>
<p>h. Is the project site within five miles of any officially designated and publicly accessible federal, state, or local scenic or aesthetic resource? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If Yes:</p> <p>i. Identify resource: <u>Taconic Parkway and Bronx River Parkway</u></p> <p>ii. Nature of, or basis for, designation (e.g., established highway overlook, state or local park, state historic trail or scenic byway, etc.): _____</p> <p>iii. Distance between project and resource: <u>2.0 and 2.5 miles.</u></p>
<p>i. Is the project site located within a designated river corridor under the Wild, Scenic and Recreational Rivers Program 6 NYCRR 666? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If Yes:</p> <p>i. Identify the name of the river and its designation: _____</p> <p>ii. Is the activity consistent with development restrictions contained in 6NYCRR Part 666? <input type="checkbox"/> Yes <input type="checkbox"/> No</p>

F. Additional Information

Attach any additional information which may be needed to clarify your project.

If you have identified any adverse impacts which could be associated with your proposal, please describe those impacts plus any measures which you propose to avoid or minimize them.

G. Verification

I certify that the information provided is true to the best of my knowledge.

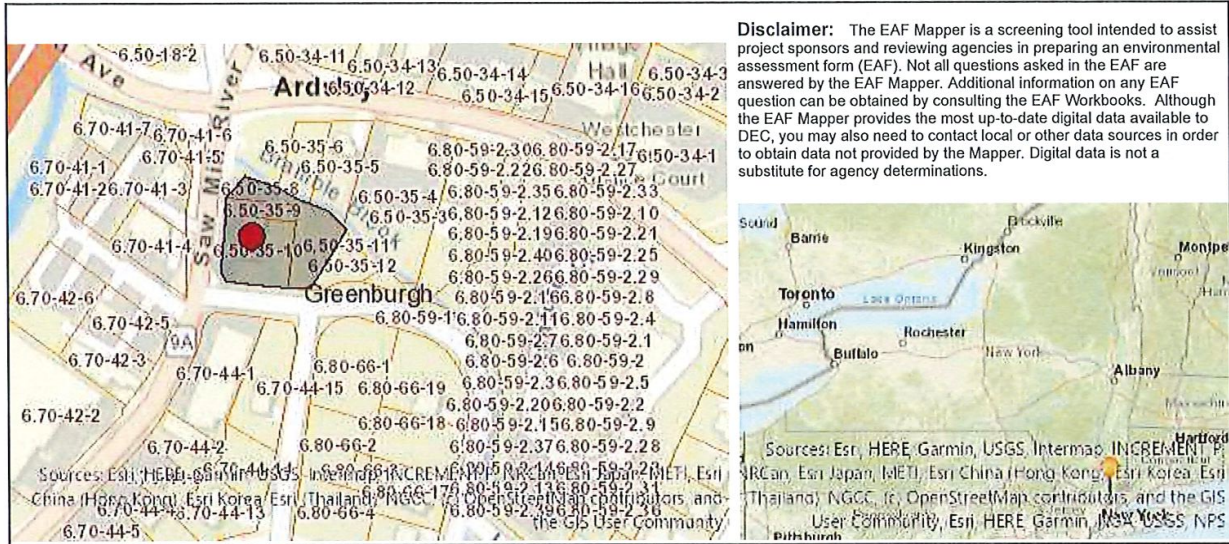
Applicant/Sponsor Name JMC, PLLC - Rick Behlander Date 01/30/2024

Signature  Title Engineer

PRINT FORM

EAF Mapper Summary Report

Monday, November 20, 2023 2:16 PM



Disclaimer: The EAF Mapper is a screening tool intended to assist project sponsors and reviewing agencies in preparing an environmental assessment form (EAF). Not all questions asked in the EAF are answered by the EAF Mapper. Additional information on any EAF question can be obtained by consulting the EAF Workbooks. Although the EAF Mapper provides the most up-to-date digital data available to DEC, you may also need to contact local or other data sources in order to obtain data not provided by the Mapper. Digital data is not a substitute for agency determinations.

B.i.i [Coastal or Waterfront Area]	No
B.i.ii [Local Waterfront Revitalization Area]	No
C.2.b. [Special Planning District]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h [DEC Spills or Remediation Site - Potential Contamination History]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.i [DEC Spills or Remediation Site - Listed]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.i [DEC Spills or Remediation Site - Environmental Site Remediation Database]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.iii [Within 2,000' of DEC Remediation Site]	No
E.2.g [Unique Geologic Features]	No
E.2.h.i [Surface Water Features]	No
E.2.h.ii [Surface Water Features]	Yes
E.2.h.iii [Surface Water Features]	Yes - Digital mapping information on local and federal wetlands and waterbodies is known to be incomplete. Refer to EAF Workbook.
E.2.h.v [Impaired Water Bodies]	No
E.2.i. [Floodway]	No
E.2.j. [100 Year Floodplain]	No
E.2.k. [500 Year Floodplain]	Yes
E.2.l. [Aquifers]	No
E.2.n. [Natural Communities]	No
E.2.o. [Endangered or Threatened Species]	No
E.2.p. [Rare Plants or Animals]	No

E.3.a. [Agricultural District]	No
E.3.c. [National Natural Landmark]	No
E.3.d [Critical Environmental Area]	No
E.3.e. [National or State Register of Historic Places or State Eligible Sites]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.3.f. [Archeological Sites]	Yes
E.3.i. [Designated River Corridor]	No



Site Planning
 Civil Engineering
 Landscape Architecture
 Land Surveying
 Transportation Engineering

Environmental Studies
 Entitlements
 Construction Services
 3D Visualization
 Laser Scanning

JMC Project 18175
 November 21, 2023

Supplemental EAF Response
Full EAF Question E.1.h

Potential Contamination History
NYSDEC Spill Incidents Database

657 Saw Mill River Road
Village of Ardsley, NY

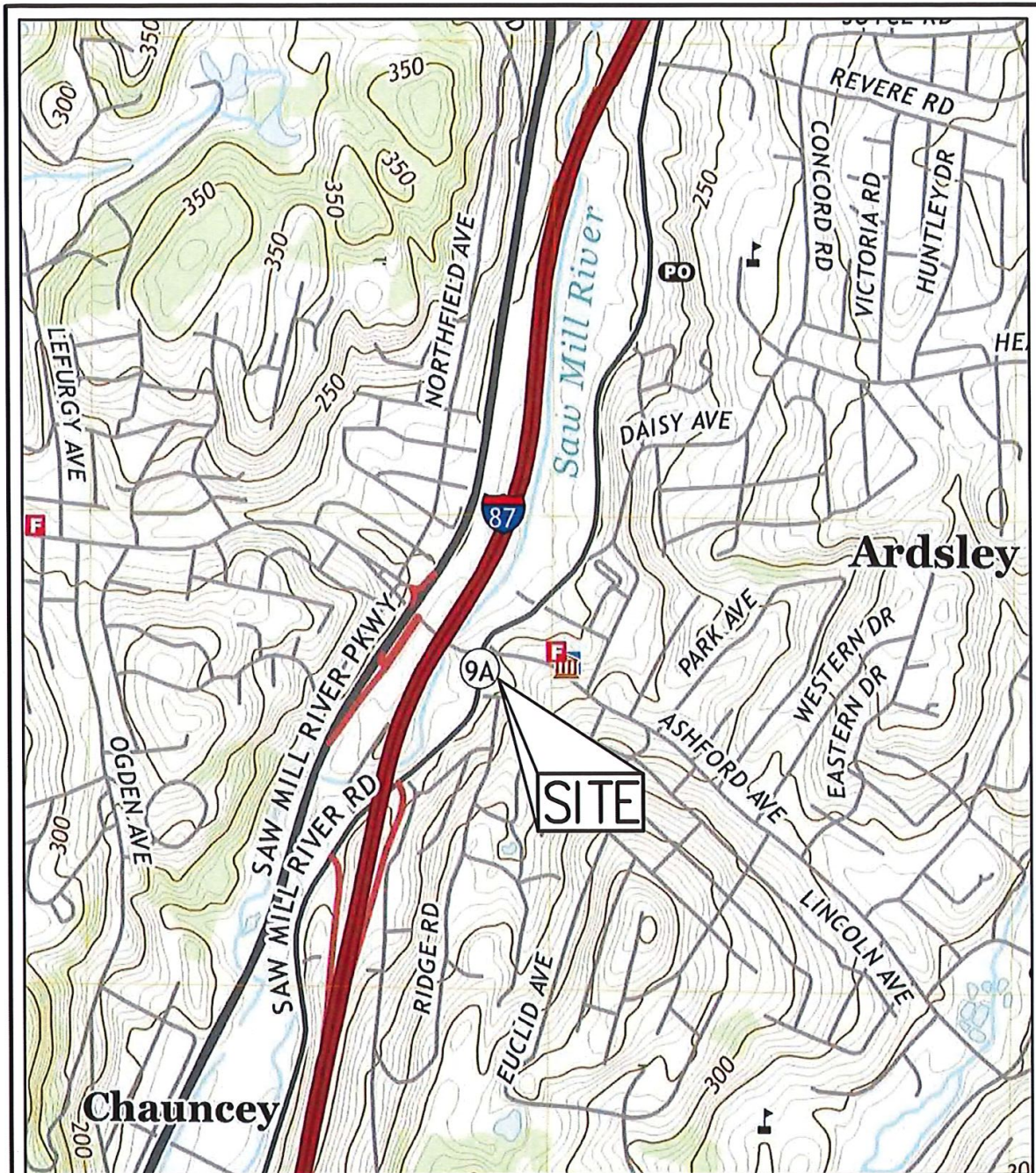
NYSDEC Spill Number	Spill Date	Spill Description	Date Spill Closed
9413625	01/12/1995	Gasoline	12/04/2005
9812270	01/02/1999	#2 Fuel Oil, 25 gallons	09/14/1999
0510803	12/15/2005	Waste Oil / Used Oil	12/19/2006
0513008	02/09/2006	Gasoline / Motor Oil	12/19/2006
0609536	11/18/2006	Gasoline, 2 gallons	01/10/2007
0702255	05/24/2007	Gasoline	12/18/2008
0702284	05/24/2007	Gasoline, 2 gallons	05/24/2007
0711929	02/12/2008	Waste Oil / Used Oil, 1 gallon; Motor Oil, 1 Gallon	02/26/2008
0712547	02/28/2008	Waste Oil / Used Oil, Motor Oil	02/29/2008
0712714	03/04/2008	#2 Fuel Oil / Gasoline / Waste Oil – Used Oil	03/13/2008
1005758	08/24/2010	Hydraulic Oil	03/07/2011
1510859	02/10/2016	Unknown Petroleum	03/31/2016
1600700	04/20/2016	Gasoline	Not Closed
1800467	04/13/2018	Motor Oil (Abandoned Drums)	Not Closed
1808870	11/20/2018	Unknown Petroleum	Not Closed

Source: [Spill Incidents Database Search \(ny.gov\)](#)

p:\2018\18175\admin\seq\leaf\supplemental eaf response 2023-11-21.docx

JMC Planning Engineering Landscape Architecture & Land Surveying, PLLC | JMC Site Development Consultants, LLC

120 BEDFORD ROAD | ARMONK, NY 10504 | 914.273.5225 | MAIL@JMCPLLC.COM | JMCPLLC.COM



GAS STATION
 657 SAW MILL RIVER ROAD VILLAGE OF ARDSLEY, NEW YORK

SITE LOCATION MAP

DATE: 08/20/2020 JMC PROJECT: 18175

FIGURE: SLM-1 SCALE: 1" = 1,000'



120 BEDFORD RD
 ARMONK
 NY 10504
 (914) 273-5225
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 JMCPLLC.COM



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18175-COVER.dwg; SLM.tab; COVER.scr

Full Environmental Assessment Form
Part 2 - Identification of Potential Project Impacts

Agency Use Only [If applicable]

Project:
 Date:

Part 2 is to be completed by the lead agency. Part 2 is designed to help the lead agency inventory all potential resources that could be affected by a proposed project or action. We recognize that the lead agency's reviewer(s) will not necessarily be environmental professionals. So, the questions are designed to walk a reviewer through the assessment process by providing a series of questions that can be answered using the information found in Part 1. To further assist the lead agency in completing Part 2, the form identifies the most relevant questions in Part 1 that will provide the information needed to answer the Part 2 question. When Part 2 is completed, the lead agency will have identified the relevant environmental areas that may be impacted by the proposed activity.

If the lead agency is a state agency and the action is in any Coastal Area, complete the Coastal Assessment Form before proceeding with this assessment.

Tips for completing Part 2:

- Review all of the information provided in Part 1.
- Review any application, maps, supporting materials and the Full EAF Workbook.
- Answer each of the 18 questions in Part 2.
- If you answer "Yes" to a numbered question, please complete all the questions that follow in that section.
- If you answer "No" to a numbered question, move on to the next numbered question.
- Check appropriate column to indicate the anticipated size of the impact.
- Proposed projects that would exceed a numeric threshold contained in a question should result in the reviewing agency checking the box "Moderate to large impact may occur."
- The reviewer is not expected to be an expert in environmental analysis.
- If you are not sure or undecided about the size of an impact, it may help to review the sub-questions for the general question and consult the workbook.
- When answering a question consider all components of the proposed activity, that is, the "whole action".
- Consider the possibility for long-term and cumulative impacts as well as direct impacts.
- Answer the question in a reasonable manner considering the scale and context of the project.

1. Impact on Land Proposed action may involve construction on, or physical alteration of, the land surface of the proposed site. (See Part 1. D.1) <i>If "Yes", answer questions a - j. If "No", move on to Section 2.</i>	<input type="checkbox"/> NO	<input type="checkbox"/> YES	
	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may involve construction on land where depth to water table is less than 3 feet.	E2d	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may involve construction on slopes of 15% or greater.	E2f	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may involve construction on land where bedrock is exposed, or generally within 5 feet of existing ground surface.	E2a	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may involve the excavation and removal of more than 1,000 tons of natural material.	D2a	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may involve construction that continues for more than one year or in multiple phases.	D1e	<input type="checkbox"/>	<input type="checkbox"/>
f. The proposed action may result in increased erosion, whether from physical disturbance or vegetation removal (including from treatment by herbicides).	D2e, D2q	<input type="checkbox"/>	<input type="checkbox"/>
g. The proposed action is, or may be, located within a Coastal Erosion hazard area.	B1i	<input type="checkbox"/>	<input type="checkbox"/>
h. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>

2. Impact on Geological Features
 The proposed action may result in the modification or destruction of, or inhibit access to, any unique or unusual land forms on the site (e.g., cliffs, dunes, minerals, fossils, caves). (See Part 1. E.2.g) NO YES
If "Yes", answer questions a - c. If "No", move on to Section 3.

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. Identify the specific land form(s) attached: _____	E2g	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may affect or is adjacent to a geological feature listed as a registered National Natural Landmark. Specific feature: _____	E3c	<input type="checkbox"/>	<input type="checkbox"/>
c. Other impacts: _____		<input type="checkbox"/>	<input type="checkbox"/>

3. Impacts on Surface Water
 The proposed action may affect one or more wetlands or other surface water bodies (e.g., streams, rivers, ponds or lakes). (See Part 1. D.2, E.2.h) NO YES
If "Yes", answer questions a - l. If "No", move on to Section 4.

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may create a new water body.	D2b, D1h	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may result in an increase or decrease of over 10% or more than a 10 acre increase or decrease in the surface area of any body of water.	D2b	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may involve dredging more than 100 cubic yards of material from a wetland or water body.	D2a	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may involve construction within or adjoining a freshwater or tidal wetland, or in the bed or banks of any other water body.	E2h	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may create turbidity in a waterbody, either from upland erosion, runoff or by disturbing bottom sediments.	D2a, D2h	<input type="checkbox"/>	<input type="checkbox"/>
f. The proposed action may include construction of one or more intake(s) for withdrawal of water from surface water.	D2c	<input type="checkbox"/>	<input type="checkbox"/>
g. The proposed action may include construction of one or more outfall(s) for discharge of wastewater to surface water(s).	D2d	<input type="checkbox"/>	<input type="checkbox"/>
h. The proposed action may cause soil erosion, or otherwise create a source of stormwater discharge that may lead to siltation or other degradation of receiving water bodies.	D2e	<input type="checkbox"/>	<input type="checkbox"/>
i. The proposed action may affect the water quality of any water bodies within or downstream of the site of the proposed action.	E2h	<input type="checkbox"/>	<input type="checkbox"/>
j. The proposed action may involve the application of pesticides or herbicides in or around any water body.	D2q, E2h	<input type="checkbox"/>	<input type="checkbox"/>
k. The proposed action may require the construction of new, or expansion of existing, wastewater treatment facilities.	D1a, D2d	<input type="checkbox"/>	<input type="checkbox"/>

I. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>
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4. Impact on groundwater The proposed action may result in new or additional use of ground water, or may have the potential to introduce contaminants to ground water or an aquifer. <input type="checkbox"/> NO <input type="checkbox"/> YES (See Part 1. D.2.a, D.2.c, D.2.d, D.2.p, D.2.q, D.2.t) <i>If "Yes", answer questions a - h. If "No", move on to Section 5.</i>			
	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may require new water supply wells, or create additional demand on supplies from existing water supply wells.	D2c	<input type="checkbox"/>	<input type="checkbox"/>
b. Water supply demand from the proposed action may exceed safe and sustainable withdrawal capacity rate of the local supply or aquifer. Cite Source: _____	D2c	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may allow or result in residential uses in areas without water and sewer services.	D1a, D2c	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may include or require wastewater discharged to groundwater.	D2d, E2l	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may result in the construction of water supply wells in locations where groundwater is, or is suspected to be, contaminated.	D2c, E1f, E1g, E1h	<input type="checkbox"/>	<input type="checkbox"/>
f. The proposed action may require the bulk storage of petroleum or chemical products over ground water or an aquifer.	D2p, E2l	<input type="checkbox"/>	<input type="checkbox"/>
g. The proposed action may involve the commercial application of pesticides within 100 feet of potable drinking water or irrigation sources.	E2h, D2q, E2l, D2c	<input type="checkbox"/>	<input type="checkbox"/>
h. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>

5. Impact on Flooding The proposed action may result in development on lands subject to flooding. <input type="checkbox"/> NO <input type="checkbox"/> YES (See Part 1. E.2) <i>If "Yes", answer questions a - g. If "No", move on to Section 6.</i>			
	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may result in development in a designated floodway.	E2i	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may result in development within a 100 year floodplain.	E2j	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may result in development within a 500 year floodplain.	E2k	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may result in, or require, modification of existing drainage patterns.	D2b, D2e	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may change flood water flows that contribute to flooding.	D2b, E2i, E2j, E2k	<input type="checkbox"/>	<input type="checkbox"/>
f. If there is a dam located on the site of the proposed action, is the dam in need of repair, or upgrade?	E1e	<input type="checkbox"/>	<input type="checkbox"/>

g. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>
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6. Impacts on Air			
The proposed action may include a state regulated air emission source. (See Part 1. D.2.f., D.2.h, D.2.g)		<input type="checkbox"/> NO	<input type="checkbox"/> YES
<i>If "Yes", answer questions a - f. If "No", move on to Section 7.</i>			
	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. If the proposed action requires federal or state air emission permits, the action may also emit one or more greenhouse gases at or above the following levels:			
i. More than 1000 tons/year of carbon dioxide (CO ₂)	D2g	<input type="checkbox"/>	<input type="checkbox"/>
ii. More than 3.5 tons/year of nitrous oxide (N ₂ O)	D2g	<input type="checkbox"/>	<input type="checkbox"/>
iii. More than 1000 tons/year of carbon equivalent of perfluorocarbons (PFCs)	D2g	<input type="checkbox"/>	<input type="checkbox"/>
iv. More than .045 tons/year of sulfur hexafluoride (SF ₆)	D2g	<input type="checkbox"/>	<input type="checkbox"/>
v. More than 1000 tons/year of carbon dioxide equivalent of hydrochloroflourocarbons (HFCs) emissions	D2g	<input type="checkbox"/>	<input type="checkbox"/>
vi. 43 tons/year or more of methane	D2h	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may generate 10 tons/year or more of any one designated hazardous air pollutant, or 25 tons/year or more of any combination of such hazardous air pollutants.	D2g	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may require a state air registration, or may produce an emissions rate of total contaminants that may exceed 5 lbs. per hour, or may include a heat source capable of producing more than 10 million BTU's per hour.	D2f, D2g	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may reach 50% of any of the thresholds in "a" through "c", above.	D2g	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may result in the combustion or thermal treatment of more than 1 ton of refuse per hour.	D2s	<input type="checkbox"/>	<input type="checkbox"/>
f. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>

7. Impact on Plants and Animals			
The proposed action may result in a loss of flora or fauna. (See Part 1. E.2. m.-q.)		<input type="checkbox"/> NO	<input type="checkbox"/> YES
<i>If "Yes", answer questions a - j. If "No", move on to Section 8.</i>			
	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may cause reduction in population or loss of individuals of any threatened or endangered species, as listed by New York State or the Federal government, that use the site, or are found on, over, or near the site.	E2o	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may result in a reduction or degradation of any habitat used by any rare, threatened or endangered species, as listed by New York State or the federal government.	E2o	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may cause reduction in population, or loss of individuals, of any species of special concern or conservation need, as listed by New York State or the Federal government, that use the site, or are found on, over, or near the site.	E2p	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may result in a reduction or degradation of any habitat used by any species of special concern and conservation need, as listed by New York State or the Federal government.	E2p	<input type="checkbox"/>	<input type="checkbox"/>

e. The proposed action may diminish the capacity of a registered National Natural Landmark to support the biological community it was established to protect.	E3c	<input type="checkbox"/>	<input type="checkbox"/>
f. The proposed action may result in the removal of, or ground disturbance in, any portion of a designated significant natural community. Source: _____	E2n	<input type="checkbox"/>	<input type="checkbox"/>
g. The proposed action may substantially interfere with nesting/breeding, foraging, or over-wintering habitat for the predominant species that occupy or use the project site.	E2m	<input type="checkbox"/>	<input type="checkbox"/>
h. The proposed action requires the conversion of more than 10 acres of forest, grassland or any other regionally or locally important habitat. Habitat type & information source: _____ _____	E1b	<input type="checkbox"/>	<input type="checkbox"/>
i. Proposed action (commercial, industrial or recreational projects, only) involves use of herbicides or pesticides.	D2q	<input type="checkbox"/>	<input type="checkbox"/>
j. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>

8. Impact on Agricultural Resources			
The proposed action may impact agricultural resources. (See Part 1. E.3.a. and b.)		<input type="checkbox"/> NO	<input type="checkbox"/> YES
<i>If "Yes", answer questions a - h. If "No", move on to Section 9.</i>			
	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may impact soil classified within soil group 1 through 4 of the NYS Land Classification System.	E2c, E3b	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may sever, cross or otherwise limit access to agricultural land (includes cropland, hayfields, pasture, vineyard, orchard, etc).	E1a, E1b	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may result in the excavation or compaction of the soil profile of active agricultural land.	E3b	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may irreversibly convert agricultural land to non-agricultural uses, either more than 2.5 acres if located in an Agricultural District, or more than 10 acres if not within an Agricultural District.	E1b, E3a	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may disrupt or prevent installation of an agricultural land management system.	E1 a, E1b	<input type="checkbox"/>	<input type="checkbox"/>
f. The proposed action may result, directly or indirectly, in increased development potential or pressure on farmland.	C2c, C3, D2c, D2d	<input type="checkbox"/>	<input type="checkbox"/>
g. The proposed project is not consistent with the adopted municipal Farmland Protection Plan.	C2c	<input type="checkbox"/>	<input type="checkbox"/>
h. Other impacts: _____		<input type="checkbox"/>	<input type="checkbox"/>

9. Impact on Aesthetic Resources NO YES

The land use of the proposed action are obviously different from, or are in sharp contrast to, current land use patterns between the proposed project and a scenic or aesthetic resource. (Part 1. E.1.a, E.1.b, E.3.h.)
If "Yes", answer questions a - g. If "No", go to Section 10.

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. Proposed action may be visible from any officially designated federal, state, or local scenic or aesthetic resource.	E3h	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may result in the obstruction, elimination or significant screening of one or more officially designated scenic views.	E3h, C2b	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may be visible from publicly accessible vantage points: i. Seasonally (e.g., screened by summer foliage, but visible during other seasons) ii. Year round	E3h	<input type="checkbox"/> <input type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/>
d. The situation or activity in which viewers are engaged while viewing the proposed action is: i. Routine travel by residents, including travel to and from work ii. Recreational or tourism based activities	E3h E2q, E1c	<input type="checkbox"/> <input type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/>
e. The proposed action may cause a diminishment of the public enjoyment and appreciation of the designated aesthetic resource.	E3h	<input type="checkbox"/>	<input type="checkbox"/>
f. There are similar projects visible within the following distance of the proposed project: 0-1/2 mile 1/2 -3 mile 3-5 mile 5+ mile	D1a, E1a, D1f, D1g	<input type="checkbox"/>	<input type="checkbox"/>
g. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>

10. Impact on Historic and Archeological Resources NO YES

The proposed action may occur in or adjacent to a historic or archaeological resource. (Part 1. E.3.e, f. and g.)
If "Yes", answer questions a - e. If "No", go to Section 11.

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may occur wholly or partially within, or substantially contiguous to, any buildings, archaeological site or district which is listed on the National or State Register of Historical Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places.	E3e	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may occur wholly or partially within, or substantially contiguous to, an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory.	E3f	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may occur wholly or partially within, or substantially contiguous to, an archaeological site not included on the NY SHPO inventory. Source: _____	E3g	<input type="checkbox"/>	<input type="checkbox"/>

d. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>
If any of the above (a-d) are answered "Moderate to large impact may occur", continue with the following questions to help support conclusions in Part 3:			
i. The proposed action may result in the destruction or alteration of all or part of the site or property.	E3c, E3g, E3f	<input type="checkbox"/>	<input type="checkbox"/>
ii. The proposed action may result in the alteration of the property's setting or integrity.	E3e, E3f, E3g, E1a, E1b	<input type="checkbox"/>	<input type="checkbox"/>
iii. The proposed action may result in the introduction of visual elements which are out of character with the site or property, or may alter its setting.	E3e, E3f, E3g, E3h, C2, C3	<input type="checkbox"/>	<input type="checkbox"/>

11. Impact on Open Space and Recreation

The proposed action may result in a loss of recreational opportunities or a reduction of an open space resource as designated in any adopted municipal open space plan. NO YES

(See Part 1. C.2.c, E.1.c., E.2.q.)
If "Yes", answer questions a - e. If "No", go to Section 12.

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may result in an impairment of natural functions, or "ecosystem services", provided by an undeveloped area, including but not limited to stormwater storage, nutrient cycling, wildlife habitat.	D2e, E1b E2h, E2m, E2o, E2n, E2p	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may result in the loss of a current or future recreational resource.	C2a, E1c, C2c, E2q	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may eliminate open space or recreational resource in an area with few such resources.	C2a, C2c E1c, E2q	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may result in loss of an area now used informally by the community as an open space resource.	C2c, E1c	<input type="checkbox"/>	<input type="checkbox"/>
e. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>

12. Impact on Critical Environmental Areas

The proposed action may be located within or adjacent to a critical environmental area (CEA). (See Part 1. E.3.d) NO YES

If "Yes", answer questions a - c. If "No", go to Section 13.

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may result in a reduction in the quantity of the resource or characteristic which was the basis for designation of the CEA.	E3d	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may result in a reduction in the quality of the resource or characteristic which was the basis for designation of the CEA.	E3d	<input type="checkbox"/>	<input type="checkbox"/>
c. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>

13. Impact on Transportation

The proposed action may result in a change to existing transportation systems. NO YES
 (See Part 1. D.2.j)

If "Yes", answer questions a - f. If "No", go to Section 14.

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. Projected traffic increase may exceed capacity of existing road network.	D2j	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may result in the construction of paved parking area for 500 or more vehicles.	D2j	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action will degrade existing transit access.	D2j	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action will degrade existing pedestrian or bicycle accommodations.	D2j	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may alter the present pattern of movement of people or goods.	D2j	<input type="checkbox"/>	<input type="checkbox"/>
f. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>

14. Impact on Energy

The proposed action may cause an increase in the use of any form of energy. NO YES
 (See Part 1. D.2.k)

If "Yes", answer questions a - e. If "No", go to Section 15.

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action will require a new, or an upgrade to an existing, substation.	D2k	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action will require the creation or extension of an energy transmission or supply system to serve more than 50 single or two-family residences or to serve a commercial or industrial use.	D1f, D1q, D2k	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may utilize more than 2,500 MWhrs per year of electricity.	D2k	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may involve heating and/or cooling of more than 100,000 square feet of building area when completed.	D1g	<input type="checkbox"/>	<input type="checkbox"/>
e. Other Impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>

15. Impact on Noise, Odor, and Light

The proposed action may result in an increase in noise, odors, or outdoor lighting. NO YES
 (See Part 1. D.2.m., n., and o.)

If "Yes", answer questions a - f. If "No", go to Section 16.

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may produce sound above noise levels established by local regulation.	D2m	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may result in blasting within 1,500 feet of any residence, hospital, school, licensed day care center, or nursing home.	D2m, E1d	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may result in routine odors for more than one hour per day.	D2o	<input type="checkbox"/>	<input type="checkbox"/>

d. The proposed action may result in light shining onto adjoining properties.	D2n	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may result in lighting creating sky-glow brighter than existing area conditions.	D2n, E1a	<input type="checkbox"/>	<input type="checkbox"/>
f. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>

16. Impact on Human Health

The proposed action may have an impact on human health from exposure to new or existing sources of contaminants. (See Part 1.D.2.q., E.1. d. f. g. and h.) NO YES

If "Yes", answer questions a - m. If "No", go to Section 17.

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action is located within 1500 feet of a school, hospital, licensed day care center, group home, nursing home or retirement community.	E1d	<input type="checkbox"/>	<input type="checkbox"/>
b. The site of the proposed action is currently undergoing remediation.	E1g, E1h	<input type="checkbox"/>	<input type="checkbox"/>
c. There is a completed emergency spill remediation, or a completed environmental site remediation on, or adjacent to, the site of the proposed action.	E1g, E1h	<input type="checkbox"/>	<input type="checkbox"/>
d. The site of the action is subject to an institutional control limiting the use of the property (e.g., easement or deed restriction).	E1g, E1h	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may affect institutional control measures that were put in place to ensure that the site remains protective of the environment and human health.	E1g, E1h	<input type="checkbox"/>	<input type="checkbox"/>
f. The proposed action has adequate control measures in place to ensure that future generation, treatment and/or disposal of hazardous wastes will be protective of the environment and human health.	D2t	<input type="checkbox"/>	<input type="checkbox"/>
g. The proposed action involves construction or modification of a solid waste management facility.	D2q, E1f	<input type="checkbox"/>	<input type="checkbox"/>
h. The proposed action may result in the unearthing of solid or hazardous waste.	D2q, E1f	<input type="checkbox"/>	<input type="checkbox"/>
i. The proposed action may result in an increase in the rate of disposal, or processing, of solid waste.	D2r, D2s	<input type="checkbox"/>	<input type="checkbox"/>
j. The proposed action may result in excavation or other disturbance within 2000 feet of a site used for the disposal of solid or hazardous waste.	E1f, E1g E1h	<input type="checkbox"/>	<input type="checkbox"/>
k. The proposed action may result in the migration of explosive gases from a landfill site to adjacent off site structures.	E1f, E1g	<input type="checkbox"/>	<input type="checkbox"/>
l. The proposed action may result in the release of contaminated leachate from the project site.	D2s, E1f, D2r	<input type="checkbox"/>	<input type="checkbox"/>
m. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>

17. Consistency with Community Plans

The proposed action is not consistent with adopted land use plans.

(See Part 1. C.1, C.2. and C.3.)

If "Yes", answer questions a - h. If "No", go to Section 18.

NO

YES

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action's land use components may be different from, or in sharp contrast to, current surrounding land use pattern(s).	C2, C3, D1a E1a, E1b	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action will cause the permanent population of the city, town or village in which the project is located to grow by more than 5%.	C2	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action is inconsistent with local land use plans or zoning regulations.	C2, C2, C3	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action is inconsistent with any County plans, or other regional land use plans.	C2, C2	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may cause a change in the density of development that is not supported by existing infrastructure or is distant from existing infrastructure.	C3, D1c, D1d, D1f, D1d, E1b	<input type="checkbox"/>	<input type="checkbox"/>
f. The proposed action is located in an area characterized by low density development that will require new or expanded public infrastructure.	C4, D2c, D2d D2j	<input type="checkbox"/>	<input type="checkbox"/>
g. The proposed action may induce secondary development impacts (e.g., residential or commercial development not included in the proposed action)	C2a	<input type="checkbox"/>	<input type="checkbox"/>
h. Other: _____		<input type="checkbox"/>	<input type="checkbox"/>

18. Consistency with Community Character

The proposed project is inconsistent with the existing community character.

(See Part 1. C.2, C.3, D.2, E.3)

If "Yes", answer questions a - g. If "No", proceed to Part 3.

NO

YES

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may replace or eliminate existing facilities, structures, or areas of historic importance to the community.	E3e, E3f, E3g	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may create a demand for additional community services (e.g. schools, police and fire)	C4	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may displace affordable or low-income housing in an area where there is a shortage of such housing.	C2, C3, D1f D1g, E1a	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may interfere with the use or enjoyment of officially recognized or designated public resources.	C2, E3	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action is inconsistent with the predominant architectural scale and character.	C2, C3	<input type="checkbox"/>	<input type="checkbox"/>
f. Proposed action is inconsistent with the character of the existing natural landscape.	C2, C3 E1a, E1b E2g, E2h	<input type="checkbox"/>	<input type="checkbox"/>
g. Other impacts: _____		<input type="checkbox"/>	<input type="checkbox"/>

PRINT FULL FORM

	Agency Use Only [IfApplicable]
Project :	
Date :	

Full Environmental Assessment Form
Part 3 - Evaluation of the Magnitude and Importance of Project Impacts
and
Determination of Significance

Part 3 provides the reasons in support of the determination of significance. The lead agency must complete Part 3 for every question in Part 2 where the impact has been identified as potentially moderate to large or where there is a need to explain why a particular element of the proposed action will not, or may, result in a significant adverse environmental impact.

Based on the analysis in Part 3, the lead agency must decide whether to require an environmental impact statement to further assess the proposed action or whether available information is sufficient for the lead agency to conclude that the proposed action will not have a significant adverse environmental impact. By completing the certification on the next page, the lead agency can complete its determination of significance.

Reasons Supporting This Determination:

To complete this section:

- Identify the impact based on the Part 2 responses and describe its magnitude. Magnitude considers factors such as severity, size or extent of an impact.
- Assess the importance of the impact. Importance relates to the geographic scope, duration, probability of the impact occurring, number of people affected by the impact and any additional environmental consequences if the impact were to occur.
- The assessment should take into consideration any design element or project changes.
- Repeat this process for each Part 2 question where the impact has been identified as potentially moderate to large or where there is a need to explain why a particular element of the proposed action will not, or may, result in a significant adverse environmental impact.
- Provide the reason(s) why the impact may, or will not, result in a significant adverse environmental impact
- For Conditional Negative Declarations identify the specific condition(s) imposed that will modify the proposed action so that no significant adverse environmental impacts will result.
- Attach additional sheets, as needed.

Determination of Significance - Type 1 and Unlisted Actions

SEQR Status: Type 1 Unlisted

Identify portions of EAF completed for this Project: Part 1 Part 2 Part 3

Upon review of the information recorded on this EAF, as noted, plus this additional support information

and considering both the magnitude and importance of each identified potential impact, it is the conclusion of the _____ as lead agency that:

A. This project will result in no significant adverse impacts on the environment, and, therefore, an environmental impact statement need not be prepared. Accordingly, this negative declaration is issued.

B. Although this project could have a significant adverse impact on the environment, that impact will be avoided or substantially mitigated because of the following conditions which will be required by the lead agency:

There will, therefore, be no significant adverse impacts from the project as conditioned, and, therefore, this conditioned negative declaration is issued. A conditioned negative declaration may be used only for UNLISTED actions (see 6 NYCRR 617.7(d)).

C. This Project may result in one or more significant adverse impacts on the environment, and an environmental impact statement must be prepared to further assess the impact(s) and possible mitigation and to explore alternatives to avoid or reduce those impacts. Accordingly, this positive declaration is issued.

Name of Action:

Name of Lead Agency:

Name of Responsible Officer in Lead Agency:

Title of Responsible Officer:

Signature of Responsible Officer in Lead Agency:

Date:

Signature of Preparer (if different from Responsible Officer)

Date:

For Further Information:

Contact Person:

Address:

Telephone Number:

E-mail:

For Type 1 Actions and Conditioned Negative Declarations, a copy of this Notice is sent to:

Chief Executive Officer of the political subdivision in which the action will be principally located (e.g., Town / City / Village of)

Other involved agencies (if any)

Applicant (if any)

Environmental Notice Bulletin: <http://www.dec.ny.gov/enb/enb.html>

PRINT FULL FORM

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March 22, 2024

By E-mail and Hand Delivery

Honorable Nancy Kaboolian, Mayor
and Members of the Board of Trustees
Village of Ardsley
507 Ashford Avenue
Ardsley, New York 10502

**Re: Application for Site Plan Approval at 657 Saw Mill River Road
(a/k/a Parcel No. 6.50-35 Lots 8, 9, 10, and 11)**

Dear Mayor Kaboolian and Members of the Board of Trustees:

This firm represents Thornwood Four Corners LLC (the "Applicant") in connection with its proposed redevelopment of the property located at 657 Saw Mill River Road in Ardsley, designated on the tax assessment map of the Town of Greenburgh as Parcel No. 6.50-35 Lots 8, 9, 10, and 11 (the "Site"). The Applicant seeks site plan approval from the Board of Trustees to permit the construction on the Site of a modern gas station with convenience store, associated parking, and electric charging stations (the "Project").

As you know, this Project has been pending before various Village Boards for several years, and most recently before this Board since September 2023. Throughout this process, the Applicant has responded to all comments and concerns of the Board, the public, and the Town's staff and professional consultants. The record is clear that the Applicant has mitigated all potential impacts of the Project and is entitled to rebuild a gas station at the Site.

At the last meeting on March 4, 2024, the Board commented on the size and design of the proposed convenience store. In response, the Applicant reduced the building footprint, amended the site plan, reduced the total height of the building, and incorporated an exterior design that is a better fit for this location than the design previously shared with the Board. Accordingly, the Applicant encloses herein the requisite number of sets of drawings consisting of the following:

Drawing No.	Title	Prepared By	Dated or Last Revised
C-000	Cover Sheet	JMC Site Development Consultants ("JMC")	3/22/2024
C-010	Existing Conditions Map and Site Removals Plan	JMC	3/22/2024

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Hon. Nancy Kaboolian
and Members of the Board of Trustees

March 22, 2024
Page 2

C-100	Layout Plan	JMC	3/22/2024
C-110	Turning Analysis Plan	JMC	3/22/2024
C-120	Turning Analysis Plan	JMC	3/22/2024
C-200	Grading Plan	JMC	3/22/2024
C-300	Utilities Plan	JMC	3/22/2024
C-400	Erosion and Sediment Control Plan	JMC	3/22/2024
C-600	Lighting Plan	JMC	3/22/2024
C-900	Site Details	JMC	3/22/2024
C-901	Site Details	JMC	3/22/2024
C-902	Site Details	JMC	3/22/2024
C-903	Site Details	JMC	3/22/2024
C-904	Site Details	JMC	3/22/2024
C-905	Site Details	JMC	3/22/2024
C-906	DOT Site Details	JMC	3/22/2024
L-100	Landscaping Plan	JMC	3/22/2024
A1.0	Floor Plan	Gary Kliesch and Associate Architects, P.C.	3/21/2024
R1.0	Colored Elevation (Option 1)	Gary Kliesch and Associate Architects, P.C.	3/21/2024
R 1.0	Colored Elevation (Option 2)	Gary Kliesch and Associate Architects, P.C.	3/21/2024

Based on the foregoing, and all prior submissions to the Board, the Applicant respectfully requests that the Board close the Public Hearing, adopt a Negative Declaration of environmental significance under the State Environmental Quality Review Act, and approve the site plan application at its next meeting on April 1, 2024.

Thank you for your consideration. Please feel free to contact me if you have any questions or if you would like any additional information.

Very truly yours,



DIANA B. KOLEV

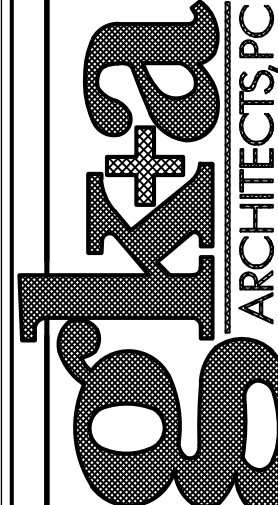
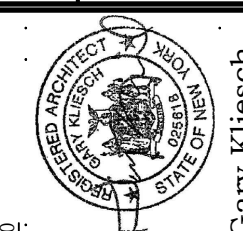
Enclosures

cc: Bryan Orser
Anthony P. Nester, RLA
Larry J. Tomasso, Building Inspector
David Smith, Village Planning Consultant

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0185041-001



1 PROPOSED FRONT ELEVATION
NOT TO SCALE

Rev. #	Date	Description
1	03/21/24	Revised Building Size & Elevations
Proto 2022-01		
36 Ames Avenue Rutherford, NJ 07070 Tel. 201.896.0333 Fax. 201.896.9469 E-Mail: EM@alkkanda.biz		
 Gary Kliesch and Associate Architects		
PROPOSED Fuelco.com 657 SAWMILL RIVER ROAD VILLAGE OF ARDSLEY, NY		
		
NJ: AL1332 NY: 024519 IL: AR52782 WI: 111903 VA: 401016373 NC: 11726	MEID: 21000028900 CT: AR100092427 DE: SE:0007745 SD: 14129 AR: AR01008 GA: GA 013883 VA: 401016373 NC: 11726	Gary Kliesch A.I.A. NUMBER 50423
Job#: 22-028	Scale: AS NOTED	Drawn By: N.C.
Date: 09/12/22	Checked By: A.M.	
Drawing Title: COLORED ELEVATION		
Sheet: R1.0		

SITE PLAN APPROVAL DRAWINGS

GAS STATION / CONVENIENCE MARKET

TAX MAP SECTION 650 | BLOCK 35 | LOT 10
WESTCHESTER COUNTY
657 SAW MILL RIVER ROAD
VILLAGE OF ARDSLEY, NEW YORK

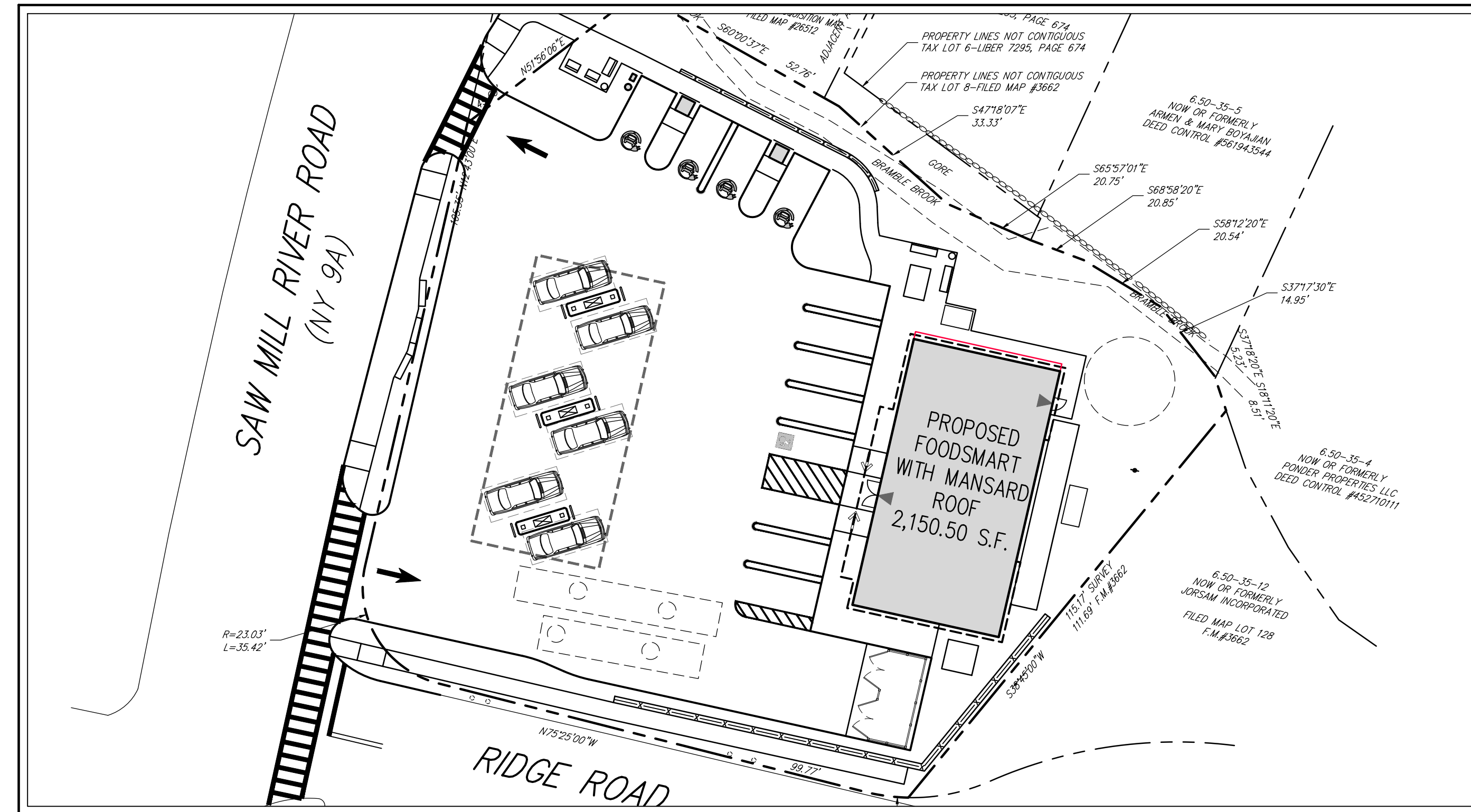
Applicant:
THORNWOOD FOUR CORNERS LLC.
 25 SAINT CHARLES STREET
 THORNWOOD, NY 10594

**Site Planner, Civil & Traffic Engineer
 and Landscape Architect:**
 **JMC**
120 BEDFORD ROAD
ARMONK, NY 10504
(914) 273-5225

Attorney:
 DELBELLO DONNELLAN WEINGARTEN WISE & WIEDERKEHR, LLP
 1 NORTH LEXINGTON AVENUE
 WHITE PLAINS, NEW YORK, 10601
 (914) 681-0200

Surveyor:
THOMAS C. MERRITTS LAND SURVEYORS, P.C.
 394 BEDFORD ROAD
 PLEASANTVILLE, NEW YORK, 10570
 (914) 769-8899

Architect:
gk+a Architects, P.C.
 36 AMES AVENUE,
 RUTHERFORD, NJ 07070
 (201) 896-9469



JMC Drawing List:

- C-000 COVER SHEET
- C-010 EXISTING CONDITIONS MAP AND SITE REMOVALS PLAN
- C-100 LAYOUT PLAN
- C-110 TURNING ANALYSIS PLAN
- C-120 TURNING ANALYSIS PLAN
- C-200 GRADING PLAN
- C-300 UTILITIES PLAN
- C-400 EROSION AND SEDIMENT CONTROL PLAN
- C-600 LIGHTING PLAN
- C-700 IMPERVIOUS COVERAGE COMPARISON PLAN
- C-900 SITE DETAILS
- C-901 SITE DETAILS
- C-902 SITE DETAILS
- C-903 SITE DETAILS
- C-904 SITE DETAILS
- C-905 SITE DETAILS
- C-906 SITE DETAILS
- L-100 LANDSCAPING PLAN

TABLE OF LAND USE

SECTION 6.50, BLOCK 35, LOT 10
 ZONE "B-1" - "GENERAL BUSINESS DISTRICT"
 PROPOSED USE: GAS STATION WITH CONVENIENCE MARKET
 FIRE DISTRICT: ARDSLEY FIRE DISTRICT
 SEWER DISTRICT: SAW MILL SEWER DISTRICT

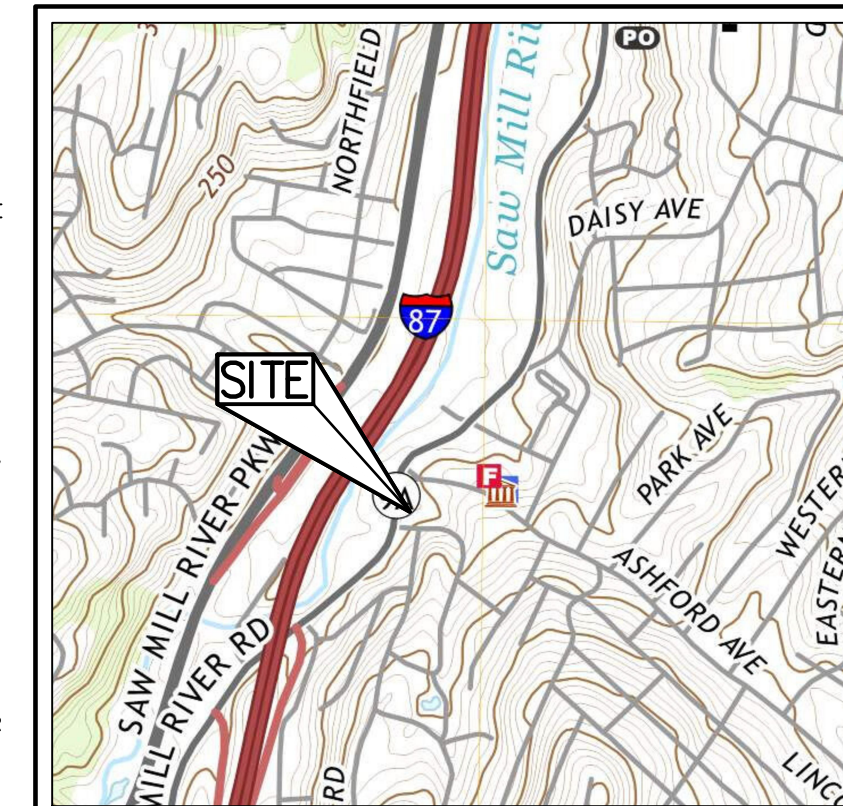
DESCRIPTION	REQUIRED	EXISTING	PROPOSED
LOT AREA (SQUARE FEET)	5,000 MIN.	22,732 ⁽⁵⁾	22,732 ⁽⁵⁾
LOT COVERAGE BY BUILDING (PERCENT)	65 MAX.	10.3	18.3
BUILDING HEIGHT (FEET / STORIES)	45/4 MAX.	-/-	21/1 ⁽⁴⁾
YARDS			
FRONT BUILDING SETBACK (FEET)	10 MIN.	±39.6	±22' ⁽⁷⁾
SIDE BUILDING SETBACK (FEET)	0 ⁽⁵⁾	±44.2	±25'
REAR BUILDING SETBACK (FEET)	0 ⁽⁵⁾	±30.7	±6'
PARKING			
TOTAL SPACES	12	-	12 (2)(6)
STANDARD SPACES	11	-	11
ACCESSIBLE SPACES	1	-	1

TABLE OF LAND USE NOTES:

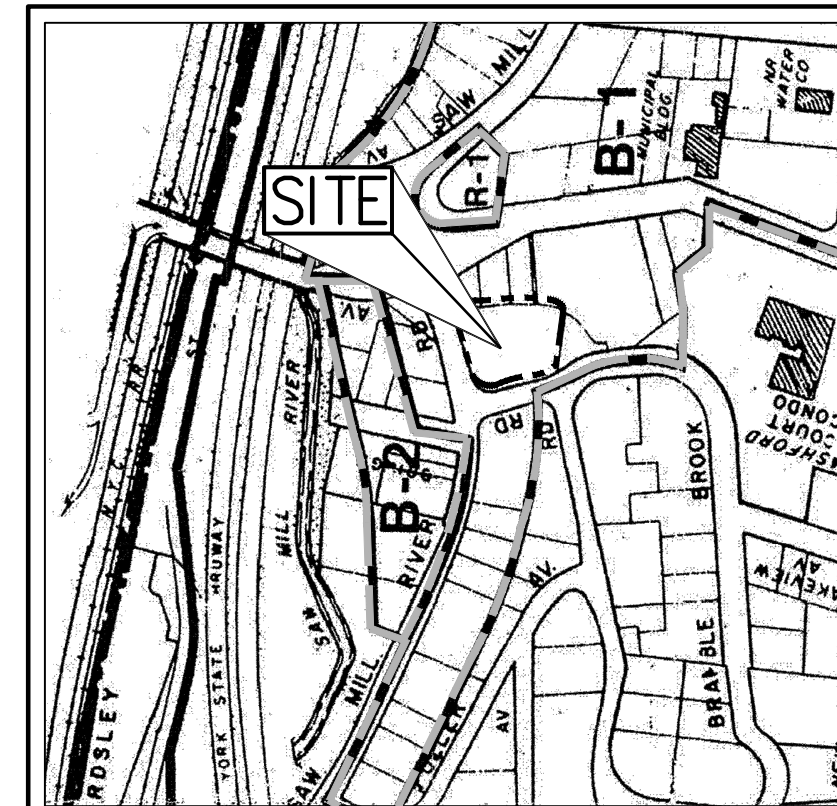
1. LOT COVERAGE AREA INCLUDES 2,150.50 S.F. PROPOSED CONVENIENCE STORE AND 2,018.50 S.F. PROPOSED GASOLINE PUMP CANOPY.
2. THE 6 FUELING SPACES LOCATED UNDER THE PROPOSED CANOPY ARE NOT INCLUDED AS PART OF THE 12 SPACES REQUIRED/ PROVIDED.
3. VILLAGE CODE SECTION 200-70 STATES THAT NO SIDE OR REAR YARD SHALL BE REQUIRED; HOWEVER, IF EITHER IS PROVIDED, ITS LEAST DIMENSION SHALL NOT BE LESS THAN SIX FEET.
4. THE MAXIMUM ROOF HEIGHT WAS TAKEN FROM FINISHED SIDEWALK TO TOP OF MANSARD PARAPET.
5. THE LOT AREA WAS CALCULATED BY THE SURVEYED LOT AREA OF 23,224 LESS 75% OF THE WATERCOURSE AREA, 656 S.F. = 22,732.
6. THE BREAKDOWN OF REQUIRED/ PROVIDED SPACES IS: 1 ACCESSIBLE SPACE, 4 EV CHARGING SPACES & 7 STANDARD SPACES.
7. MEASURED FROM RIDGE ROAD.

GENERAL CONSTRUCTION NOTES APPLY TO ALL WORK HEREIN:

1. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL CALL 811 "DIG SAFELY" (1-800-962-7962) TO HAVE UNDERGROUND UTILITIES LOCATED. EXPLORATORY EXCAVATIONS SHALL COMPLY WITH CODE 753 REQUIREMENTS. NO WORK SHALL COMMENCE UNTIL ALL THE OPERATORS HAVE NOTIFIED THE CONTRACTOR THAT THEIR UTILITIES HAVE BEEN LOCATED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PRESERVATION OF ALL PUBLIC AND PRIVATE UNDERGROUND AND SURFACE UTILITIES AND STRUCTURES AT OR ADJACENT TO THE SITE OF CONSTRUCTION, INsofar AS THEY MAY BE ENDANGERED BY THE CONTRACTOR'S OPERATIONS. THIS SHALL HOLD TRUE WHETHER OR NOT THEY ARE SHOWN ON THE CONTRACT DRAWINGS. IF THEY ARE SHOWN ON THE DRAWINGS, THEIR LOCATIONS ARE NOT GUARANTEED EVEN THOUGH THE INFORMATION WAS OBTAINED FROM THE BEST AVAILABLE SOURCES, AND IN ANY EVENT, OTHER UTILITIES ON THESE PLANS MAY BE ENCOUNTERED IN THE FIELD. THE CONTRACTOR SHALL, AT HIS OWN EXPENSE, IMMEDIATELY REPAIR OR REPLACE ANY STRUCTURES OR UTILITIES THAT HE DAMAGES, AND SHALL CONSTANTLY PROCEED WITH CAUTION TO PREVENT UNDESIRABLE INTERRUPTION OF UTILITY SERVICE.
2. CONTRACTOR SHALL HAND DIG TEST PITS TO VERIFY THE LOCATION OF ALL EXISTING UNDERGROUND UTILITIES PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR SHALL VERIFY EXISTING UTILITIES DEPTHS AND ADVISE OF ANY CONFLICTS WITH PROPOSED UTILITIES. IF CONFLICTS ARE PRESENT, THE OWNER'S FIELD REPRESENTATIVE, JMC, PLLC AND THE APPLICABLE MUNICIPALITY OR AGENCY SHALL BE NOTIFIED IN WRITING. THE EXISTING/PROPOSED UTILITIES RELOCATION SHALL BE DESIGNED BY JMC, PLLC.
3. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ANY AND ALL LOCAL PERMITS REQUIRED.
4. ALL WORK SHALL BE DONE IN STRICT COMPLIANCE WITH ALL APPLICABLE NATIONAL, STATE, AND LOCAL CODES, STANDARDS, ORDINANCES, RULES, AND REGULATIONS. ALL CONSTRUCTION WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL SAFETY CODES. APPLICABLE SAFETY CODES MEAN THE LATEST EDITION INCLUDING ANY AND ALL AMENDMENTS, REVISIONS, AND ADDITIONS THERETO, TO THE FEDERAL DEPARTMENT OF LABOR, OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION'S OCCUPATIONAL SAFETY AND HEALTH STANDARDS (OSHA); AND APPLICABLE SAFETY, HEALTH REGULATIONS AND BUILDING CODES FOR CONSTRUCTION IN THE STATE OF NEW YORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR GUARDING AND PROTECTING ALL OPEN EXCAVATIONS IN ACCORDANCE WITH THE PROVISION OF SECTION 107-05 (SAFETY AND HEALTH REQUIREMENTS) OF THE NYS DOT STANDARD SPECIFICATIONS. IF THE CONTRACTOR PERFORMS ANY HAZARDOUS CONSTRUCTION PRACTICES, ALL OPERATIONS IN THE AFFECTED AREA SHALL BE DISCONTINUED AND IMMEDIATE ACTION SHALL BE TAKEN TO CORRECT THE SITUATION TO THE SATISFACTION OF THE APPROVAL AUTHORITY HAVING JURISDICTION.
5. CONTRACTOR SHALL MAINTAIN ACCESS TO ALL PROPERTIES AFFECTED BY THE SCOPE OF WORK SHOWN HEREON AT ALL TIMES TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE. RAMPING CONSTRUCTION TO PROVIDE ACCESS MAY BE CONSTRUCTED WITH SUBBASE MATERIAL EXCEPT THAT TEMPORARY ASPHALT CONCRETE SHALL BE PLACED AS DIRECTED BY THE ENGINEER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING SAFE PEDESTRIAN ACCESS AT ALL TIMES.
6. CONTRACTOR SHALL MAINTAIN THE INTEGRITY OF EXISTING PAVEMENT TO REMAIN.



VICINITY MAP
 SCALE: 1" = 1,000'
 SOURCE: USGS / 2019



ZONING MAP
 SCALE: 1" = 1,000'
 SOURCE: VILLAGE OF ARDSLEY / 2013

AREA MAP
 SCALE: 1" = 20'

ZONING MAP LEGEND

- ▬▬▬▬▬▬ SITE PROPERTY LINE
- ▬▬▬▬▬▬ ZONING BOUNDARY
- R-1 RESIDENTIAL ZONE
- B-1 GENERAL BUSINESS ZONE

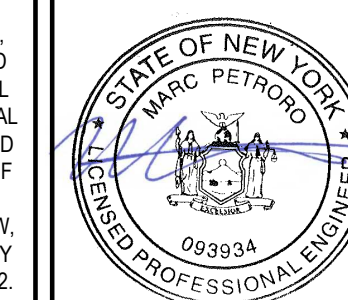
No.	Revision	Date	By
1.	PLANNING BOARD & BAR SUBMISSION	03/30/2021	MTP
2.	RESPOND TO VILLAGE COMMENTS	12/01/2021	SPG
3.	REVISED PER TOWN COMMENTS	01/13/2022	CDF
4.	REVISED PER BOARD OF TRUSTEES COMMENTS	12/01/2023	SMN
5.	REVISED PER BOARD OF TRUSTEES COMMENTS	01/31/2024	RB
6.	REVISED PER BOARD OF TRUSTEES COMMENTS	03/22/2024	RB

Previous Editions Obsolete

SUBSURFACE UTILITY LOCATIONS ARE BASED ON A COMPILED LIST OF FIELD EVIDENCE, AVAILABLE RECORD PLANS AND/OR UTILITY MARK-OUTS. THE LOCATION OR COMPLETENESS OF UNDERGROUND INFORMATION CANNOT BE GUARANTEED. VERIFY THE ACTUAL LOCATION OF ALL UTILITIES PRIOR TO EXCAVATION OR CONSTRUCTION.



ANY ALTERATION OF PLANS, SPECIFICATIONS, PLATS AND REPORTS BEARING THE SEAL OF A LICENSED PROFESSIONAL ENGINEER OR LICENSED LAND SURVEYOR IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW, EXCEPT AS PROVIDED FOR BY SECTION 7209, SUBSECTION 2.

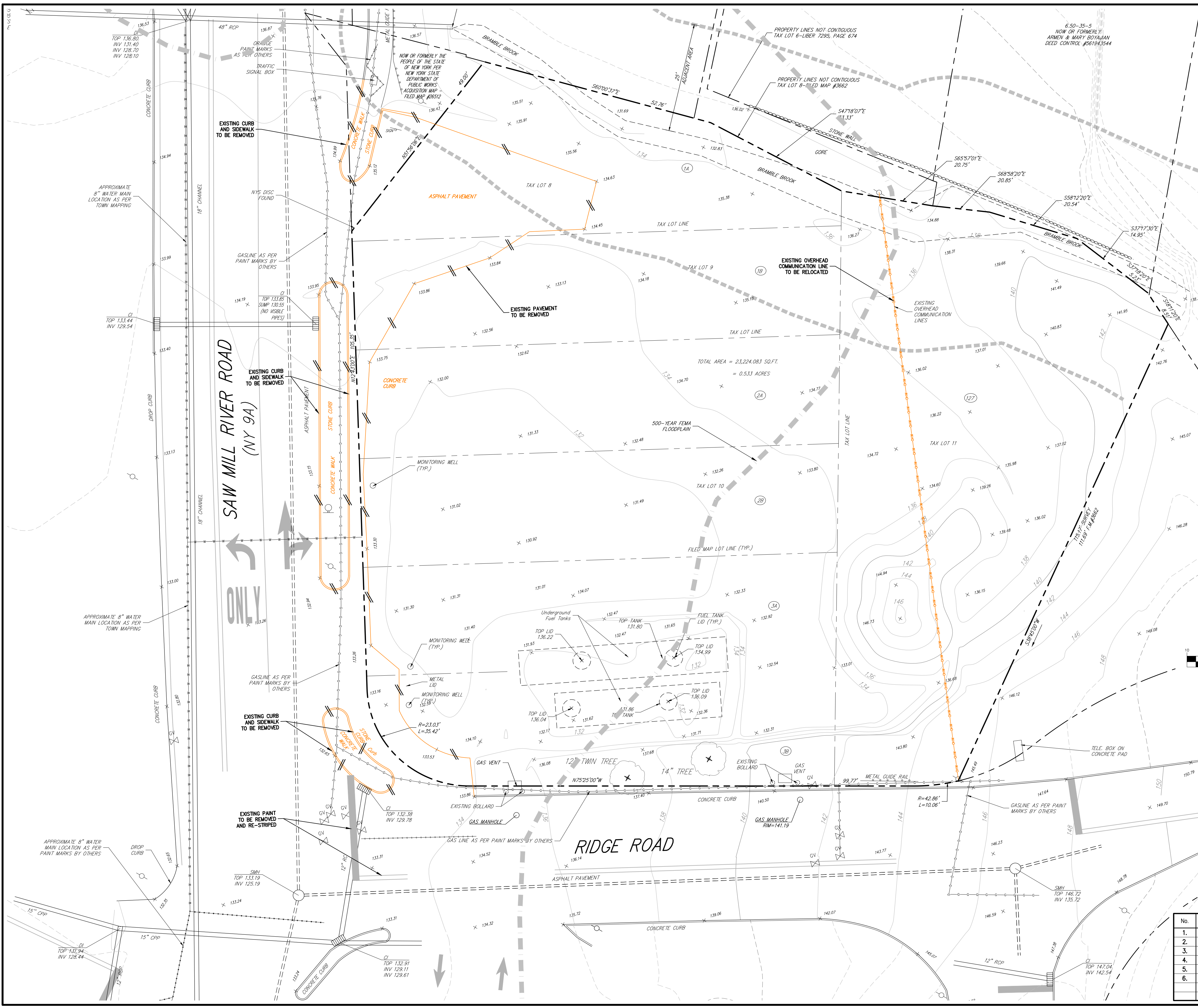


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 Scale: **NOT TO SCALE**
 Date: **06/26/2020**
 Project No: **18175**
 18175-SE C-000-COVER COVER.sxd
 Drawing No: **C-000**

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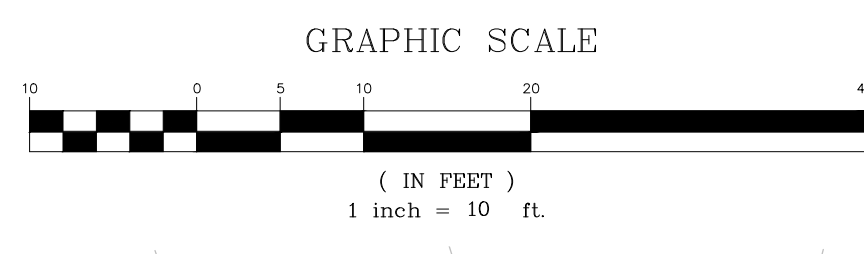
NOT FOR CONSTRUCTION



LEGEND

- EXISTING PROPERTY LINE
- - - ADJACENT PROPERTY LINE
- - - EXISTING EASEMENT LINE
- - - EXISTING WETLAND LINE
- - - EXISTING ADJACENT AREA
- EXISTING PAVEMENT EDGE
- EXISTING CURB LINE
- - - EXISTING CONTOUR
- - - EXISTING INDEX CONTOUR
- EXISTING STONE WALL
- EXISTING RETAINING WALL
- EXISTING GUIDE RAIL
- EXISTING FENCE
- EXISTING TREE AND DESIGNATION
- ↑ EXISTING DIRECTIONAL ARROWS
- EXISTING PAINT
- EXISTING PEDESTRIAN CROSSING
- EXISTING STORM DRAIN LINE AND SIZE
- EXISTING SANITARY LINE AND SIZE
- EXISTING WATER LINE
- EXISTING GAS LINE
- EXISTING OVERHEAD WIRES
- EXISTING DRAIN INLET
- EXISTING MANHOLE
- EXISTING BOLLARD
- EXISTING FIRE HYDRANT
- EXISTING GAS VALVE
- EXISTING WATER VALVE
- EXISTING UTILITY POLE
- EXISTING LIGHT POLE
- EXISTING SIGN
- EXISTING FEATURE TO BE REMOVED
- FEMA 500-YEAR FLOOD LINE

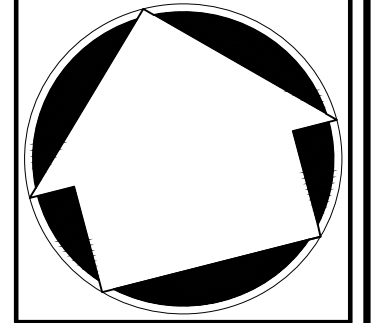
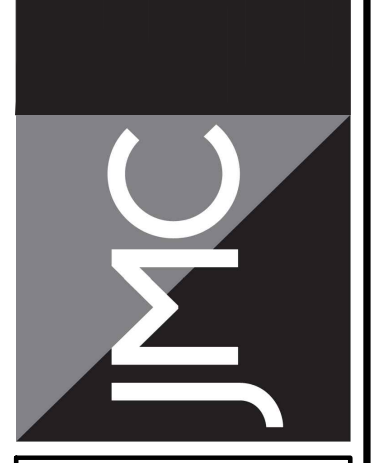
- NOTES**
- EXISTING CONDITIONS DEPICTED ON THIS PLAN HAVE BEEN TAKEN FROM A SURVEY TITLED, "TOPOGRAPHY OF PROPERTY," PREPARED BY THOMAS C. MERRITT LAND SURVEYORS, P.C., LAST REVISED 11/17/2020.
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APPLICANT/OWNER:
THORNWOOD FOUR CORNERS LLC.
25 SAINT CHARLES STREET
THORNWOOD, NY 10594

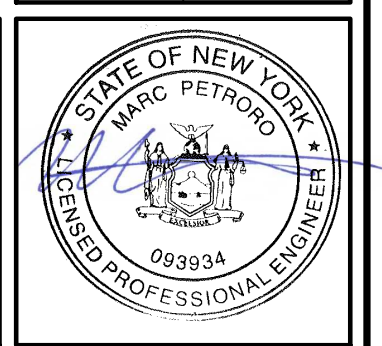
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EXISTING CONDITIONS MAP AND SITE REMOVALS PLAN

GAS STATION / CONVENIENCE MARKET
657 SAW MILL RIVER ROAD
VILLAGE OF ARDSLEY, NEW YORK



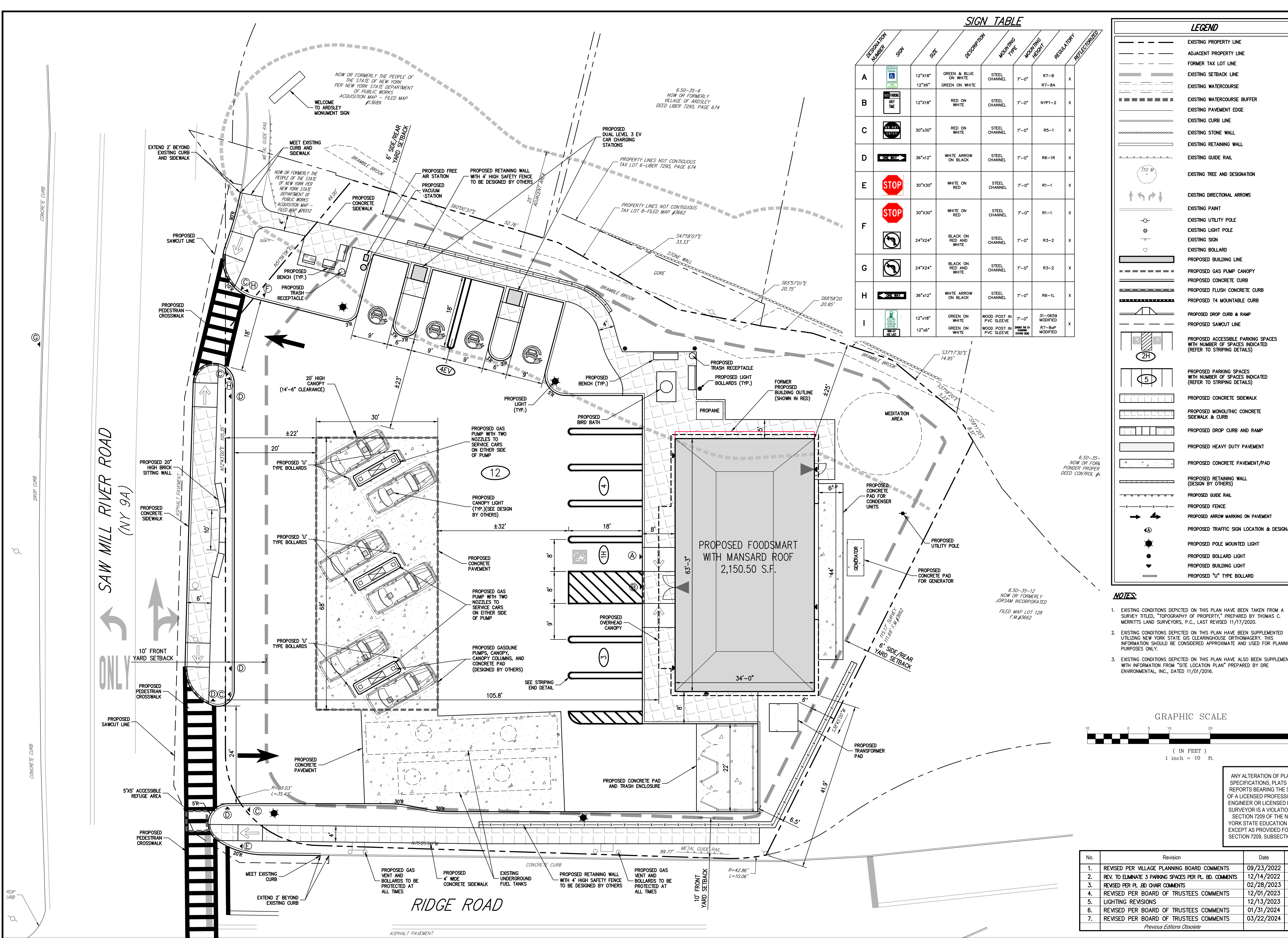
No.	Revision	Date	By
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6.	REVISED PER BOARD OF TRUSTEES COMMENTS	03/22/2024	RB

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Date: **05/26/2020**
Project No: **18175**
1819-SE C-010-EXIST EXIST.ac
Drawing No: **C-010**

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SIGN TABLE

DESCRIPTION NUMBER	SYMBOL	SIZE	DESCRIPTION	MAINTAINING TYPE	MAINTAINING RESIST	REGULATORY	RESELECTED
A	[Symbol]	12"x18"	GREEN & BLUE ON WHITE	STEEL CHANNEL	7'-0"	R7-B	X
B	[Symbol]	12"x18"	GREEN ON WHITE	STEEL CHANNEL	7'-0"	R7-BA	X
C	[Symbol]	30"x30"	RED ON WHITE	STEEL CHANNEL	7'-0"	R5-1	X
D	[Symbol]	36"x12"	WHITE ARROW ON BLACK	STEEL CHANNEL	7'-0"	R6-1R	X
E	[Symbol]	30"x30"	WHITE ON RED	STEEL CHANNEL	7'-0"	R1-1	X
F	[Symbol]	30"x30"	WHITE ON RED	STEEL CHANNEL	7'-0"	R1-1	X
G	[Symbol]	24"x24"	BLACK ON RED AND WHITE	STEEL CHANNEL	7'-0"	R3-2	X
H	[Symbol]	36"x12"	WHITE ARROW ON BLACK	STEEL CHANNEL	7'-0"	R6-1L	X
I	[Symbol]	12"x18"	GREEN ON WHITE	WOOD POST IN PVC SLEEVE	7'-0"	31-0559 MODIFIED	X
	[Symbol]	12"x6"	GREEN ON WHITE	WOOD POST IN PVC SLEEVE	7'-0"	R7-R&P MODIFIED	X

LEGEND

- EXISTING PROPERTY LINE
- ADJACENT PROPERTY LINE
- FORMER TAX LOT LINE
- EXISTING SETBACK LINE
- EXISTING WATERCOURSE
- EXISTING WATERCOURSE BUFFER
- EXISTING PAVEMENT EDGE
- EXISTING CURB LINE
- EXISTING STONE WALL
- EXISTING RETAINING WALL
- EXISTING GUIDE RAIL
- EXISTING TREE AND DESIGNATION
- EXISTING DIRECTIONAL ARROWS
- EXISTING PAINT
- EXISTING UTILITY POLE
- EXISTING LIGHT POLE
- EXISTING SIGN
- EXISTING BOLLARD
- PROPOSED BUILDING LINE
- PROPOSED GAS PUMP CANOPY
- PROPOSED CONCRETE CURB
- PROPOSED FLUSH CONCRETE CURB
- PROPOSED T4 MOUNTABLE CURB
- PROPOSED DROP CURB & RAMP
- PROPOSED SAWCUT LINE
- PROPOSED ACCESSIBLE PARKING SPACES WITH NUMBER OF SPACES INDICATED (REFER TO STRIPING DETAILS)
- PROPOSED PARKING SPACES WITH NUMBER OF SPACES INDICATED (REFER TO STRIPING DETAILS)
- PROPOSED CONCRETE SIDEWALK
- PROPOSED MONOLITHIC CONCRETE SIDEWALK & CURB
- PROPOSED DROP CURB AND RAMP
- PROPOSED HEAVY DUTY PAVEMENT
- PROPOSED CONCRETE PAVEMENT/PAD
- PROPOSED RETAINING WALL (DESIGN BY OTHERS)
- PROPOSED GUIDE RAIL
- PROPOSED FENCE
- PROPOSED ARROW MARKING ON PAVEMENT
- PROPOSED TRAFFIC SIGN LOCATION & DESIGNATION
- PROPOSED POLE MOUNTED LIGHT
- PROPOSED BOLLARD LIGHT
- PROPOSED BUILDING LIGHT
- PROPOSED "U" TYPE BOLLARD

NOTES:

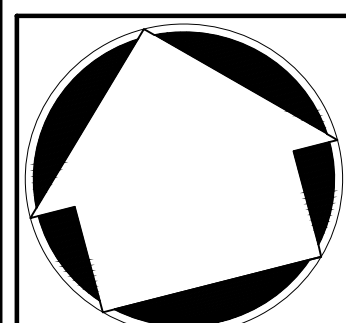
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GRAPHIC SCALE
 10 0 5 10 20 30 40
 (IN FEET)
 1 inch = 10 ft.

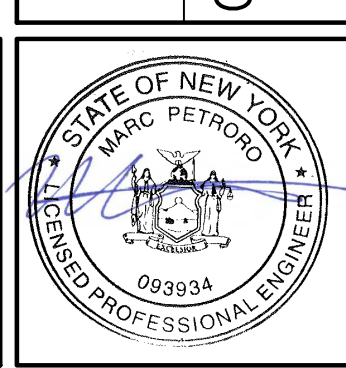
APPLICANT/OWNER:
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 THORNWOOD, NY 10594

ARCHITECT:
GK+A ARCHITECTS, PC
 36 AMES AVENUE
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LAYOUT PLAN
GAS STATION / CONVENIENCE MARKET
 657 SAW MILL RIVER ROAD
 VILLAGE OF ARDSLEY, NEW YORK

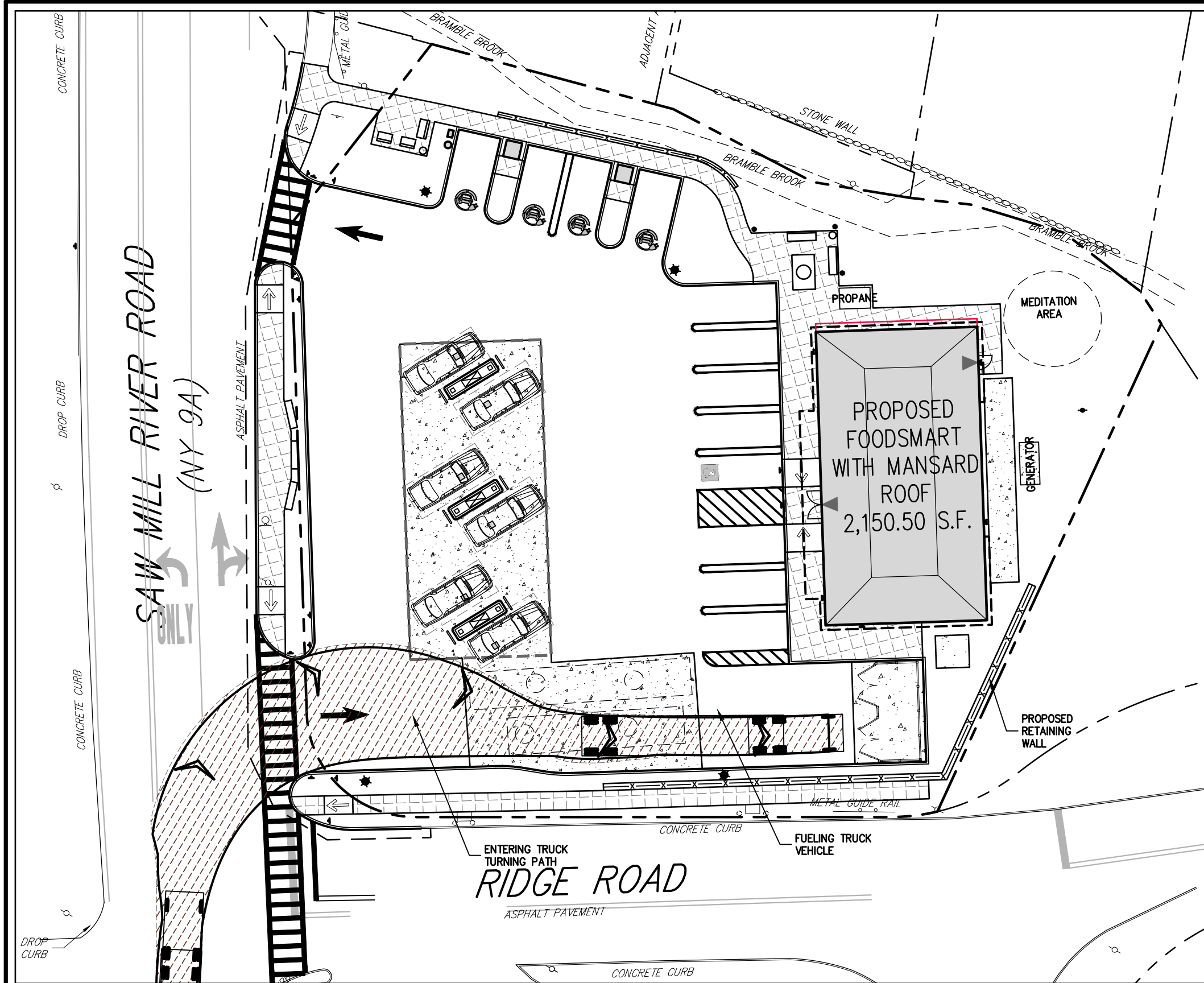


No.	Revision	Date	By
1.	REVISED PER VILLAGE PLANNING BOARD COMMENTS	09/23/2022	EKG
2.	REV. TO ELIMINATE 3 PARKING SPACES PER PL. ED. COMMENTS	12/14/2022	DK
3.	REVISED PER PL. ED CHAIR COMMENTS	02/28/2023	APN
4.	REVISED PER BOARD OF TRUSTEES COMMENTS	12/01/2023	SMN
5.	LIGHTING REVISIONS	12/13/2023	DK
6.	REVISED PER BOARD OF TRUSTEES COMMENTS	01/31/2024	RB
7.	REVISED PER BOARD OF TRUSTEES COMMENTS	03/22/2024	RB

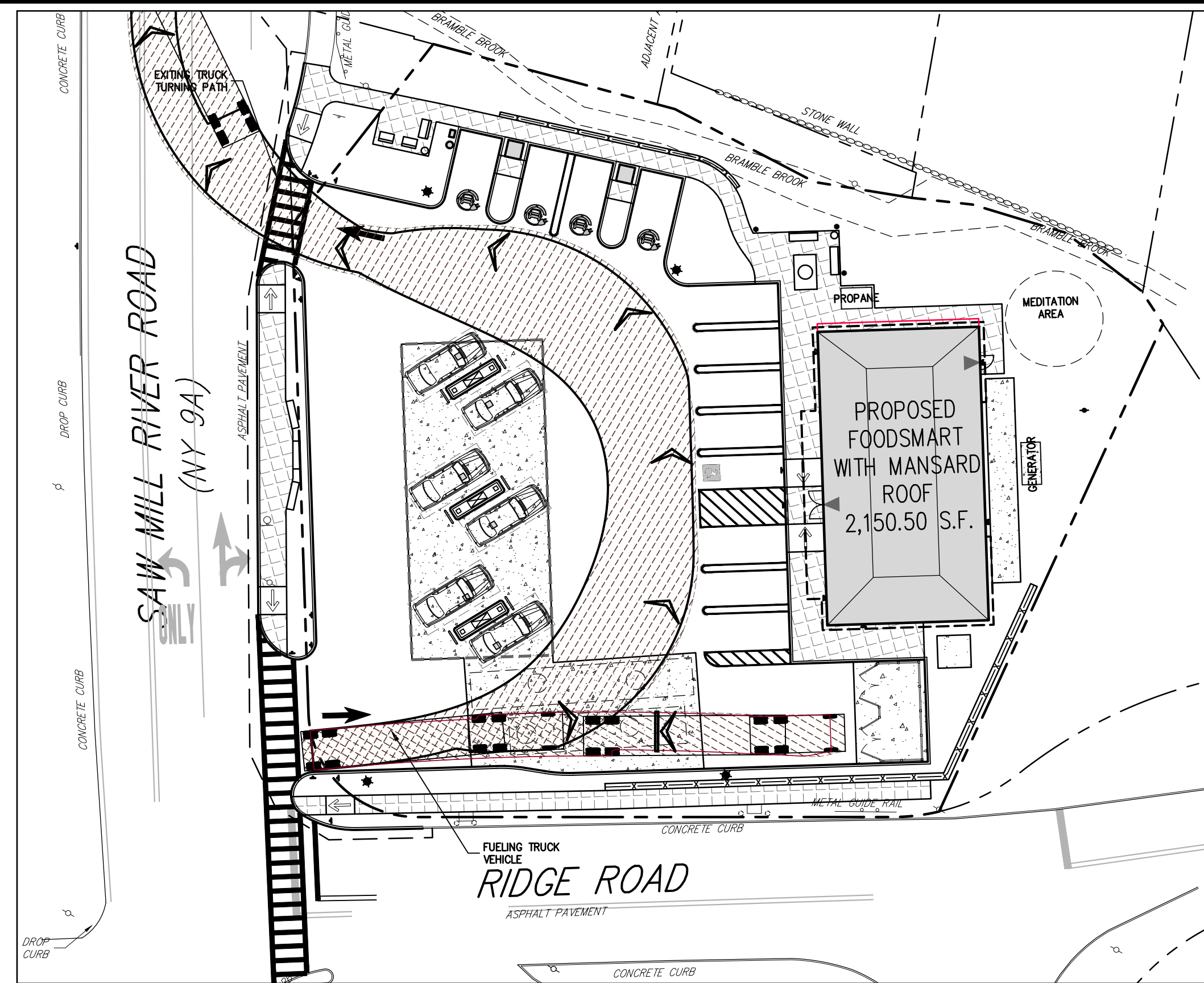
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 Project No: 18175
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 Drawing No:
C-100
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C-100
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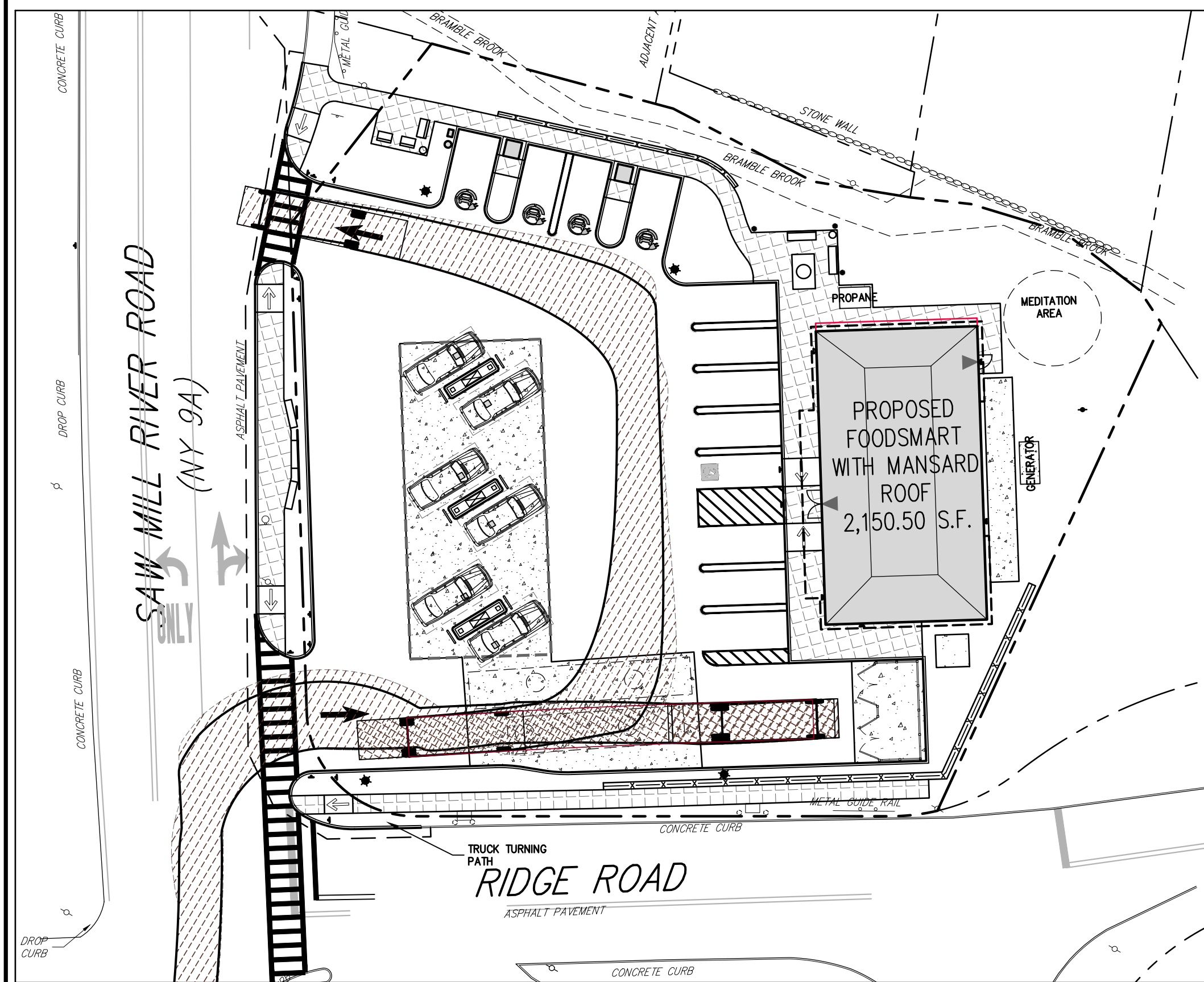
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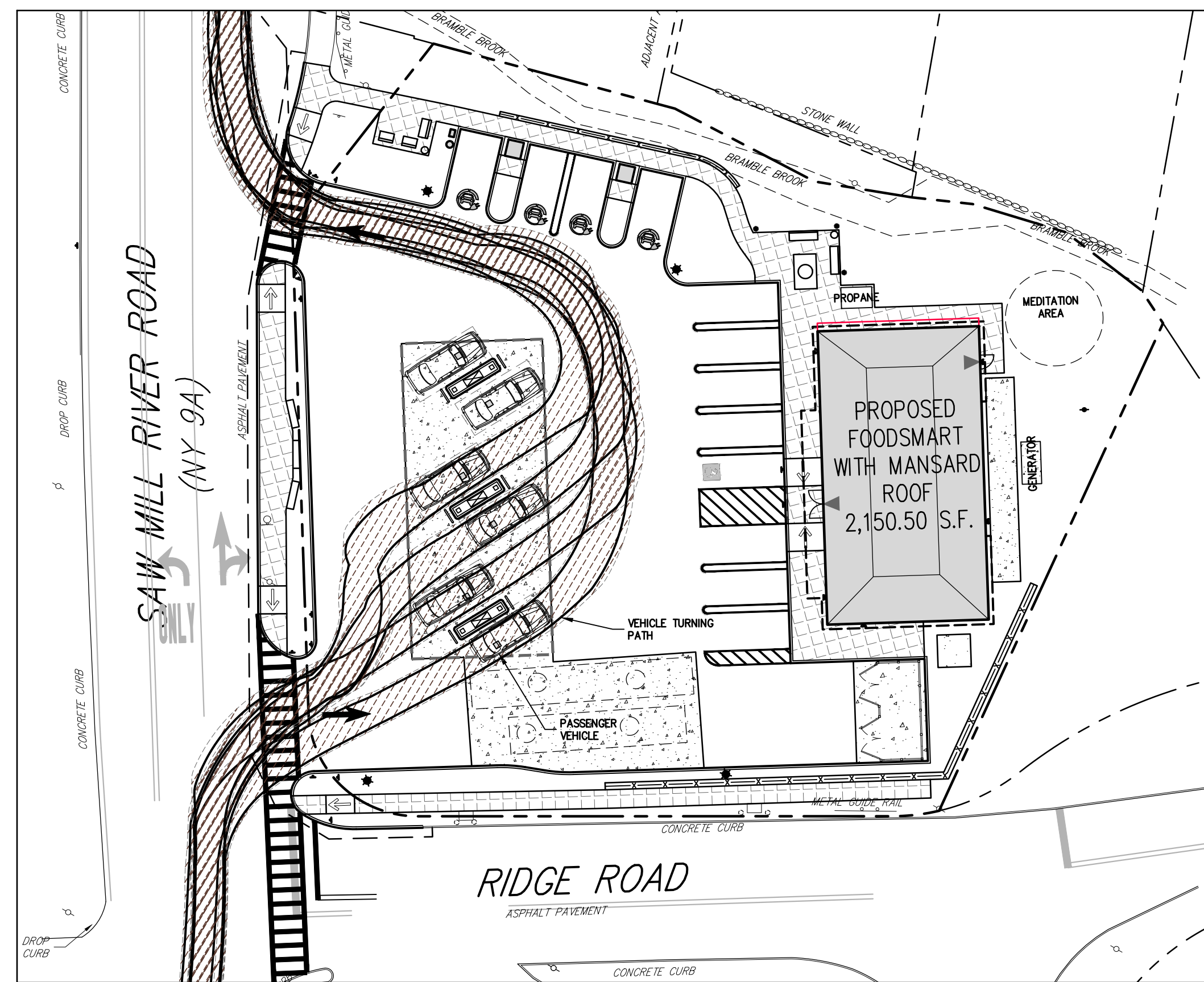
FUELING TRUCK ENTERING TURNING ANALYSIS



FUELING TRUCK EXITING TURNING ANALYSIS

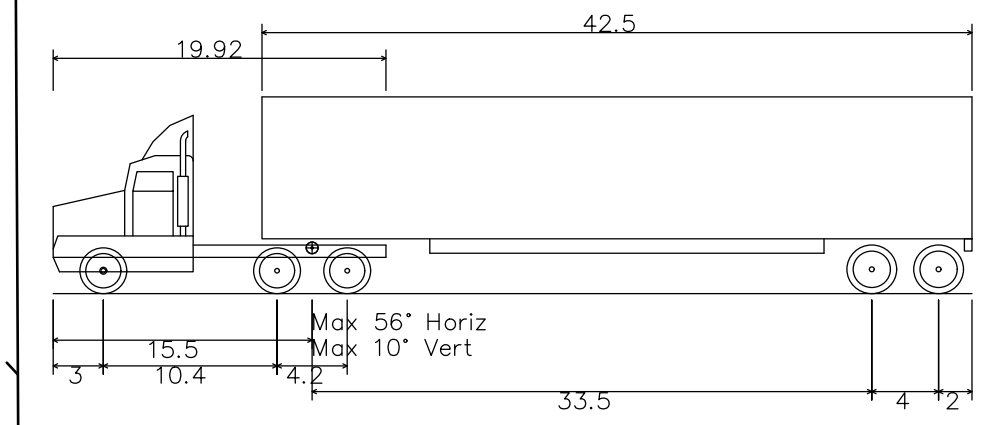


GARBAGE TRUCK TURNING ANALYSIS

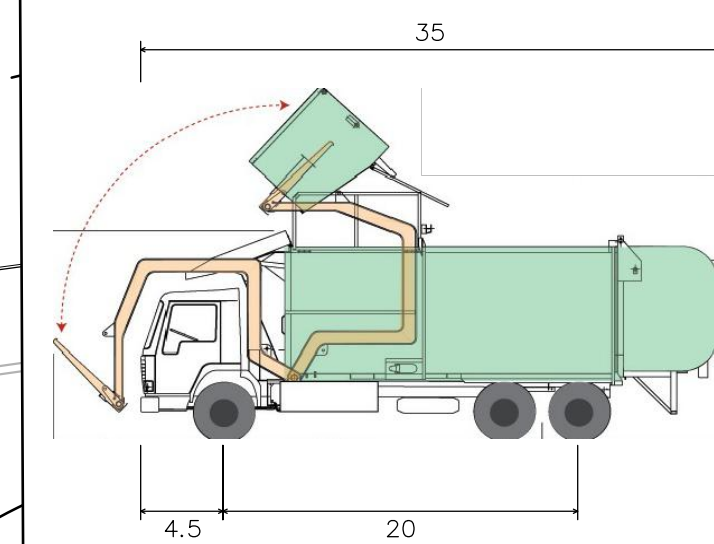


PASSENGER VEHICLE TURNING ANALYSIS

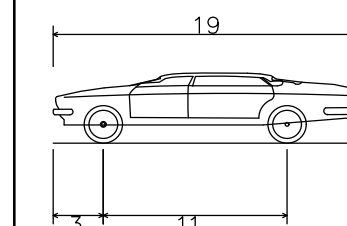
VEHICLE PROFILES



WB-50 - Intermediate Semi-Trailer
 Overall Length 55.00ft
 Overall Width 8.500ft
 Overall Body Height 12.052ft
 Min Body Ground Clearance 1.334ft
 Max Track Width 8.500ft
 Lock-to-lock time 6.00s
 Max Steering Angle (Virtual) 17.90°



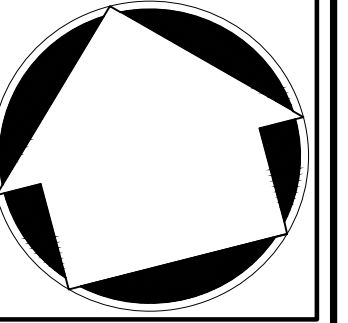
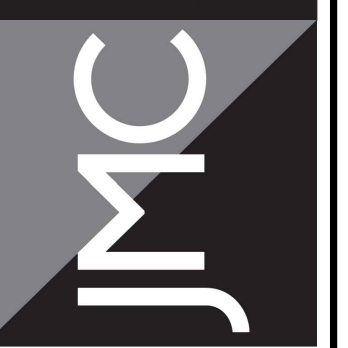
Front-Load Garbage Truck
 Overall Length 35.00ft
 Overall Width 8.375ft
 Overall Body Height 10.546ft
 Min Body Ground Clearance 1.000ft
 Track Width 8.375ft
 Lock-to-lock time 6.00s
 Curb to Curb Turning Radius 29.300ft



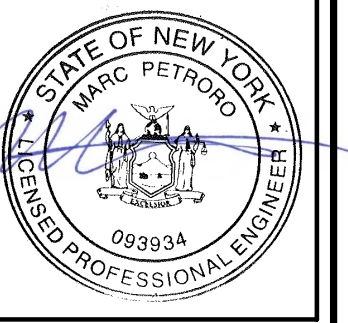
P - Passenger Car
 Overall Length 19.00ft
 Overall Width 7.00ft
 Overall Body Height 4.30ft
 Min Body Ground Clearance 1.115ft
 Track Width 5.00ft
 Lock-to-lock time 4.00s
 Max Steering Angle (Virtual) 51.60°

APPLICANT/OWNER:
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GK+A ARCHITECTS, PC
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TURNING ANALYSIS PLAN
 GAS STATION / CONVENIENCE MARKET
 657 SAW MILL RIVER ROAD
 VILLAGE OF ARDSLEY, NEW YORK



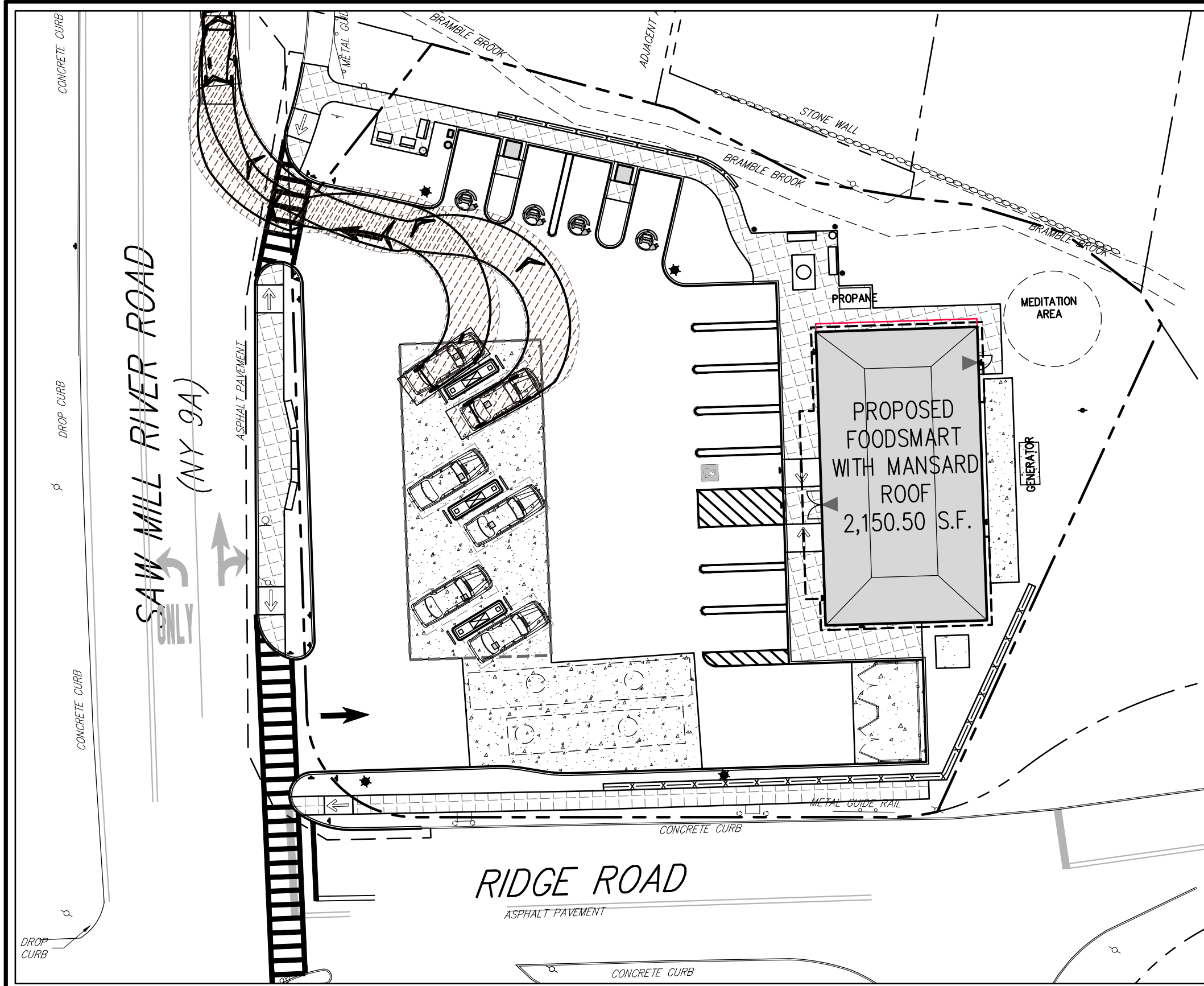
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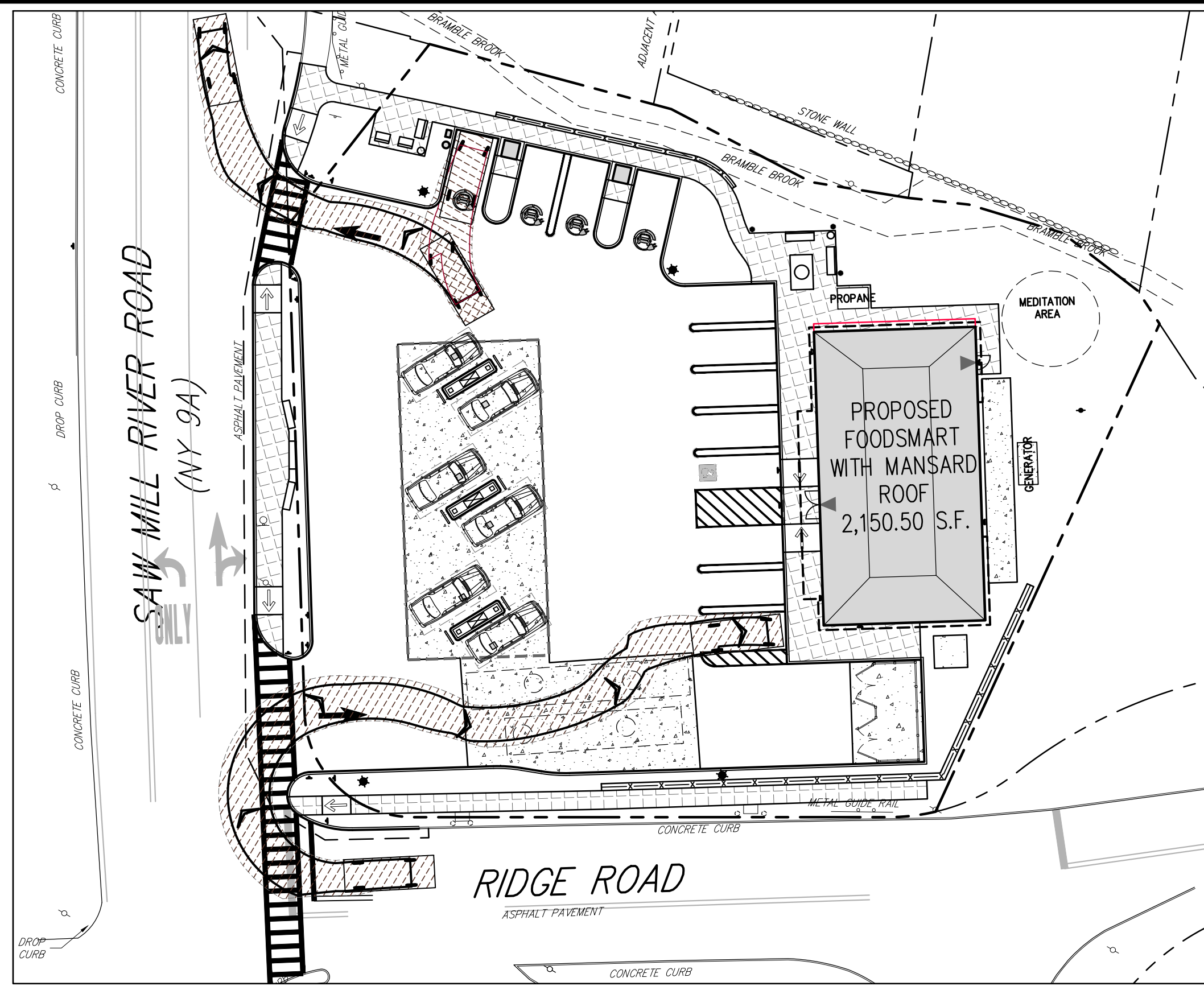
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 1815-SE C-110-MOE 1A-VH-04
 Drawing No:
C-110

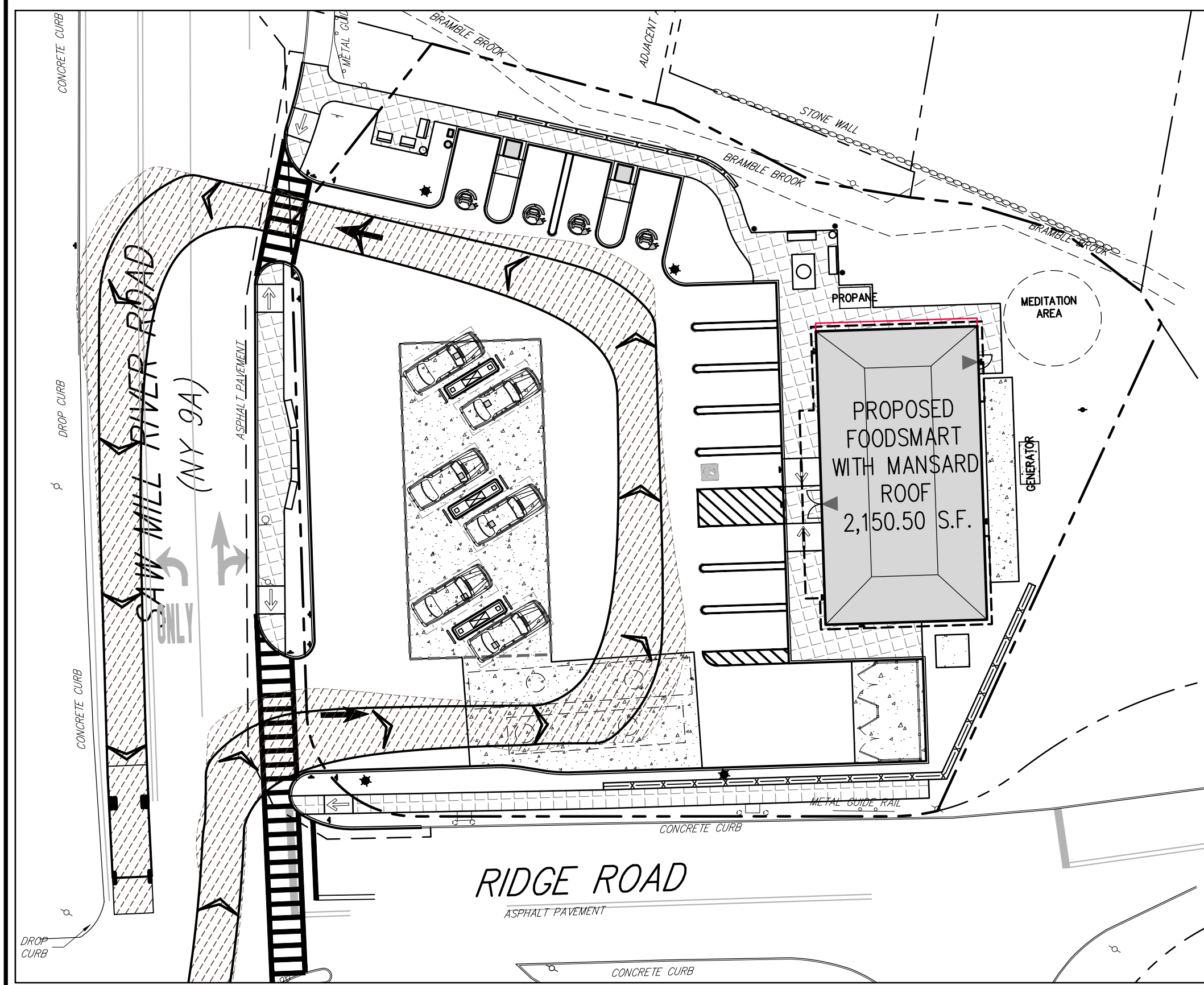
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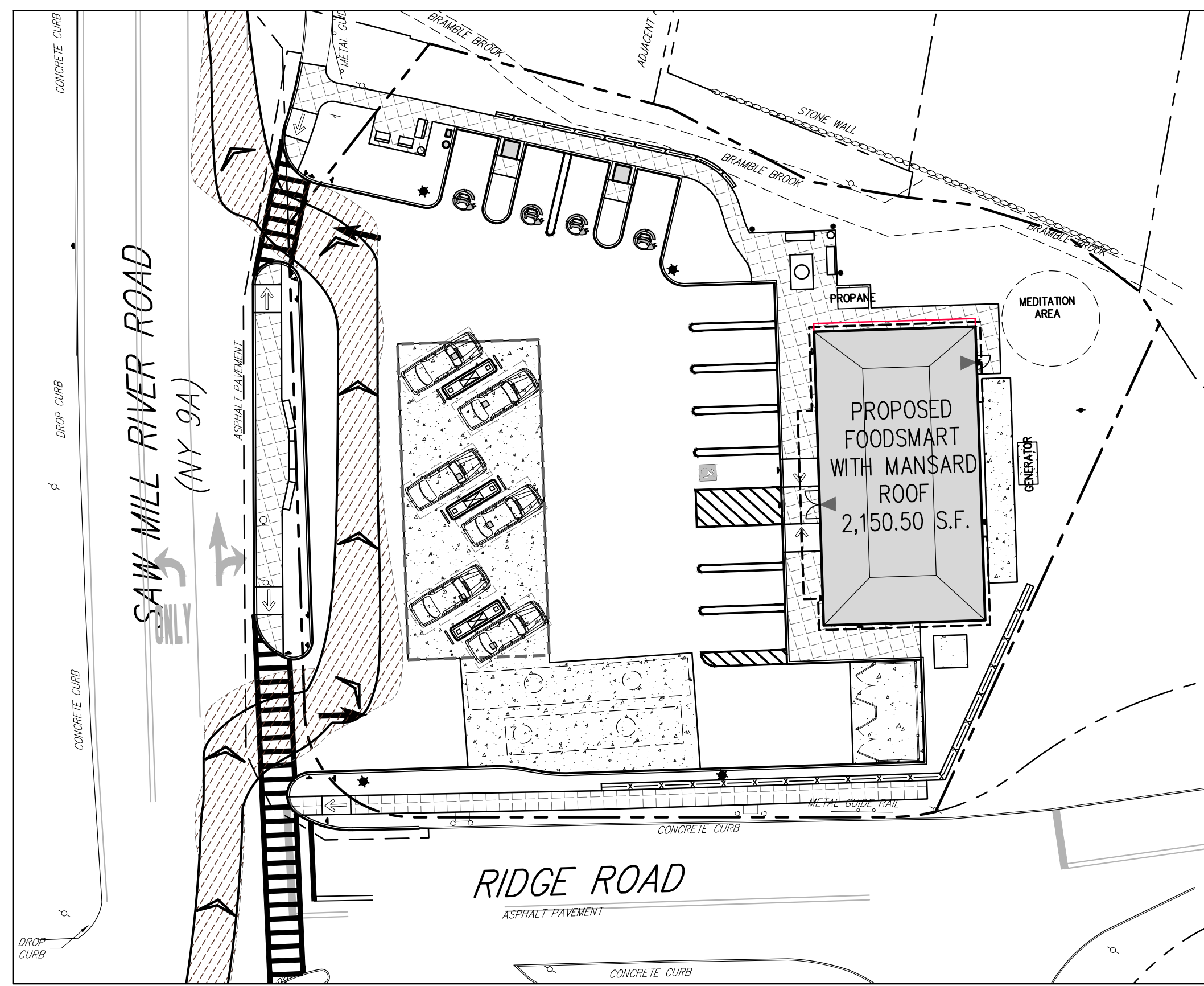
PASSENGER VEHICLE EXITING PUMPS TURNING ANALYSIS



PASSENGER VEHICLE TURNING ANALYSIS

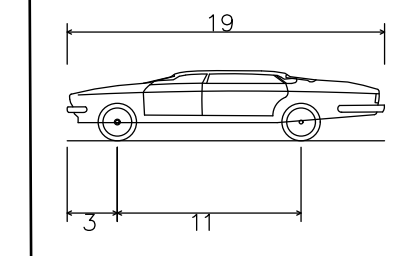


FIRE TRUCK CIRCULATING SITE TURNING ANALYSIS

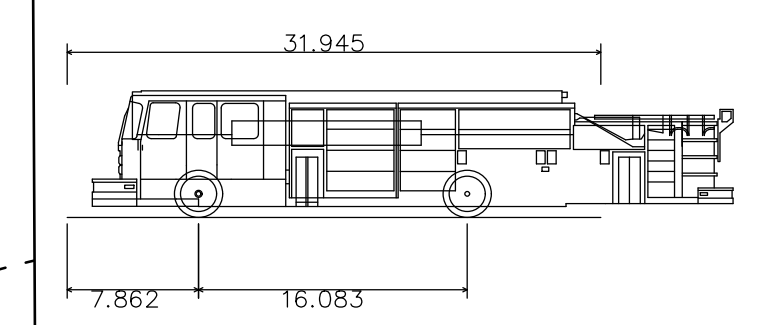


FIRE TRUCK CIRCULATING SITE TURNING ANALYSIS

VEHICLE PROFILES



P - Passenger Car
 Overall Length 19.00ft
 Overall Width 7.00ft
 Overall Body Height 4.30ft
 Min Body Ground Clearance 1.115ft
 Track Width 6.00ft
 Lock-to-lock time 4.00s
 Max Steering Angle (Virtual) 31.60°



SPARTAN GLADIATOR MFD 10RR
 Overall Length 31.945ft
 Overall Width 8.25ft
 Overall Body Height 7.759ft
 Min Body Ground Clearance 0.670ft
 Track Width 8.25ft
 Lock-to-lock time 5.00s
 Max Wheel Angle 45.00°

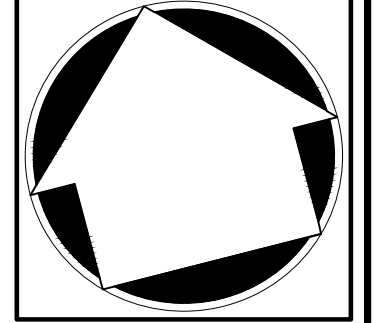
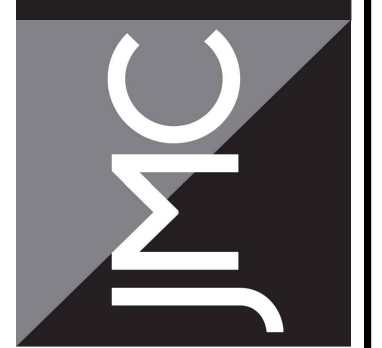
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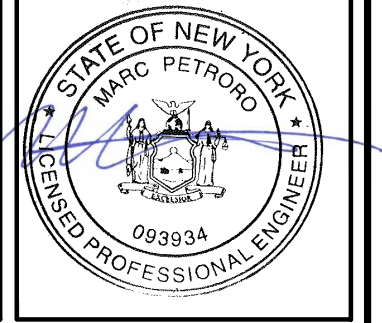
APPLICANT/OWNER:
THORNWOOD FOUR CORNERS LLC.
 25 SAINT CHARLES STREET
 THORNWOOD, NY 10594

ARCHITECT:
GK+A ARCHITECTS, PC
 36 AMES AVENUE
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TURNING ANALYSIS PLAN
 GAS STATION / CONVENIENCE MARKET
 657 SAW MILL RIVER ROAD
 VILLAGE OF ARDSLEY, NEW YORK



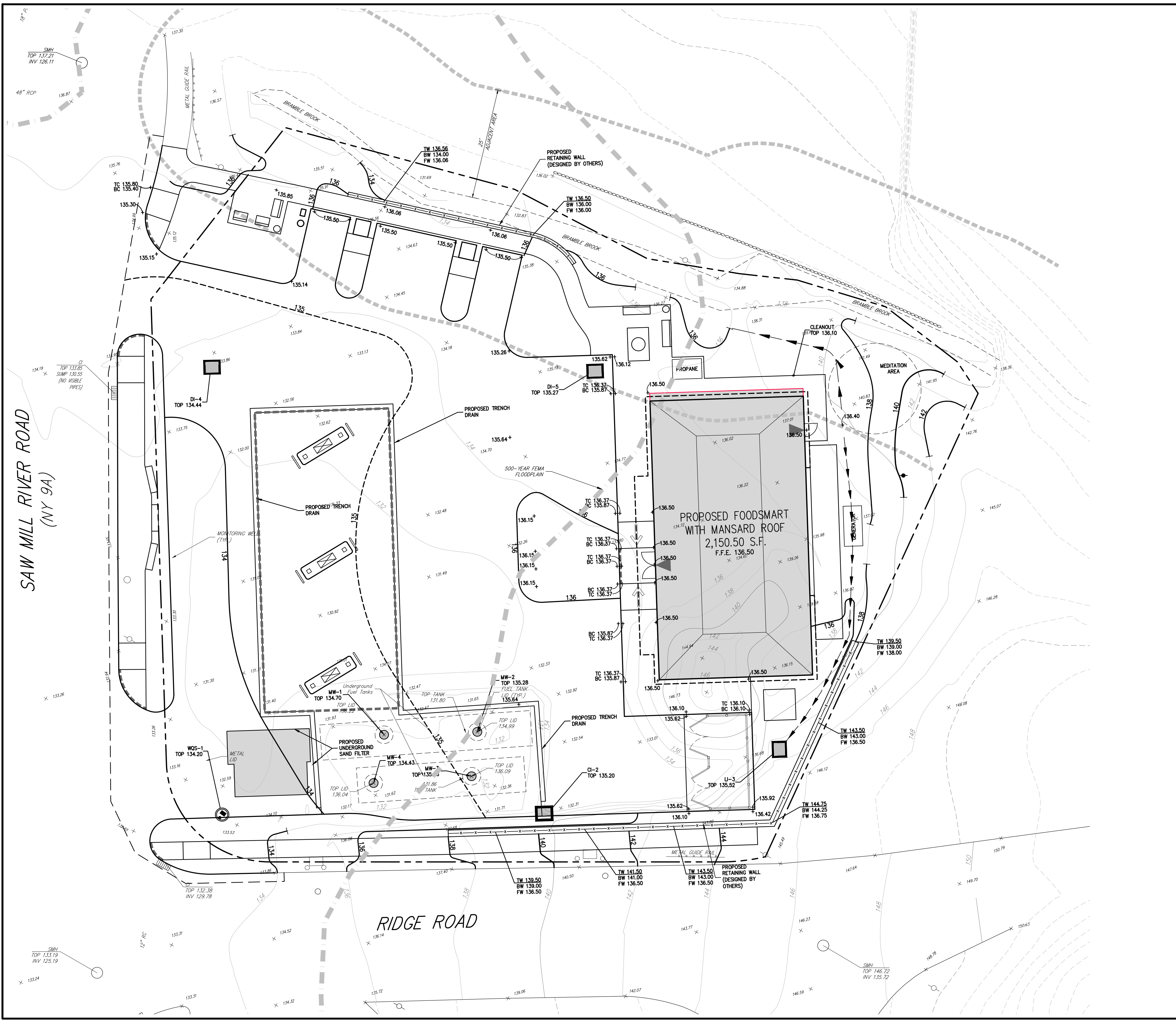
ANY ALTERATION OF PLANS, SPECIFICATIONS, PLATS AND REPORTS BEARING THE SEAL OF A LICENSED PROFESSIONAL ENGINEER OR LICENSED LAND SURVEYOR IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW, EXCEPT AS PROVIDED FOR BY SECTION 7209, SUBSECTION 2.

No.	Revision	Date	By
1.	REVISED PER BOARD OF TRUSTEES COMMENTS	01/31/2024	RB
2.	REVISED PER BOARD OF TRUSTEES COMMENTS	03/22/2024	RB

Previous Editions Obsolete

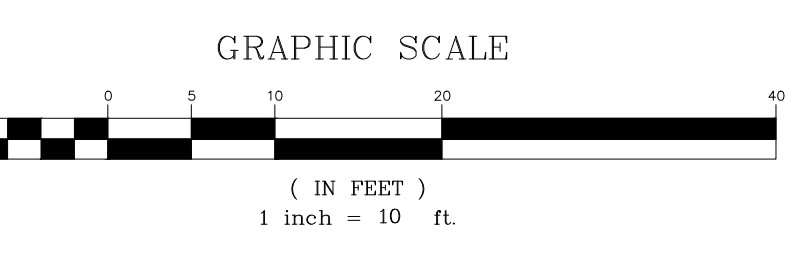
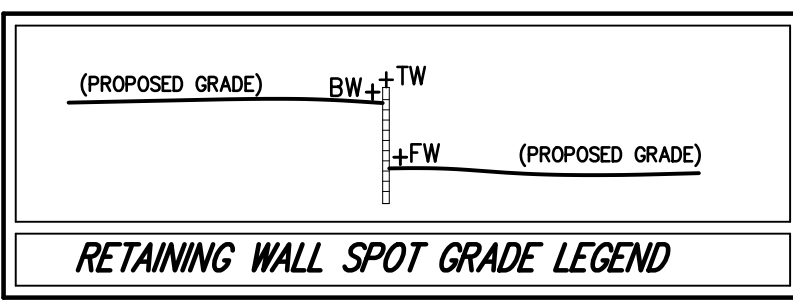
Drawn: **KRM** Approved: **RJP**
 Scale: 1" = 20'
 Date: 05/26/2020
 Project No: 18175
 18175-05 C-120-W06 TA-VH10r
 Drawing No:
C-120

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LEGEND	
	EXISTING PROPERTY LINE
	ADJACENT PROPERTY LINE
	FORMER PROPERTY LINE
	EXISTING SETBACK LINE
	EXISTING WATERCOURSE
	EXISTING WATERCOURSE BUFFER
	EXISTING PAVEMENT EDGE
	EXISTING CURB LINE
	EXISTING CONTOUR
	EXISTING INDEX CONTOUR
	EXISTING STONE WALL
	EXISTING RETAINING WALL
	EXISTING GUIDE RAIL
	EXISTING DRAIN INLET
	EXISTING MANHOLE
	EXISTING UTILITY POLE
	EXISTING SIGN
	EXISTING FUEL MANWAY
	PROPOSED TYPE CI DRAIN INLET
	PROPOSED TYPE DI OR LI DRAIN INLET
	PROPOSED BUILDING LINE
	PROPOSED EDGE OF PAVEMENT/CURB LINE
	PROPOSED CONCRETE SIDEWALK
	PROPOSED DROP CURB AND RAMP
	PROPOSED MAJOR CONTOUR
	PROPOSED MINOR CONTOUR
	PROPOSED SPOT GRADE
	PROPOSED RETAINING WALL (DESIGN BY OTHERS)
	PROPOSED GUIDE RAIL
	FEMA 500-YEAR FLOOD LINE

- NOTES:**
- EXISTING CONDITIONS DEPICTED ON THIS PLAN HAVE BEEN TAKEN FROM SURVEY TITLED "TOPOGRAPHY OF PROPERTY" PREPARED BY THOMAS C. MERRITT LAND SURVEYORS, P.C., LAST REVISED 11/17/2020.
 - EXISTING CONDITIONS DEPICTED ON THIS PLAN HAVE BEEN SUPPLEMENTED UTILIZING NEW YORK STATE GIS CLEARINGHOUSE ORTHOMAGERY. THIS INFORMATION SHOULD BE CONSIDERED APPROXIMATE AND USED FOR PLANNING PURPOSES ONLY.
 - EXISTING CONDITIONS DEPICTED ON THIS PLAN HAVE ALSO BEEN SUPPLEMENTED WITH INFORMATION FROM "SITE LOCATION PLAN" PREPARED BY DRE ENVIRONMENTAL, INC., DATED 11/1/2016.
 - ALL STORMWATER MANAGEMENT PRACTICES SHALL REMAIN UNDISTURBED AND BE PROTECTED FROM HEAVY MACHINERY TRAFFIC DURING CONSTRUCTION. HOWEVER DURING CONSTRUCTION OF THE PRACTICE THE CONTRACTOR SHALL MINIMIZE AND AVOID HEAVY MACHINERY TRAFFIC TO THE MAXIMUM EXTENT PRACTICABLE. THERE SHALL BE NO STORAGE OF MATERIALS WITHIN AREAS TO BE USED FOR STORMWATER MANAGEMENT PRACTICES. THE CONTRACTOR SHALL INSTALL CONSTRUCTION FENCE AROUND THE PRACTICE TO DISCOURAGE VEHICLE TRAFFIC.
 - THE FEMA 100-YEAR BASE FLOOD ELEVATION IS 132.33.
 - THE CONSTRUCTION OF ALL WALLS GREATER THAN FOUR (4) FEET IN HEIGHT SHALL BE INSPECTED AND CERTIFIED TO THEIR COMPLIANCE WITH THE APPROVED DESIGN BY THE DESIGN PROFESSIONAL PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY/COMPLETION.

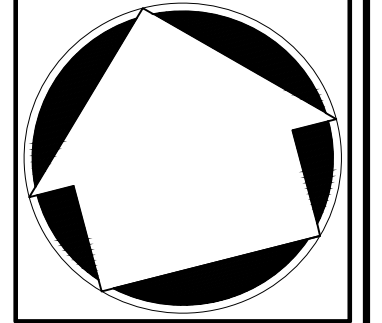


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 THORNWOOD, NY 10594

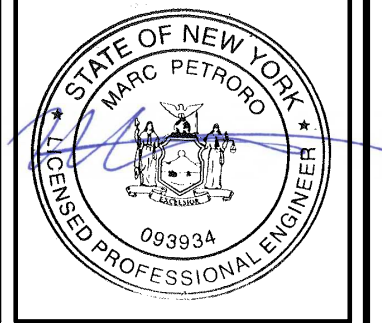
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GRADING PLAN

GAS STATION / CONVENIENCE MARKET
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 VILLAGE OF ARDSLEY, NEW YORK

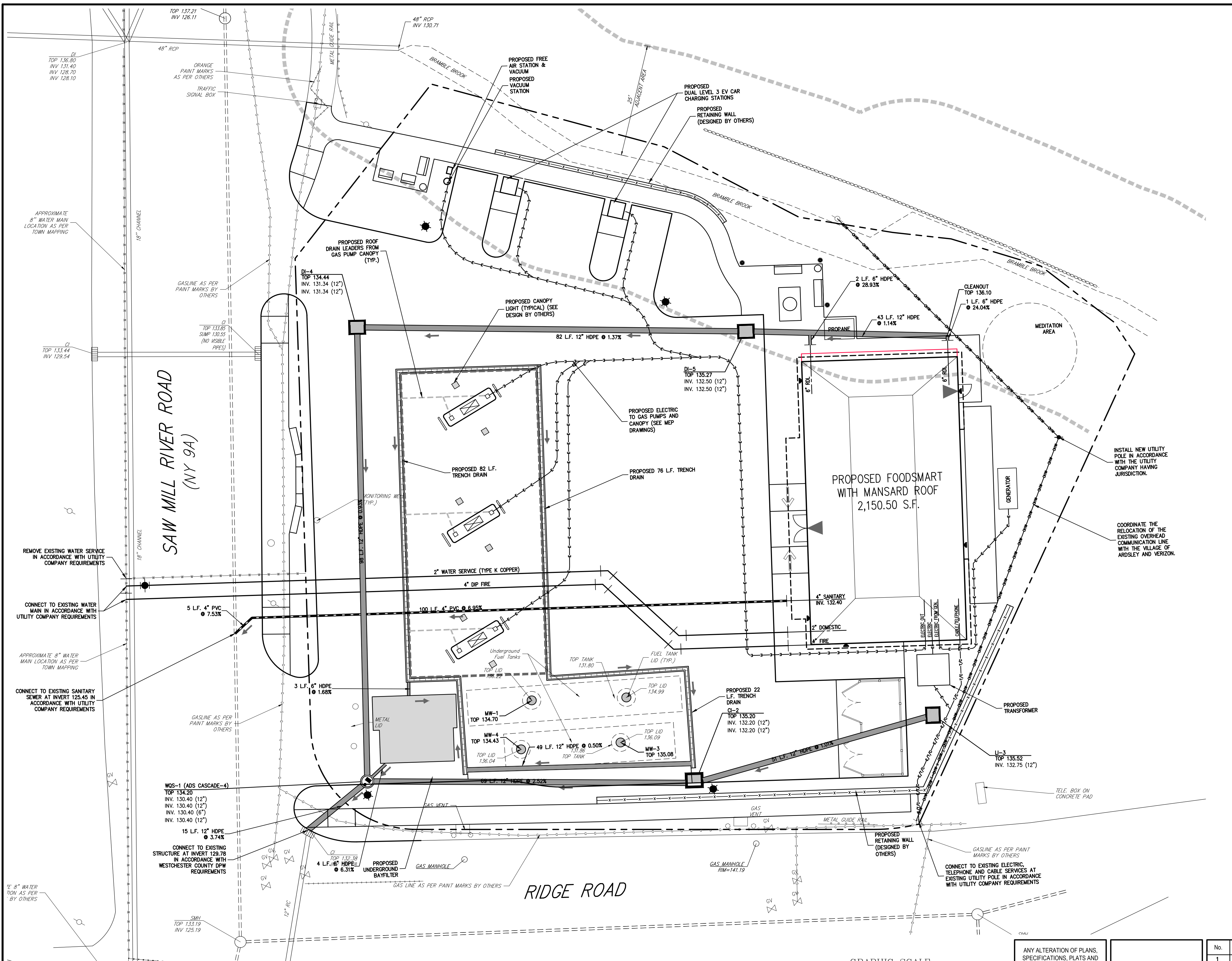


No.	Revision	Date	By
1.	PLANNING BOARD & BAR SUBMISSION	03/30/2021	MTP
2.	RESPOND TO VILLAGE COMMENTS	12/01/2021	SPG
3.	REVISED PER TOWN COMMENTS	01/13/2022	CDP
4.	REVISED PER BOARD OF TRUSTEES COMMENTS	12/01/2023	SMN
5.	REVISED PER BOARD OF TRUSTEES COMMENTS	01/31/2024	RB
6.	REVISED PER BOARD OF TRUSTEES COMMENTS	03/22/2024	RB

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Drawn: **KRM** Approved: **RJP**
 Scale: **1" = 10'**
 Date: **05/26/2020**
 Project No: **18175**
 1875-SE C-200-040 GR40-04
 Drawing No:
C-200

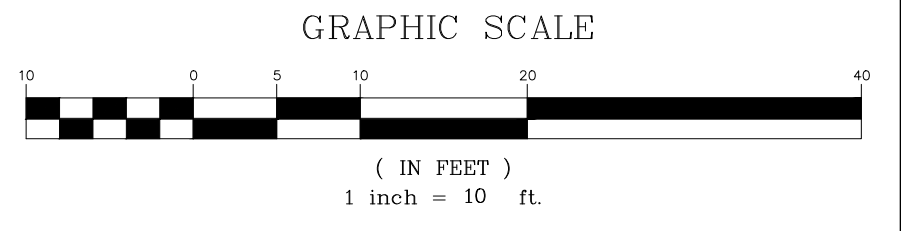
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LEGEND

- EXISTING PROPERTY LINE
- ADJACENT PROPERTY LINE
- FORMER PROPERTY LINE
- EXISTING SETBACK LINE
- EXISTING WATERCOURSE
- EXISTING WATERCOURSE BUFFER
- EXISTING PAVEMENT EDGE
- EXISTING CURB LINE
- EXISTING STONE WALL
- EXISTING RETAINING WALL
- EXISTING GUIDE RAIL
- EXISTING FENCE
- EXISTING STORM DRAIN LINE AND SIZE
- EXISTING SANITARY LINE AND SIZE
- EXISTING WATER LINE
- EXISTING GAS LINE
- EXISTING OVERHEAD WIRES
- EXISTING DRAIN INLET
- EXISTING MANHOLE
- EXISTING BOLLARD
- EXISTING FIRE HYDRANT
- EXISTING GAS VALVE
- EXISTING WATER VALVE
- EXISTING UTILITY POLE
- PROPOSED BUILDING LINE
- PROPOSED EDGE OF PAVEMENT/CURB LINE
- PROPOSED CONCRETE SIDEWALK
- PROPOSED DROP CURB AND RAMP
- PROPOSED FUEL MANWAY
- PROPOSED WATER QUALITY STRUCTURE
- PROPOSED TYPE CI DRAIN INLET
- PROPOSED TYPE DI OR LI DRAIN INLET
- PROPOSED TRENCH DRAIN
- PROPOSED STORM DRAIN LINE AND SIZE
- PROPOSED SANITARY SEWER LINE & SIZE
- PROPOSED WATER LINE & SIZE
- PROPOSED ELECTRIC LINE
- PROPOSED TELEPHONE/CABLE LINE
- PROPOSED ELECTRIC/TELEPHONE/CABLE
- PROPOSED RETAINING WALL (DESIGN BY OTHERS)

- NOTES**
- EXISTING CONDITIONS DEPICTED ON THIS PLAN HAVE BEEN TAKEN FROM SURVEY TITLED "TOPOGRAPHY OF PROPERTY," PREPARED BY THOMAS C. MERRITS LAND SURVEYORS, P.C., LAST REVISED 11/17/2020.
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 - EXISTING CONDITIONS DEPICTED ON THIS PLAN HAVE ALSO BEEN SUPPLEMENTED WITH INFORMATION FROM "SITE LOCATION PLAN" PREPARED BY DRE ENVIRONMENTAL, INC., DATED 11/01/2016.
 - UNLESS OTHERWISE SPECIFIED, PIPE FOR SANITARY SEWER GRAVITY LINES SHALL BE POLYETHYLENE GLASS REINFORCED PIPE (PPFR), 300-35, WITH PUSH-ON JOINTS IN ACCORDANCE WITH ASTM D-3034 AND D-3212.
 - UNLESS OTHERWISE SPECIFIED, PIPE FOR WATER LINES SHALL BE DOUBLE CEMENT-LINED DUCTILE IRON PIPE (DIP), CLASS 54, WITH PUSH-ON JOINTS AND FIELD-LOK GASKETS IN ACCORDANCE WITH AWWA C-150, C-151, C-104 AND C-111.
 - ALL COPPER SERVICE LINES SHALL BE SEAMLESS TYPE "K" COPPER IN ACCORDANCE WITH ASTM-88 WITH COMPRESSION OR FLARED JOINTS.
 - ELECTRIC, TELEPHONE, AND CABLE TELEVISION LINES SHALL BE INSTALLED UNDERGROUND IN CONDUIT IN ACCORDANCE WITH THE REQUIREMENTS OF THE UTILITY COMPANY HAVING JURISDICTION.
 - CONTRACTOR SHALL MAINTAIN A MINIMUM OF 4 FEET OF COVER OVER ALL WATER MAINS.
 - CONTRACTOR SHALL MAINTAIN MINIMUM HORIZONTAL AND VERTICAL CROSSING DISTANCES PER THE WESTCHESTER COUNTY DEPARTMENT OF HEALTH REQUIREMENTS. IF MINIMUM DISTANCES CANNOT BE MAINTAINED, THE CONTRACTOR SHALL USE CONTROLLED LOW STRENGTH MATERIAL FOR BACKFILL AROUND CROSSINGS.
 - ALL UTILITY CONNECTIONS AT BUILDING SHALL BE COORDINATED WITH THE PLUMBING, MECHANICAL AND ELECTRICAL BUILDING CONTRACTORS.
 - SEE DRAWINGS FROM OTHERS FOR DESIGN OF UTILITY CONNECTIONS, CONDUITS, WIRING, ETC. FOR SITE LIGHTING PYLON SIGN, OTHER ILLUMINATED SIGNAGE, AIR/VACUUM MACHINE, PROPANE FUELING, AND GENERATOR CONNECTIONS.
 - IT IS THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE ALL UTILITY CONNECTIONS/EXTENSIONS/RELOCATIONS WITH APPROPRIATE UTILITY COMPANIES AS REQUIRED. INSTALLATION OF ALL UTILITIES SHALL CONFORM TO UTILITY COMPANY REQUIREMENTS.
 - ALL FUELING RELATED FACILITIES/EQUIPMENT TO BE DESIGNED AND PERMITTED BY OTHERS. CONTRACTOR SHALL BE RESPONSIBLE TO INSPECT ALL PETROLEUM DISPENSING AND STORAGE SYSTEMS TO ENSURE THAT CONSTRUCTION IS IN ACCORDANCE WITH ALL FEDERAL, STATE AND LOCAL LAWS, CODES, RULES AND ORDINANCES.



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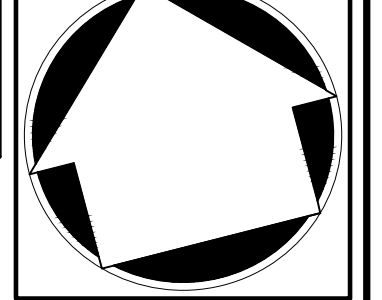
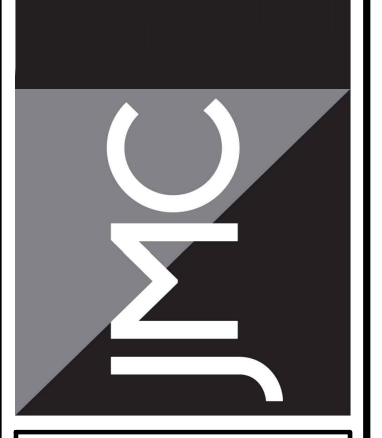
No.	Revision	Date	By
1.	REVISED PER TOWN COMMENTS	01/13/2022	CDF
2.	REVISED PER BOARD OF TRUSTEES COMMENTS	12/01/2023	SMN
3.	LIGHTING REVISIONS	12/13/2023	DK
4.	REVISED PER BOARD OF TRUSTEES COMMENTS	01/31/2024	RB
5.	REVISED PER BOARD OF TRUSTEES COMMENTS	03/22/2024	RB

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UTILITIES PLAN

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VILLAGE OF ARDSLEY, NEW YORK

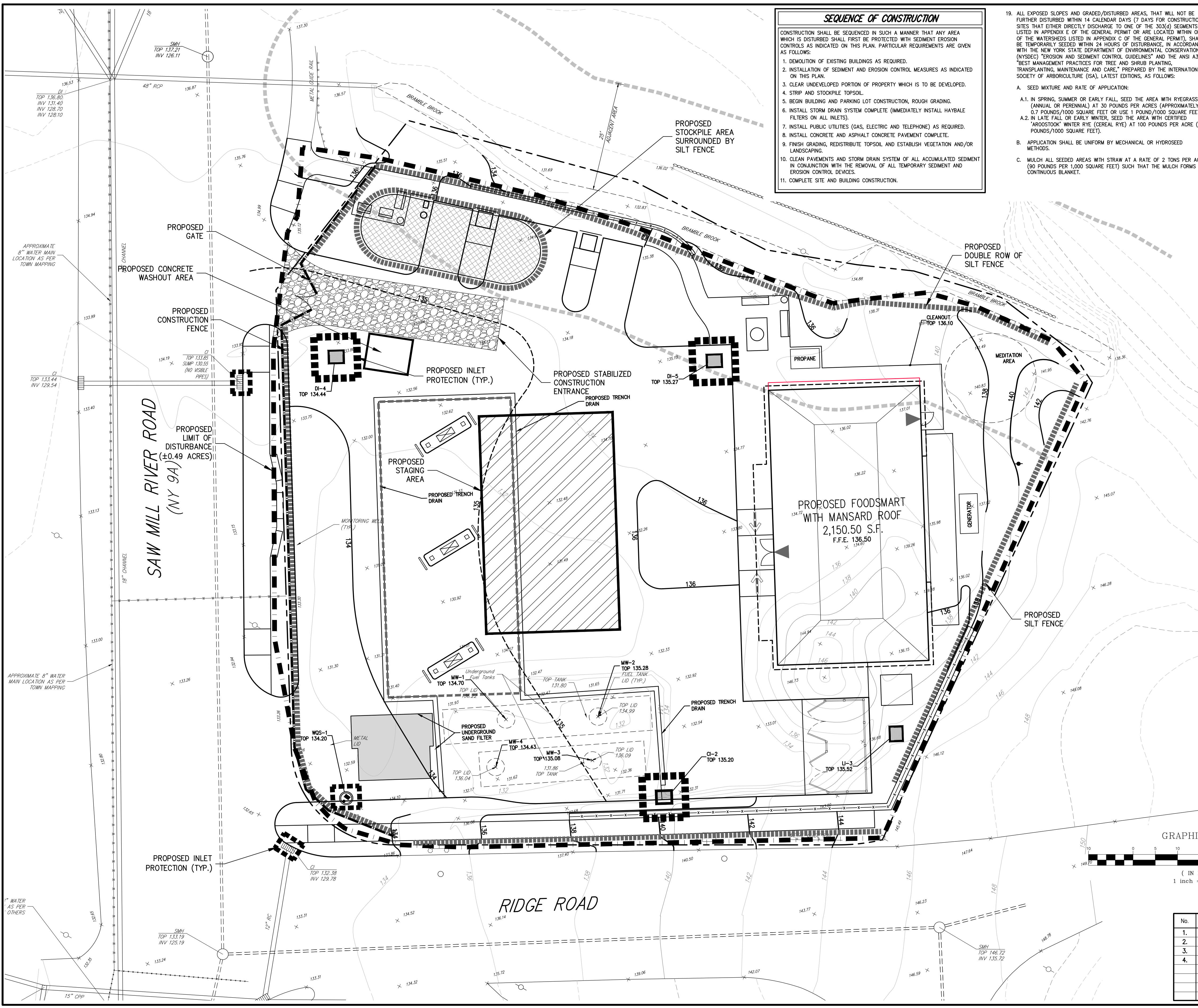


Drawn: **KRM** Approved: **RJP**
Scale: **1" = 10'**
Date: **06/26/2020**
Project No: **18175**
1875-SE C-300-UTIL UTIL.dwg
Drawing No:

C-300

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SEQUENCE OF CONSTRUCTION

CONSTRUCTION SHALL BE SEQUENCED IN SUCH A MANNER THAT ANY AREA WHICH IS DISTURBED SHALL FIRST BE PROTECTED WITH SEDIMENT EROSION CONTROLS AS INDICATED ON THIS PLAN. PARTICULAR REQUIREMENTS ARE GIVEN AS FOLLOWS:

- DEMOLITION OF EXISTING BUILDINGS AS REQUIRED.
- INSTALLATION OF SEDIMENT AND EROSION CONTROL MEASURES AS INDICATED ON THIS PLAN.
- CLEAR UNDEVELOPED PORTION OF PROPERTY WHICH IS TO BE DEVELOPED.
- STRIP AND STOCKPILE TOPSOIL.
- BEGIN BUILDING AND PARKING LOT CONSTRUCTION, ROUGH GRADING.
- INSTALL STORM DRAIN SYSTEM COMPLETE (IMMEDIATELY INSTALL HAYBALE FILTERS ON ALL INLETS).
- INSTALL PUBLIC UTILITIES (GAS, ELECTRIC AND TELEPHONE) AS REQUIRED.
- INSTALL CONCRETE AND ASPHALT CONCRETE PAVEMENT COMPLETE.
- FINISH GRADING, REDISTRIBUTE TOPSOIL AND ESTABLISH VEGETATION AND/OR LANDSCAPING.
- CLEAN PAVEMENTS AND STORM DRAIN SYSTEM OF ALL ACCUMULATED SEDIMENT IN CONJUNCTION WITH THE REMOVAL OF ALL TEMPORARY SEDIMENT AND EROSION CONTROL DEVICES.
- COMPLETE SITE AND BUILDING CONSTRUCTION.

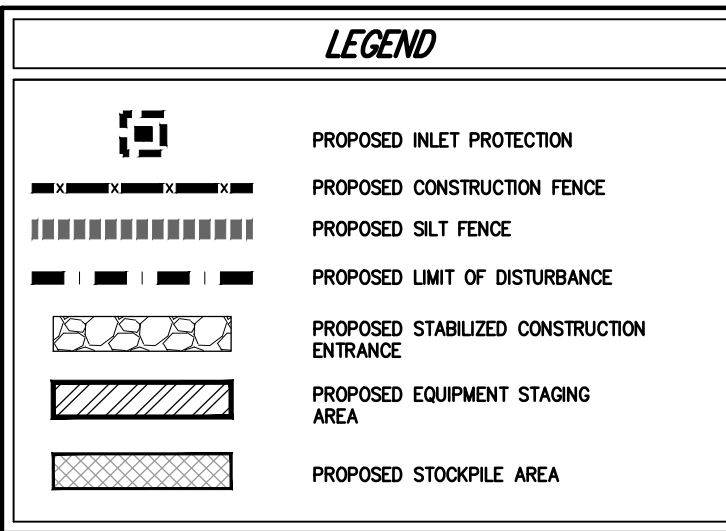
19. ALL EXPOSED SLOPES AND GRADED/DISTURBED AREAS, THAT WILL NOT BE FURTHER DISTURBED WITHIN 14 CALENDAR DAYS (7 DAYS FOR CONSTRUCTION SITES THAT EITHER DIRECTLY DISCHARGE TO ONE OF THE 303(d) SEGMENTS LISTED IN APPENDIX E OF THE GENERAL PERMIT OR ARE LOCATED WITHIN ONE OF THE WATERSHEDS LISTED IN APPENDIX C OF THE GENERAL PERMIT), SHALL BE TEMPORARILY SEEDED WITHIN 24 HOURS OF DISTURBANCE, IN ACCORDANCE WITH THE NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION (NYSDEC) "EROSION AND SEDIMENT CONTROL GUIDELINES" AND THE ANSI A300 "BEST MANAGEMENT PRACTICES FOR TREE AND SHRUB PLANTING, TRANSPLANTING, MAINTENANCE AND CARE," PREPARED BY THE INTERNATIONAL SOCIETY OF ARBORICULTURE (ISA), LATEST EDITIONS, AS FOLLOWS:

A. SEED MIXTURE AND RATE OF APPLICATION:

- IN SPRING, SUMMER OR EARLY FALL, SEED THE AREA WITH RYEGRASS (ANNUAL OR PERENNIAL) AT 30 POUNDS PER ACRE (APPROXIMATELY 0.7 POUNDS/1000 SQUARE FEET) OR USE 1 POUND/1000 SQUARE FEET.
- IN LATE FALL OR EARLY WINTER, SEED THE AREA WITH CERTIFIED "AROSTOOK" WINTER RYE (CEREAL RYE) AT 100 POUNDS PER ACRE (2.5 POUNDS/1000 SQUARE FEET).

B. APPLICATION SHALL BE UNIFORM BY MECHANICAL OR HYDROSEED METHODS.

C. MULCH ALL SEEDED AREAS WITH STRAW AT A RATE OF 2 TONS PER ACRE (90 POUNDS PER 1,000 SQUARE FEET) SUCH THAT THE MULCH FORMS A CONTINUOUS BLANKET.



- NOTES:**
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 - EXISTING CONDITIONS DEPICTED ON THIS PLAN HAVE ALSO BEEN SUPPLEMENTED WITH INFORMATION FROM "SITE LOCATION PLAN" PREPARED BY DRE ENVIRONMENTAL, INC., DATED 11/01/2016.
 - THIS PLAN IS FOR TEMPORARY EROSION AND SEDIMENT CONTROL INFORMATION ONLY.
 - ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED PER NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL, DATED NOVEMBER 2016.
 - PRIOR TO BEGINNING ANY CLEARING, GRUBBING OR EXCAVATION, ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH ALL THE PLANS AND SPECIFICATIONS. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED UNTIL THE SITE IS STABILIZED. FINAL STABILIZATION OF LANDSCAPED AREAS SHALL BE IN ACCORDANCE WITH THE LANDSCAPE PLAN.
 - THE CONTRACTOR SHALL INSPECT AND MAINTAIN ON-SITE EROSION AND SEDIMENT CONTROL MEASURES ON A DAILY BASIS. ALL COLLECTED SEDIMENT WITHIN SEDIMENT BARRIERS SHALL BE REMOVED PERIODICALLY AS REQUIRED TO MAINTAIN THE FUNCTION OF THE SEDIMENT BARRIERS. ALL SEDIMENT COLLECTED SHALL BE RESPREAD ON-SITE WITHIN STABILIZED AREAS AS DIRECTED BY THE OWNERS REPRESENTATIVE.
 - THE CONTRACTOR SHALL INSPECT DOWNSTREAM CONDITIONS FOR EVIDENCE OF SEDIMENTATION ON A WEEKLY BASIS. AFTER EACH EXCAVATION, AND AS MAY BE REQUIRED OR DIRECTED BY ALL APPLICABLE APPROVALS AND PERMITS, THE CONTRACTOR SHALL IMMEDIATELY PROVIDE A WRITTEN REPORT ON FINDINGS OF SEDIMENT IN DOWNSTREAM AREAS TO ALL AUTHORITIES HAVING JURISDICTION AND MAKE REPAIRS AS REQUIRED OR DIRECTED.
 - ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED BY THE CONTRACTOR AS REQUIRED/WARRANTED BY FIELD CONDITIONS AND AS DIRECTED BY THE OWNERS REPRESENTATIVE, JMC, AND/OR ANY AUTHORITY HAVING JURISDICTION.
 - STOCKPILES OF CONSTRUCTION MATERIAL SHALL BE PLACED ON-SITE IN THE AREA DESIGNATED ON THIS PLAN OR AS APPROVED BY THE OWNERS REPRESENTATIVE. STOCKPILED EXCAVATED MATERIAL SHALL HAVE TWO ROWS OF SILT FENCE LOCATED AROUND ITS PERIMETER. ALL STOCKPILED MATERIAL SHALL BE MAINTAINED IN AN ORDERLY MANNER SO AS NOT TO IMPEDE ON PEDESTRIAN AND/OR VEHICULAR TRAFFIC CIRCULATION ROUTES.
 - DUST SHALL BE CONTROLLED BY SPRINKLING OR OTHER APPROVED METHODS AS NECESSARY, OR AS DIRECTED BY THE OWNERS REPRESENTATIVE.
 - ALL STORMWATER MANAGEMENT PRACTICES SHALL REMAIN UNDISTURBED AND BE PROTECTED FROM HEAVY MACHINERY TRAFFIC DURING CONSTRUCTION. HOWEVER DURING CONSTRUCTION OF THE PRACTICE THE CONTRACTOR SHALL MINIMIZE AND AVOID HEAVY MACHINERY TRAFFIC TO THE MAXIMUM EXTENT PRACTICABLE. THERE SHALL BE NO STORAGE OF MATERIALS WITHIN AREAS TO BE USED FOR STORMWATER MANAGEMENT PRACTICES. THE CONTRACTOR SHALL INSTALL CONSTRUCTION FENCE AROUND THE PRACTICE TO DISCOURAGE VEHICLE TRAFFIC.
 - ANY IMPORTED TOPSOIL SHALL COMPLY WITH ALL FEDERAL, STATE, AND LOCAL REQUIREMENTS FOR QUALITY AND USE.
 - OFF-SITE DISPOSAL OF EXCESS CUT SHALL BE IN ACCORDANCE WITH ALL FEDERAL, STATE, AND LOCAL REQUIREMENTS.
 - SITE STABILIZATION (BOX UNIFORM DENSITY OF PERMANENT VEGETATION OR PERMANENT MULCH/STONE) MUST BE ACHIEVED PRIOR TO REMOVING TEMPORARY EROSION CONTROL MEASURES.
 - ALL SEEDED AREAS SHALL BE FERTILIZED, RESEED, AND MULCHED AS NECESSARY TO MAINTAIN VIGOROUS, DENSE VEGETATIVE COVER.
 - TEMPORARY SEED MIXTURES SHALL NOT BE PLACED ON AREAS WHERE FINAL GRADE HAS BEEN ESTABLISHED AND TOPSOIL HAS BEEN PLACED UNLESS OTHERWISE DIRECTED BY THE PROJECT LANDSCAPE ARCHITECT.
 - THE LIMITS OF DISTURBANCE WILL BE STAKED FOR REVIEW BY THE BUILDING DEPARTMENT AND THE VILLAGE'S ENGINEERING CONSULTANT, PRIOR TO START OF CONSTRUCTION.

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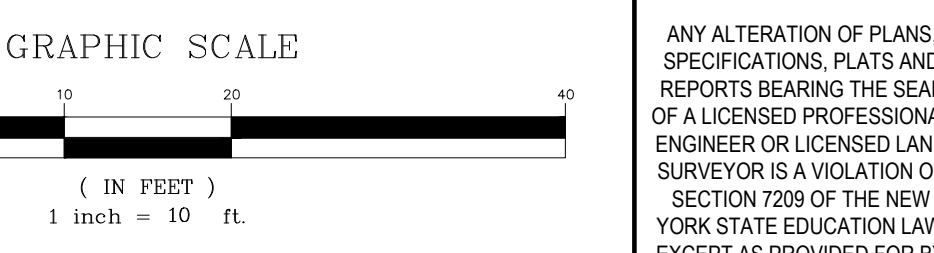
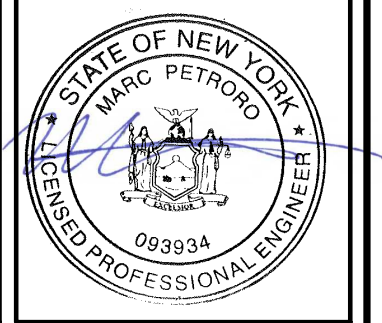
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JMC

EROSION AND SEDIMENT CONTROL PLAN

GAS STATION / CONVENIENCE MARKET
657 SAW MILL RIVER ROAD
VILLAGE OF ARDSLEY, NEW YORK



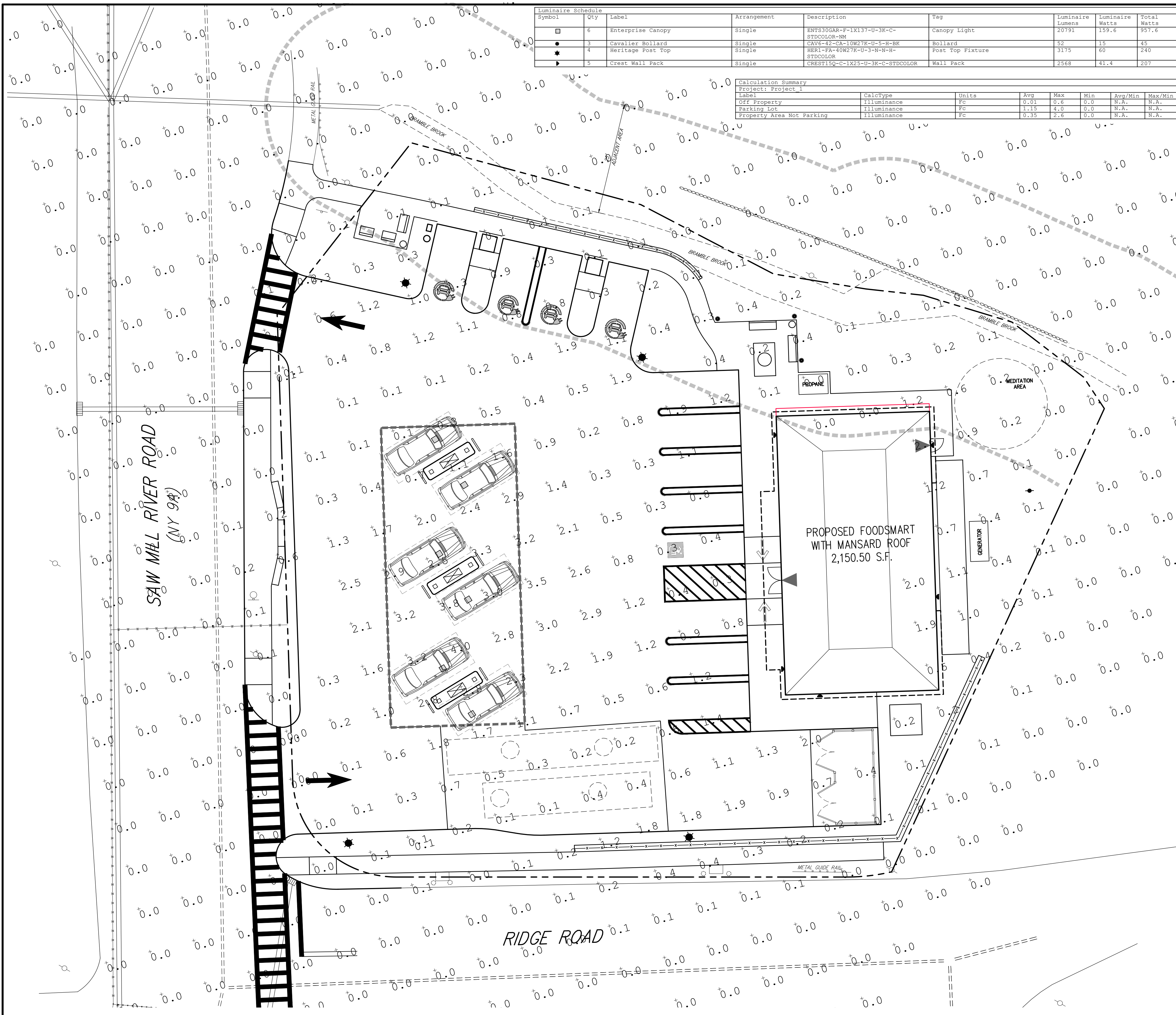
No.	Revision	Date	By
1.	REVISED PER TOWN COMMENTS	01/13/2022	CDF
2.	REVISED PER BOARD OF TRUSTEES COMMENTS	12/01/2023	SMN
3.	REVISED PER BOARD OF TRUSTEES COMMENTS	01/31/2024	RB
4.	REVISED PER BOARD OF TRUSTEES COMMENTS	03/22/2024	RB

Project No: 18175
1819-SE C-400-SE SE.ar
Drawing No: **C-400**

Previous Editions Obsolete

Drawn: **KRM** Approved: **RJP**
Scale: **1" = 10'**
Date: **06/26/2020**
Project No: **18175**
1819-SE C-400-SE SE.ar
Drawing No: **C-400**

NOT FOR CONSTRUCTION



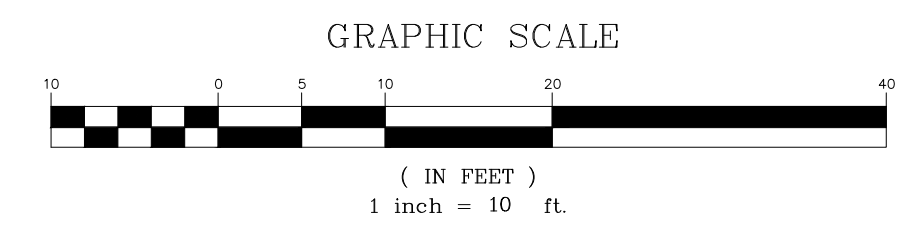
Symbol	Qty	Label	Arrangement	Description	Tag	Luminaire Lumens	Luminaire Watts	Total Watts
□	6	Enterprise Canopy	Single	ENTS10GAR-F-1X137-U-3K-C-STD/COLOR-MM	Canopy Light	20791	159.6	957.6
●	3	Cavalier Bollard	Single	CAYE-K2-CR-10W27K-U-5-H-BK	Bollard	52	15	45
★	4	Heritage Post Top	Single	HERI-PA-40W27K-U-3-N-N-H-STD/COLOR	Post Top Fixture	3175	60	240
▶	5	Crest Wall Pack	Single	CRES115G-C-1X25-U-3K-C-STD/COLOR	Wall Pack	2568	41.4	207

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Off Property	Illuminance	Fc	0.31	0.6	0.0	N.A.	N.A.
Parking Lot	Illuminance	Fc	1.15	4.0	0.0	N.A.	N.A.
Property Area Not Parking	Illuminance	Fc	0.35	2.6	0.0	N.A.	N.A.

LIGHTING LEGEND

- ○ EXISTING UTILITY POLE
- EXISTING LIGHT POLE
- GAS CANOPY LIGHTING (DESIGN BY OTHERS)
- ▶ WALL MOUNTED LIGHTING (MOUNTING HT. 12')
- ★ POLE MOUNTED LIGHT
- BOLLARD LIGHTING
- 0.1 NEW ILLUMINANCE IN FOOT-CANDELS

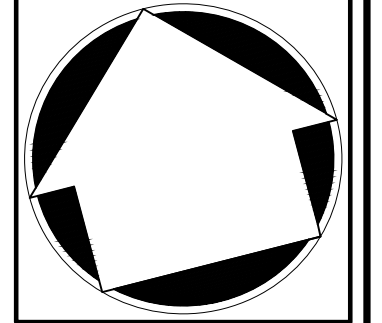
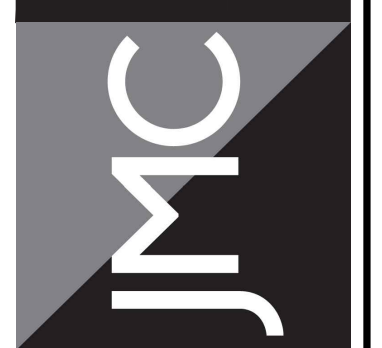
- NOTES:**
- EXISTING CONDITIONS DEPICTED ON THIS PLAN HAVE BEEN TAKEN FROM A SURVEY TITLED, "TOPOGRAPHY OF PROPERTY," PREPARED BY THOMAS C. MERRITTS LAND SURVEYORS, P.C., LAST REVISED 11/17/2020.
 - EXISTING CONDITIONS DEPICTED ON THIS PLAN HAVE BEEN SUPPLEMENTED UTILIZING NEW YORK STATE GIS CLEARHOUSE ORTHOPHOTOGRAPHY. THIS INFORMATION SHOULD BE CONSIDERED APPROXIMATE AND USED FOR PLANNING PURPOSES ONLY.
 - EXISTING CONDITIONS DEPICTED ON THIS PLAN HAVE ALSO BEEN SUPPLEMENTED WITH INFORMATION FROM "SITE LOCATION PLAN" PREPARED BY DRE ENVIRONMENTAL, INC., DATED 11/01/2016.
 - THE LIGHTING DESIGN SHOWN HEREON WAS PROVIDED BY SYNERGY LIGHTING AND DATED 11/10/2023.
 - ALL PROPOSED LIGHTING SHALL BE DARK SKY COMPLIANT.



APPLICANT/OWNER:
THORNWOOD FOUR CORNERS LLC.
25 SAINT CHARLES STREET
THORNWOOD, NY 10594

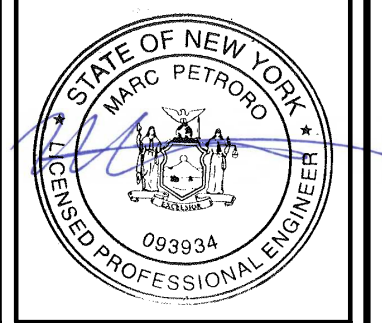
ARCHITECT:
GK+A ARCHITECTS, PC
36 AMES AVENUE
RUTHERFORD, NEW JERSEY 07070

JMC Planning, Engineering, Landscape Architecture & Land Surveying, PLLC
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LIGHTING PLAN

GAS STATION / CONVENIENCE MARKET
657 SAW MILL RIVER ROAD
VILLAGE OF ARDSLEY, NEW YORK



ANY ALTERATION OF PLANS, SPECIFICATIONS, PLATS AND REPORTS BEARING THE SEAL OF A LICENSED PROFESSIONAL ENGINEER OR LICENSED LAND SURVEYOR IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW, EXCEPT AS PROVIDED FOR BY SECTION 7209, SUBSECTION 2.

No.	Revision	Date	By
1.	REVISED PER BOARD OF TRUSTEES COMMENTS	12/01/2023	SMN
2.	LIGHTING REVISIONS	12/13/2023	DK
3.	REVISED PER BOARD OF TRUSTEES COMMENTS	01/31/2024	RB
4.	REVISED PER BOARD OF TRUSTEES COMMENTS	03/22/2024	RB

Drawn: **KRM** Approved: **RJP**
Scale: **1" = 10'**
Date: **05/26/2020**
Project No: **18175**
18175-SE C-600-LIGHT U211.sxd
Drawing No:
C-600

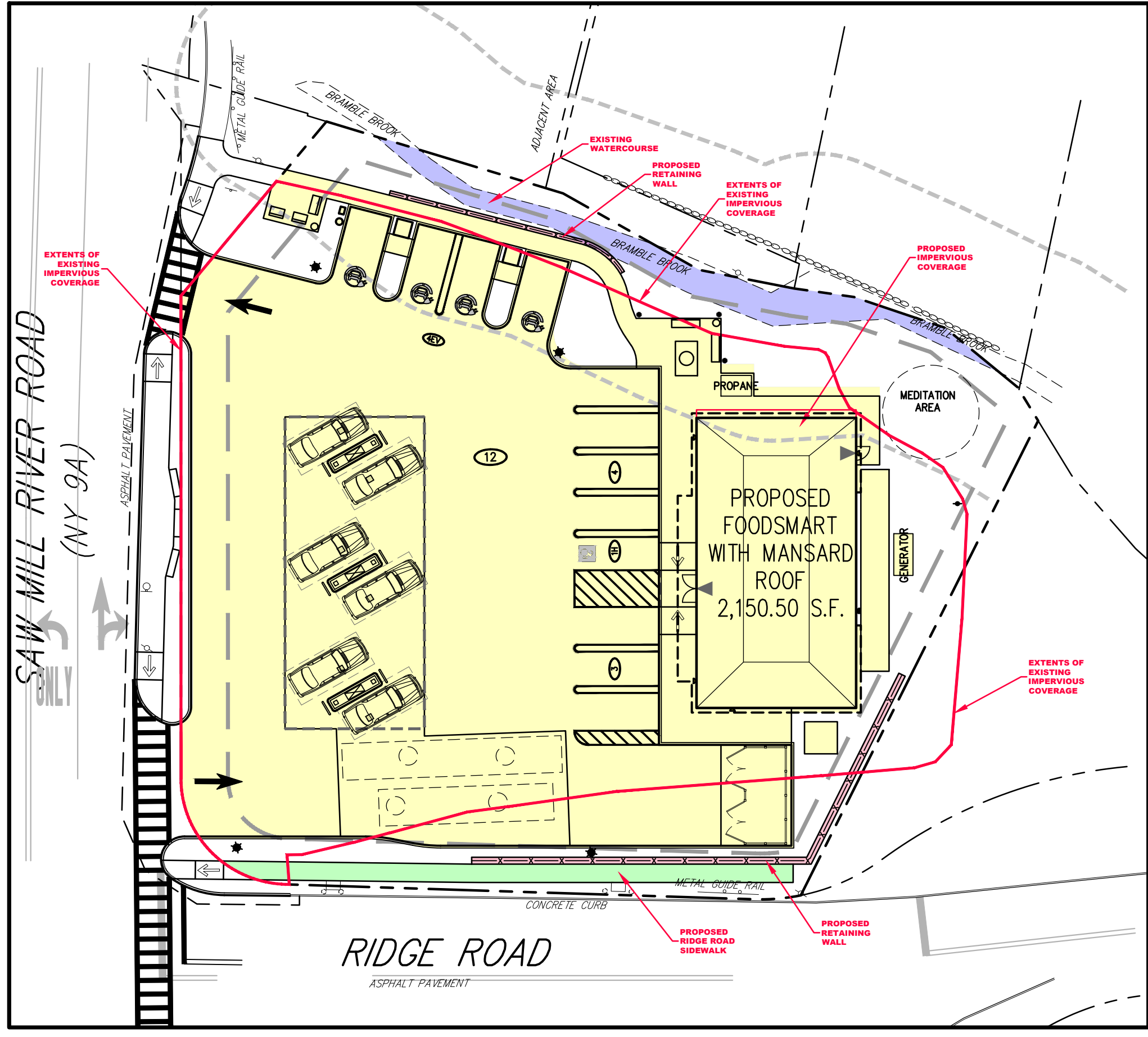
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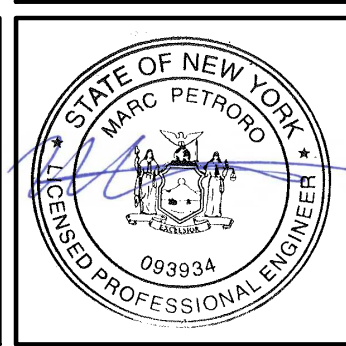


EXISTING CONDITIONS
 IMPERVIOUS COVERAGE BREAKDOWN
 WATERCOURSE — 656 SF
 PAVED SURFACES/BUILDINGS — 18,620 SF
TOTAL IMPERVIOUS COVERAGE — 19,276 SF



PROPOSED CONDITIONS
 IMPERVIOUS COVERAGE BREAKDOWN
 WATERCOURSE — 656 SF
 RETAINING WALL — 228 SF
 RIDGE ROAD SIDEWALK — 474 SF
 CONVENIENCE MART — 2,210 SF
 PAVED SURFACES/SIDEWALKS — 14,911 SF
TOTAL IMPERVIOUS COVERAGE — 18,479 SF
A NET REDUCTION OF 797 SF (4.1%)

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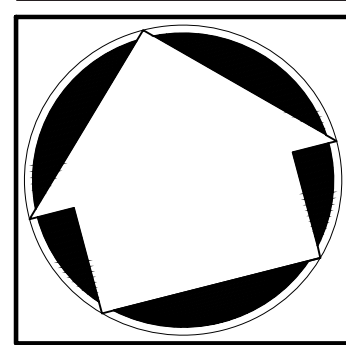
No.	Revision	Date	By
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2.	REVISED PER BOARD OF TRUSTEES COMMENTS	03/22/2024	RB

Previous Editions Obsolete

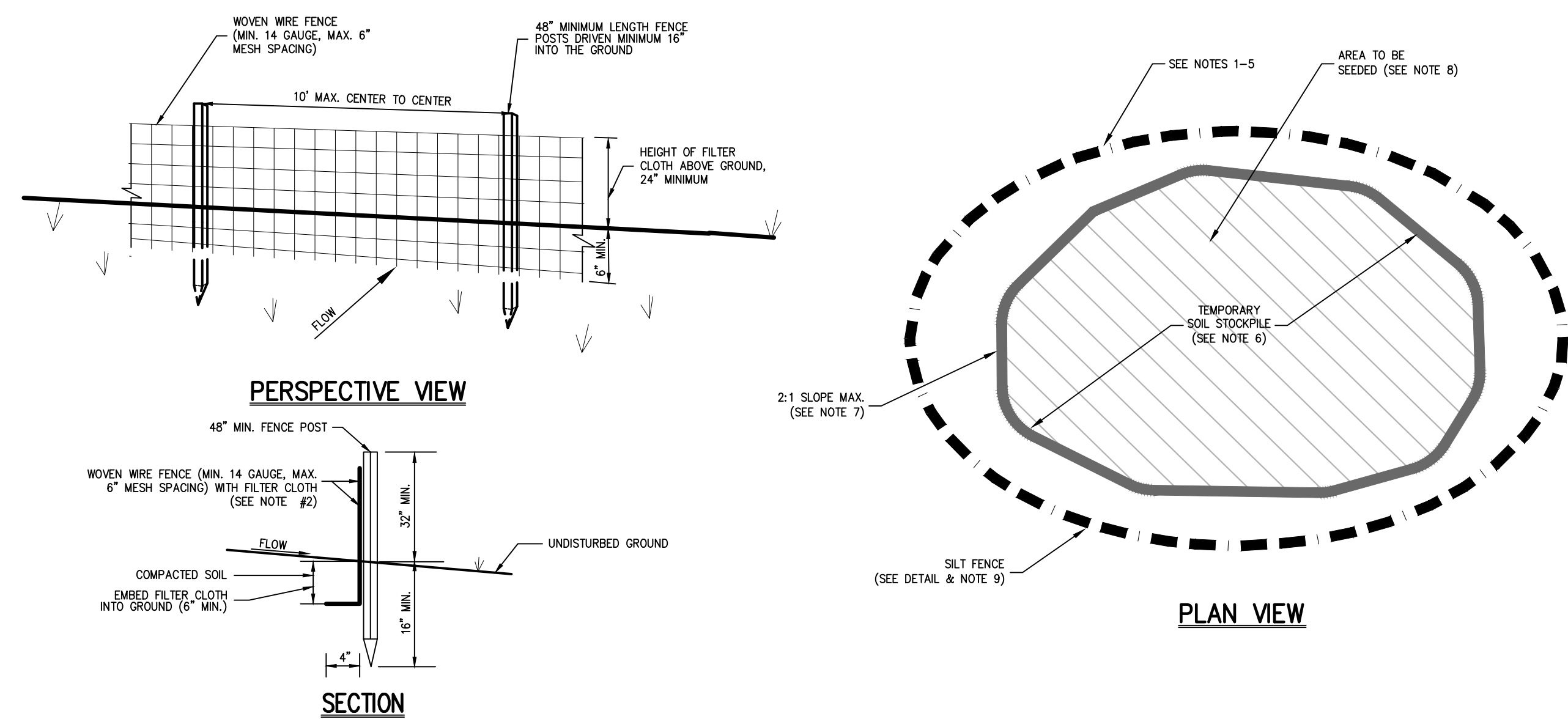
Drawn: **KRM** Approved: **RJP**
 Scale: **1" = 20'**
 Date: **01/31/2024**
 Project No: **18175**
 18175-02 C-700-NP MP/ls
 Drawing No:
C-700

APPLICANT/OWNER:
THORNWOOD FOUR CORNERS LLC.
 25 SAINT CHARLES STREET
 THORNWOOD, NY 10594
 ARCHITECT:
GK+A ARCHITECTS, PC
 36 AMES AVENUE
 RUTHERFORD, NEW JERSEY 07070

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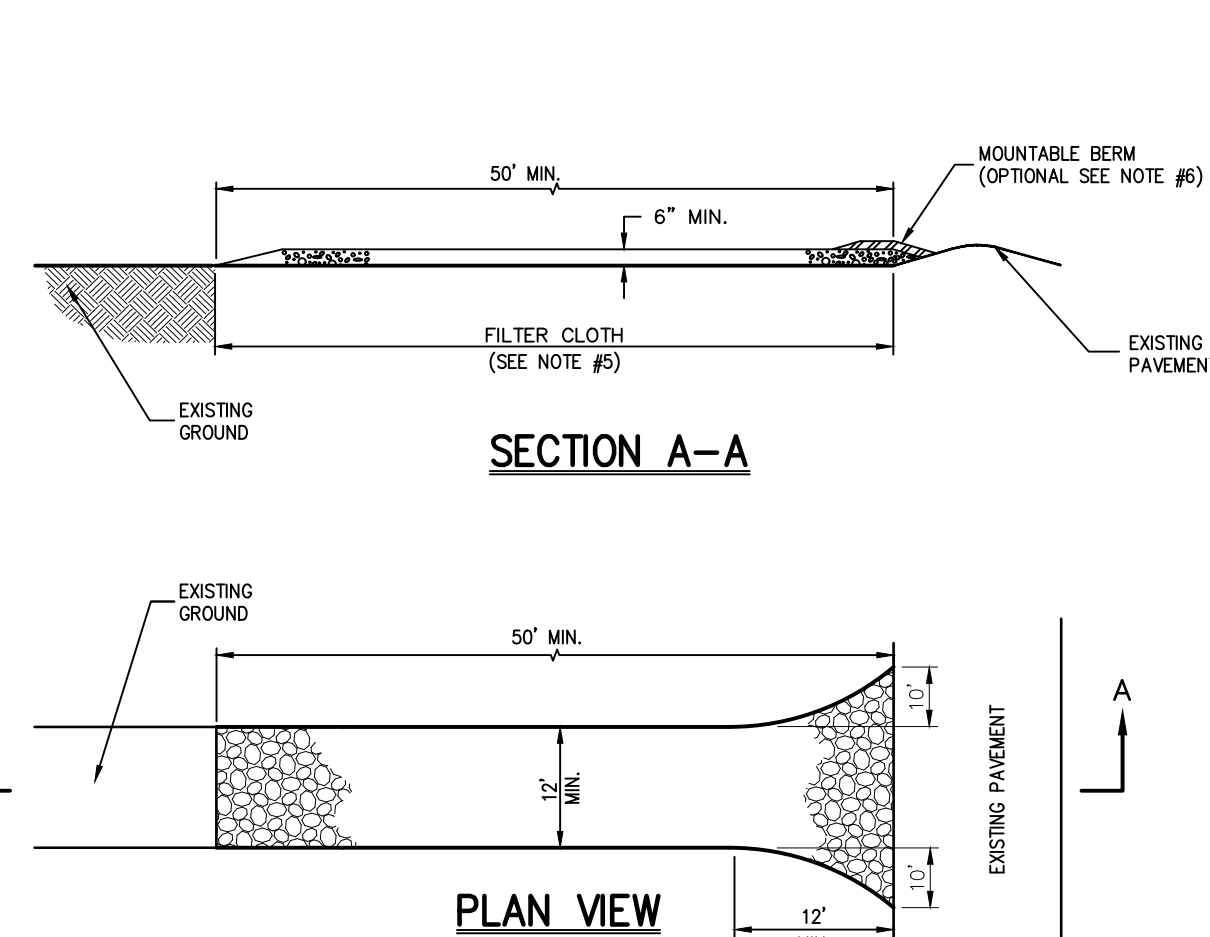
IMPERVIOUS COVERAGE COMPARISON MAP
 GAS STATION / CONVENIENCE MARKET
 657 SAW MILL RIVER ROAD
 VILLAGE OF ARDSLEY, NEW YORK



- NOTES:**
- WOVEN WIRE FENCE SHALL BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. POSTS SHALL BE STEEL, EITHER T OR U TYPE OR HARDWOOD.
 - FILTER CLOTH SHALL BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24\"/>
 - WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER, THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTER X, MIRAFI 100X, STABUNKA THORN, OR APPROVED EQUAL.
 - PREFABRICATED UNITS SHALL BE GEOTAB, ENVIROFENCE, OR APPROVED EQUAL.
 - MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED AND REPLACED WHEN "BULGES" DEVELOP IN THE SILT FENCE.
 - THE AREA CHOSEN FOR ALL TEMPORARY SOIL STOCKPILES SHALL BE DRY AND STABLE.
 - ALL STOCKPILED SOIL SHALL NOT CONTAIN SLOPES GREATER THAN 2:1.
 - UPON COMPLETION OF SOIL STOCKPILING, EACH PILE SHALL BE SEEDED WITHIN 24 HOURS. PERENNIAL OR ANNUAL RYEGRASS SHALL BE PLANTED DURING SPRING, SUMMER OR EARLY FALL. WINTER RYE (CERIAL RYE) SHALL BE PLANTED DURING LATE FALL OR EARLY WINTER.
 - ALL STOCKPILES SHALL BE PROTECTED WITH SILT FENCING INSTALLED AROUND THE PERIMETER.

TEMPORARY SOIL STOCKPILE WITH SILT FENCE

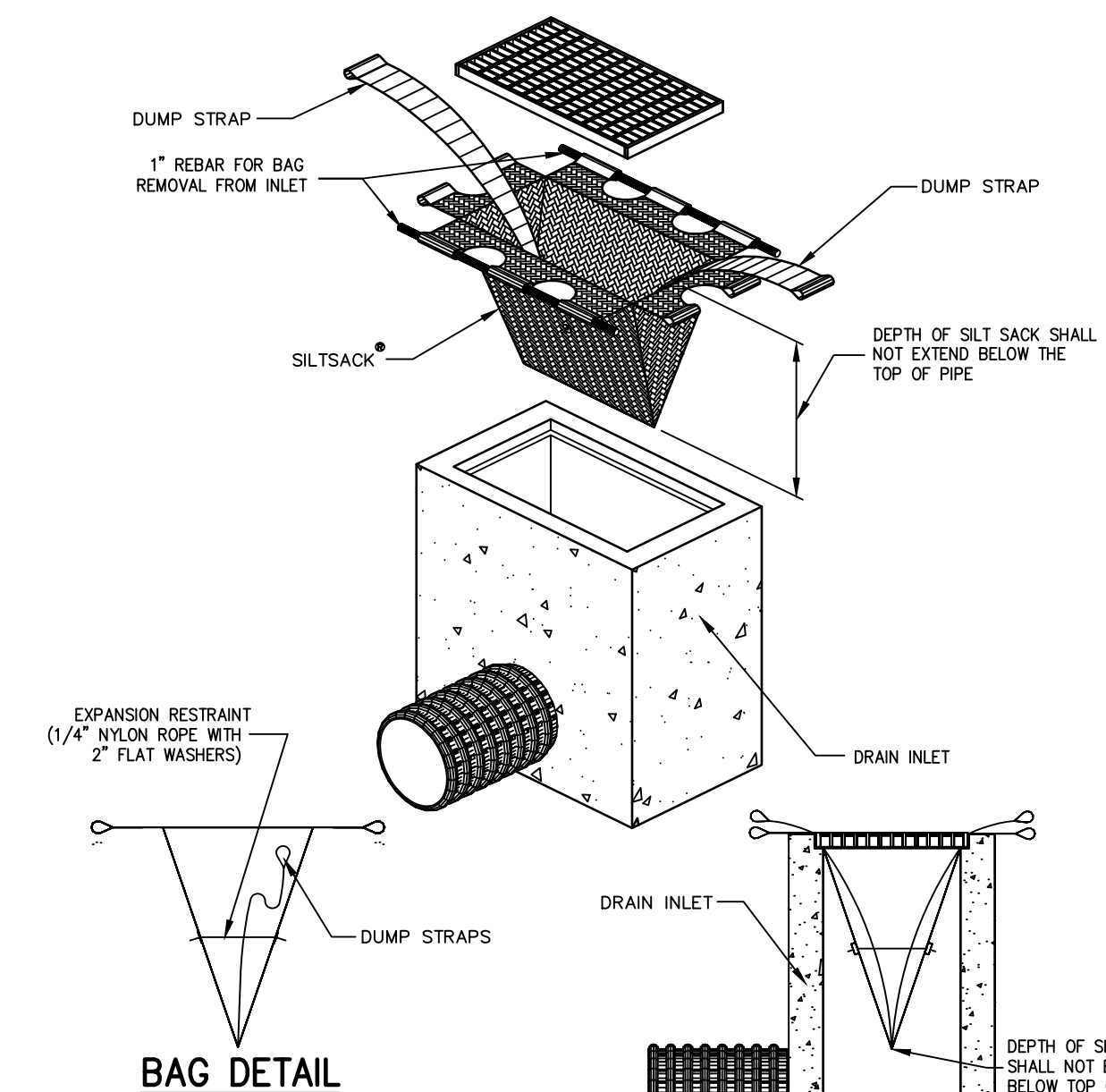
1



- NOTES:**
- STONE SIZE - USE 1\"/>
 - LENGTH - AS REQUIRED, BUT NOT LESS THAN 50 FEET.
 - THICKNESS - NOT LESS THAN SIX (6) INCHES.
 - WIDTH - 12 FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS. 24 FOOT MINIMUM IF SINGLE ENTRANCE TO SITE.
 - FILTER CLOTH TO BE PLACED OVER THE ENTIRE WIDTH AND LENGTH OF AREA PRIOR TO PLACING OF STONE.
 - SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED BENEATH THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
 - MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURE USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
 - WASHING - WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHTS-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
 - PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

STABILIZED CONSTRUCTION ENTRANCE

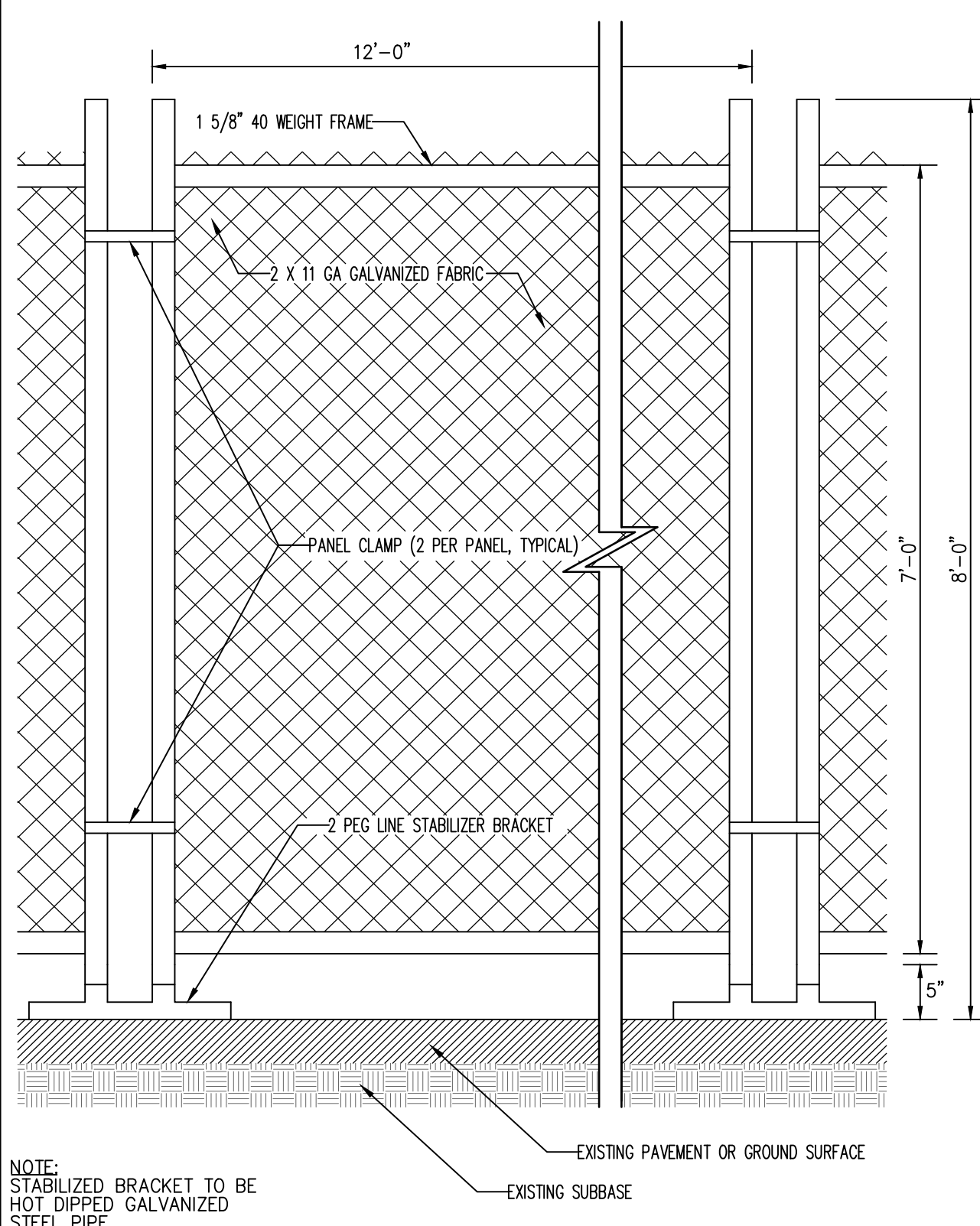
2



- HI-FLOW SILT SACK AS MANUFACTURED BY AC ENVIRONMENTAL OR APPROVED EQUAL (FOR AREAS OF MODERATE TO HEAVY PRECIPITATION AND RUN-OFF)**
- | PROPERTIES | TEST METHOD | UNITS |
|-------------------------|-------------|-------------------|
| GRAB TENSILE STRENGTH | ASTM D-4632 | 265 LBS |
| GRAB TENSILE ELONGATION | ASTM D-4632 | 20 % |
| PUNCTURE | ASTM D-4833 | 135 LBS |
| MULLEN BURST | ASTM D-3796 | 420 PSI |
| TRAPEZOID TEAR | ASTM D-4533 | 45 LBS |
| UV RESISTANCE | ASTM D-4355 | 90 % |
| APPARENT OPENING SIZE | ASTM D-4751 | 20 US SIEVE |
| FLOW RATE | ASTM D-4491 | 200 GAL/MIN/50 FT |
| PERMEABILITY | ASTM D-4491 | 1.5 SEC -1 |
- NOTE:**
CURB INLETS SHALL BE TYPE B WITH CURB DEFLECTOR.

SILT SACK

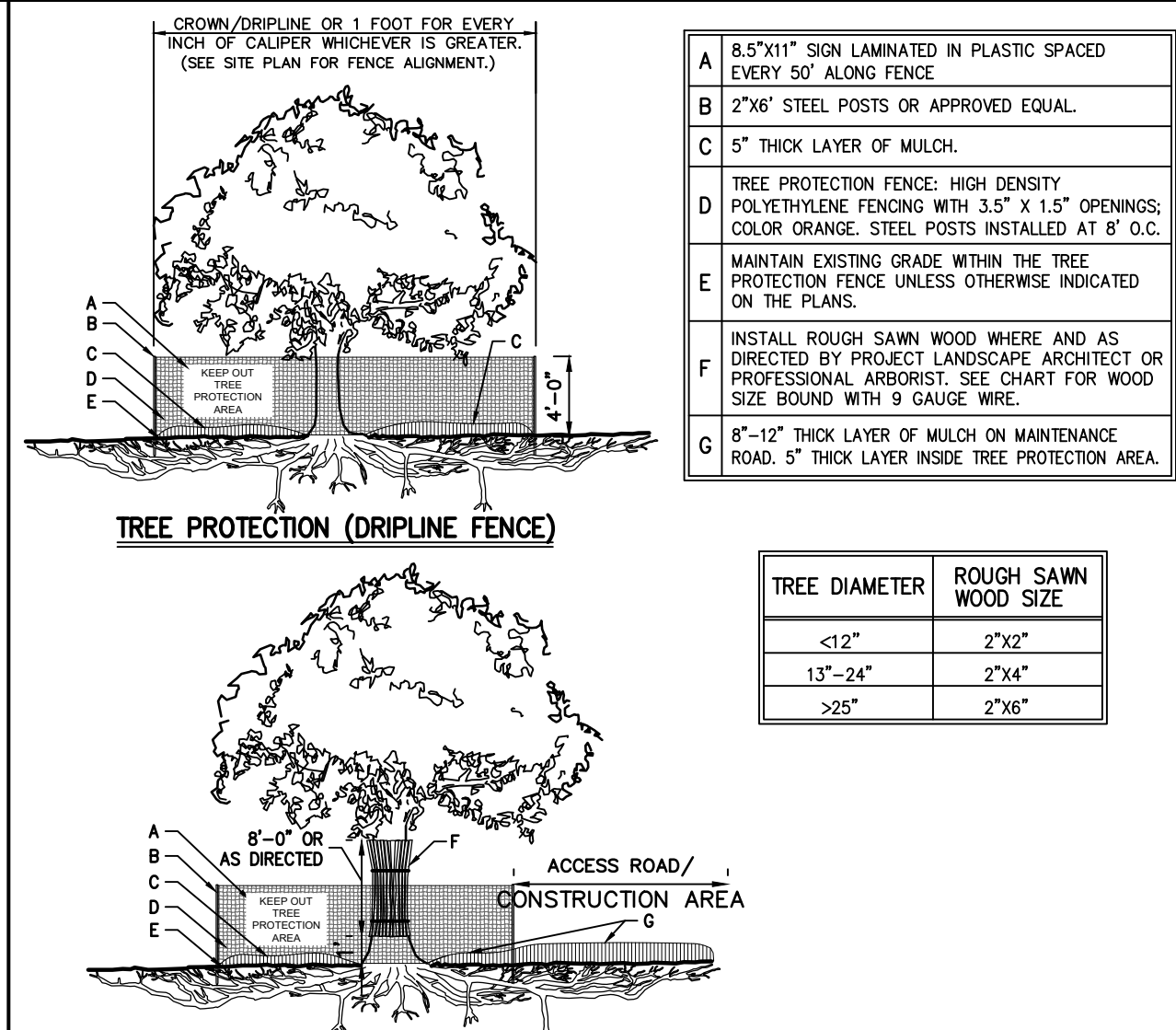
3



NOTE:
STABILIZED BRACKET TO BE HOT DIPPED GALVANIZED STEEL PIPE.

TEMPORARY CHAIN LINK CONSTRUCTION FENCE

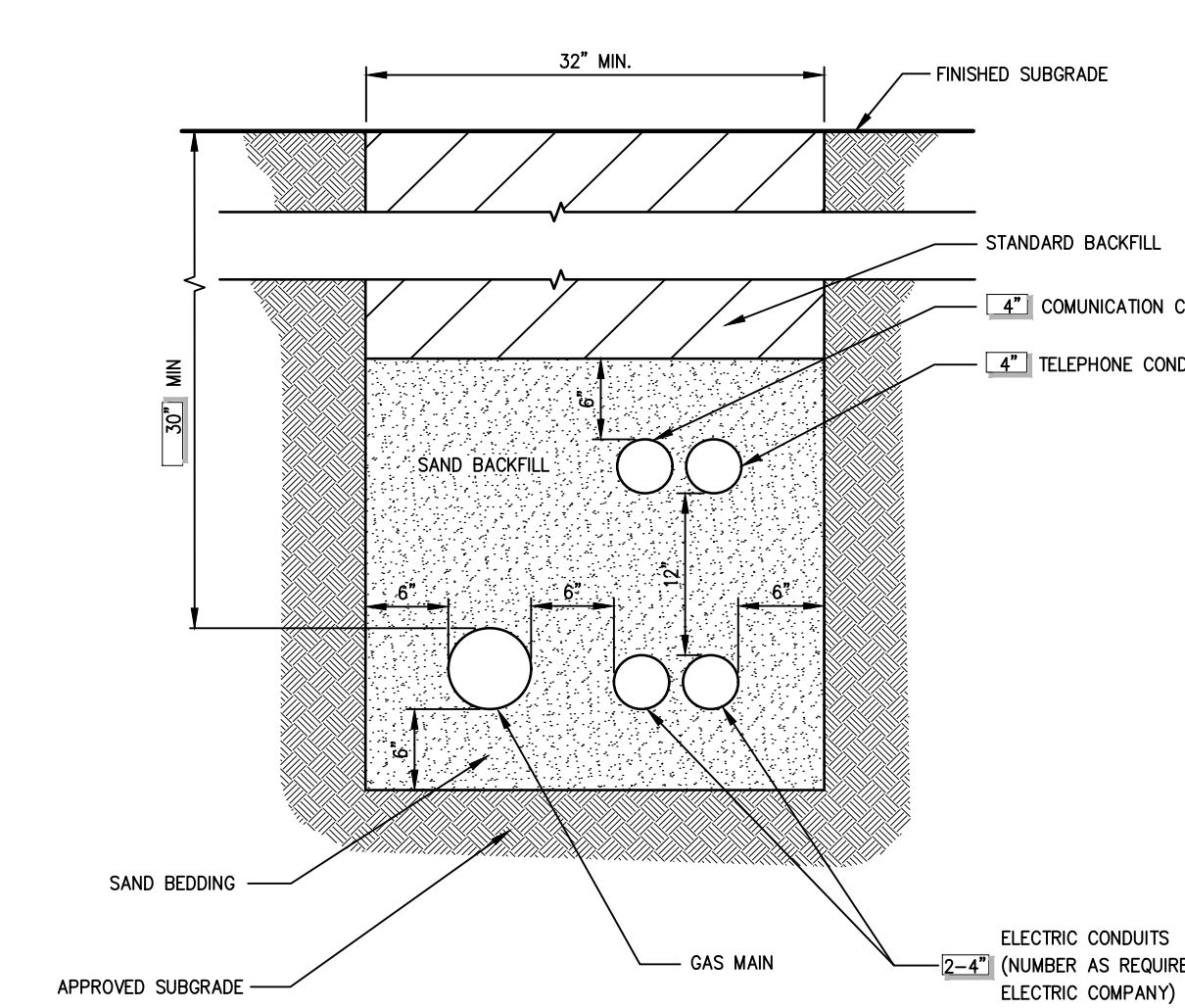
4



- NOTES:**
- SEE SPECIFICATIONS FOR ADDITIONAL TREE PROTECTION REQUIREMENTS.
 - IF THERE IS NO EXISTING IRRIGATION, SEE SPECIFICATIONS FOR WATERING REQUIREMENTS.
 - NO PRUNING SHALL BE PERFORMED EXCEPT BY APPROVED ARBORIST.
 - NO EQUIPMENT SHALL OPERATE INSIDE THE PROTECTIVE FENCING INCLUDING DURING FENCE INSTALLATION AND REMOVAL.
 - SEE SITE PLANS FOR IDENTIFICATIONS/LOCATIONS OF INDIVIDUAL TREES TO BE PROTECTED.
 - ALL EXCAVATION WITHIN THE CROWN/DRIPLINE OF ANY TREE SHALL BE PERFORMED UNDER THE DIRECT SUPERVISION OF THE PROJECT LANDSCAPE ARCHITECT OR PROFESSIONAL ARBORIST. SPECIAL MEASURES, SUCH AS THE USE OF AN AIR SPADE MAY BE REQUIRED.
 - THE CONTRACTOR MAY PROPOSE THE USE OF ENGINEERED MATTING OR OTHER ENGINEERED PRODUCTS IN LIEU OF MULCH, WHICH SHALL BE SUBJECT TO THE REVIEW AND APPROVAL OF ALL AUTHORITIES HAVING JURISDICTION.

TREE PROTECTION

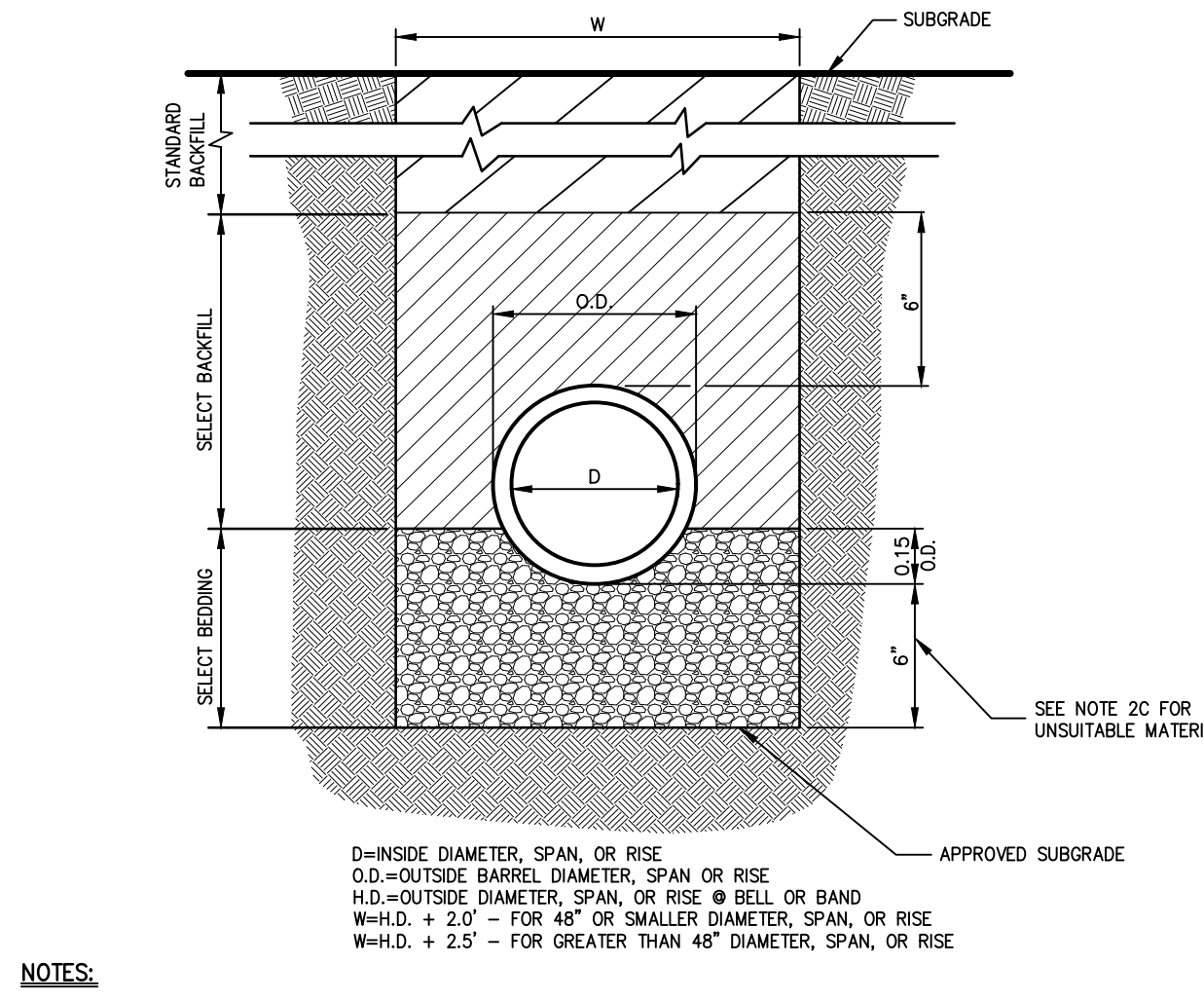
5



- NOTES:**
- UTILITIES TO BE INSTALLED IN ACCORDANCE WITH THE REGULATIONS AND REQUIREMENTS OF THE UTILITY COMPANY HAVING JURISDICTION.
 - BACKFILL FOR PIPE AND CONDUIT SHALL BE PLACED EVENLY AND CAREFULLY AROUND AND OVER THE PIPE OR CONDUIT IN SIX (6) INCH MAXIMUM LAYERS. EACH LAYER SHALL BE THOROUGHLY AND CAREFULLY COMPACTED UNTIL TWELVE (12) INCHES OF COVER EXISTS OVER THE PIPE OR CONDUIT. THE REMAINDER OF THE BACKFILL MAY THEN BE PLACED AND COMPACTED IN A MAXIMUM OF TWELVE (12) INCH LAYERS. EACH LAYER SHALL BE COMPACTED BY APPROVED MECHANICAL TAMPING MACHINES. UNLESS OTHERWISE SPECIFIED BACKFILL SHALL BE COMPACTED TO NOT LESS THAN [REDACTED] MAXIMUM MODIFIED DENSITY IN ACCORDANCE WITH ASTM DESIGNATION D-1557 IN THE MANNER HEREIN DESCRIBED. BACKFILL SHALL PROCEED UP TO THE LINES AND GRADES AS SHOWN ON THE DRAWINGS.

UTILITY TRENCH DETAIL

6



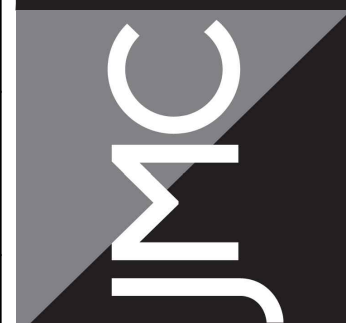
- NOTES:**
- FOR TYPE II TRENCH, MATERIAL FOR SELECT BEDDING AND SELECT BACKFILL SHALL BE:
 - EITHER SAND OR CRUSHED STONE IF NO WATER IS ENCOUNTERED IN TRENCH.
 - 3/4\"/>
 - TYPE II TRENCH SHALL BE USED IN ALL OF THE FOLLOWING CASES:
 - FOR ALL CORRUGATED POLYETHYLENE DRAIN PIPE (CPDP) AND PVC PIPE AND CONDUIT INSTALLATION.
 - WHEN ROCK OR HARDPAN IS ENCOUNTERED IN BOTTOM OF TRENCH.
 - WHEN UNSUITABLE MATERIAL IS ENCOUNTERED IN BOTTOM OF TRENCH. IN SUCH CASE DEPTH OF UNDERCUTTING SHALL BE AS DIRECTED BY THE ENGINEER WITH 6\"/>
 - FOR ALL TRENCH EXCAVATION IN FILL AREAS, ALL EMBANKMENTS SHALL BE CONSTRUCTED TO A MINIMUM OF 2 FEET ABOVE THE OUTSIDE TOP (AT THE BELL) OF THE PIPE PRIOR TO BEGINNING ANY TRENCH EXCAVATION.
 - BACKFILL FOR PIPE AND CONDUIT SHALL BE PLACED EVENLY AND CAREFULLY AROUND AND OVER THE PIPE OR CONDUIT IN SIX (6) INCH MAXIMUM LAYERS. EACH LAYER SHALL BE THOROUGHLY AND CAREFULLY COMPACTED UNTIL TWELVE (12) INCHES OF COVER EXISTS OVER THE PIPE OR CONDUIT. THE REMAINDER OF THE BACKFILL MAY THEN BE PLACED AND COMPACTED IN A MAXIMUM OF TWELVE (12) INCH LAYERS. EACH LAYER SHALL BE COMPACTED BY APPROVED MECHANICAL TAMPING MACHINES. UNLESS OTHERWISE SPECIFIED BACKFILL SHALL BE COMPACTED TO NOT LESS THAN [REDACTED] MAXIMUM MODIFIED DENSITY IN ACCORDANCE WITH ASTM DESIGNATION D-1557 IN THE MANNER HEREIN DESCRIBED. BACKFILL SHALL PROCEED UP TO THE LINES AND GRADES AS SHOWN ON THE DRAWINGS.

TYPE II TRENCH

7

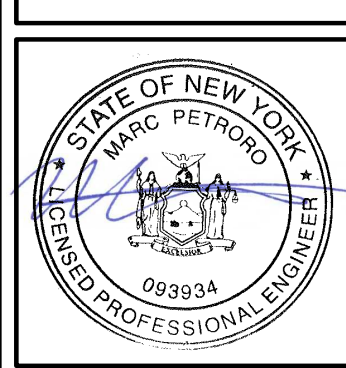
No.	Revision	Date
1.	REVISED PER TOWN COMMENTS	01/13/2022
2.	REVISED PER BOARD OF TRUSTEES COMMENTS	12/01/2023
3.	REVISED PER BOARD OF TRUSTEES COMMENTS	01/31/2024
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SITE DETAILS
GAS STATION / CONVENIENCE MARKET
657 SAW MILL RIVER ROAD
VILLAGE OF ARDSLEY, NEW YORK

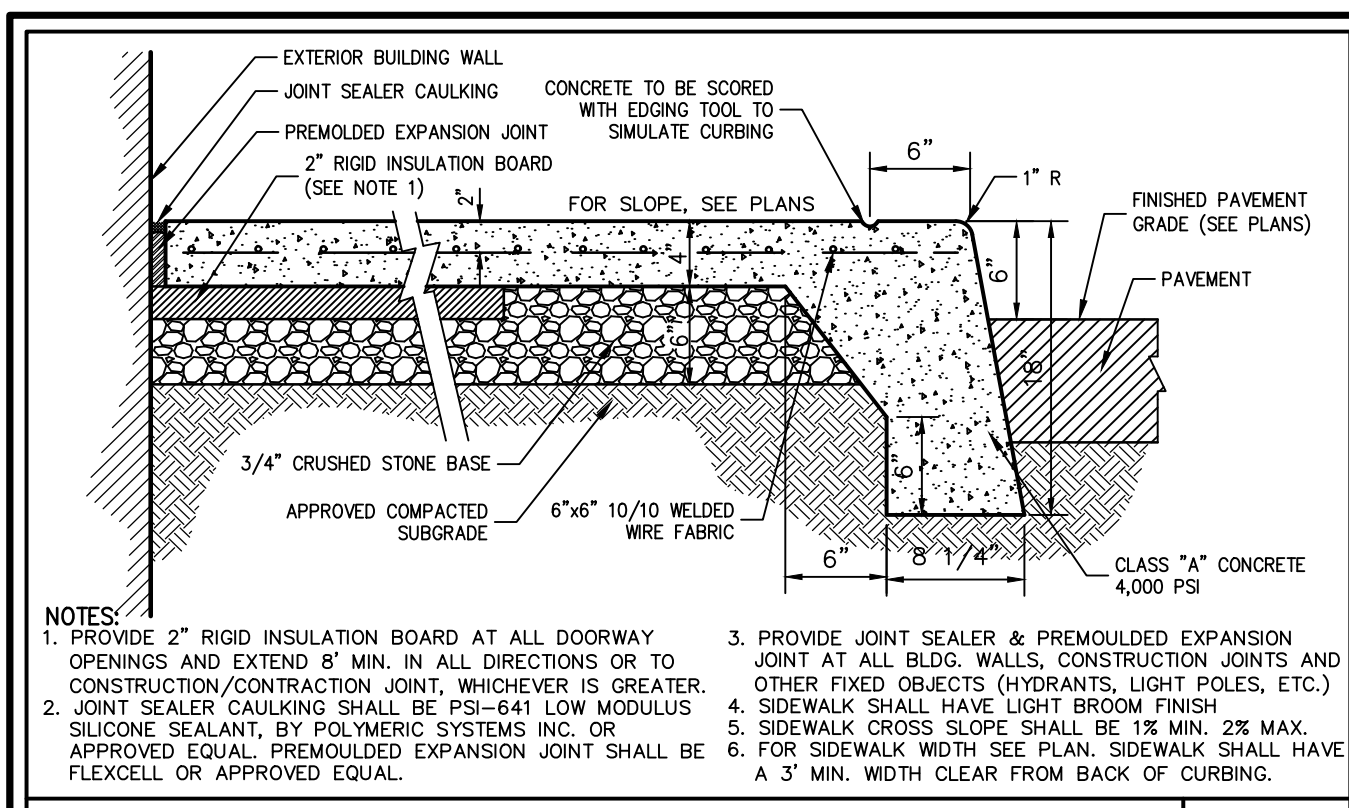
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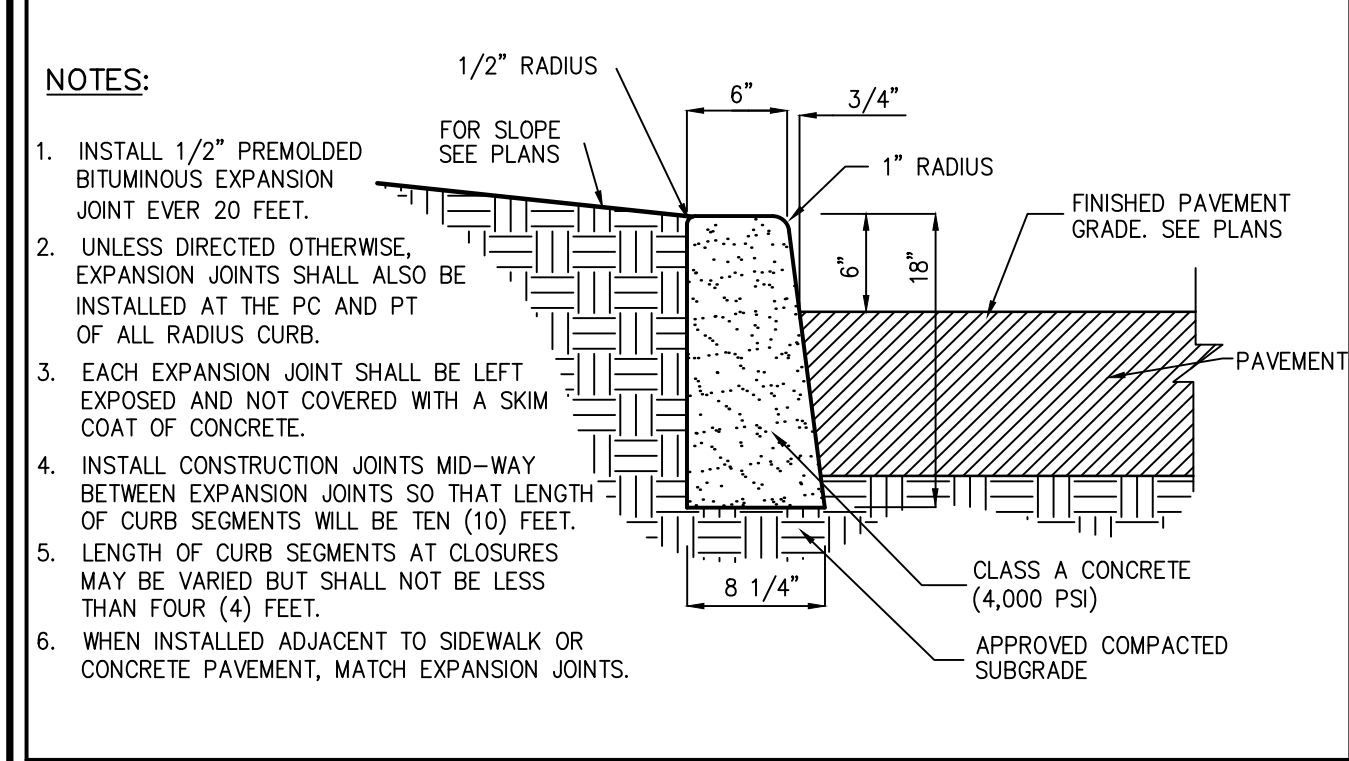
Drawn: **KRM** Approved: **RJP**
Scale: **NOT TO SCALE**
Date: **06/26/2020**
Project No: **18175**
1815-DRAW C-900
Drawing No:

C-900

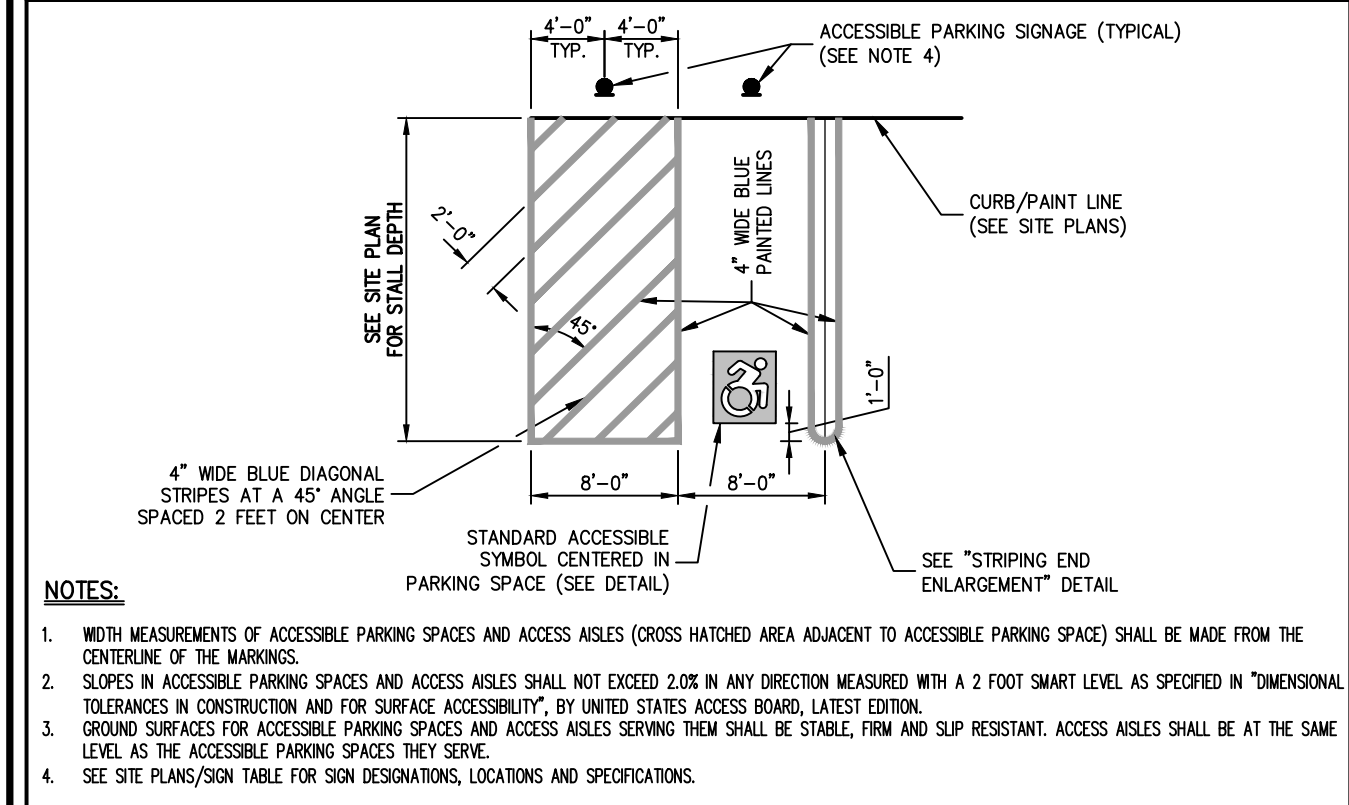
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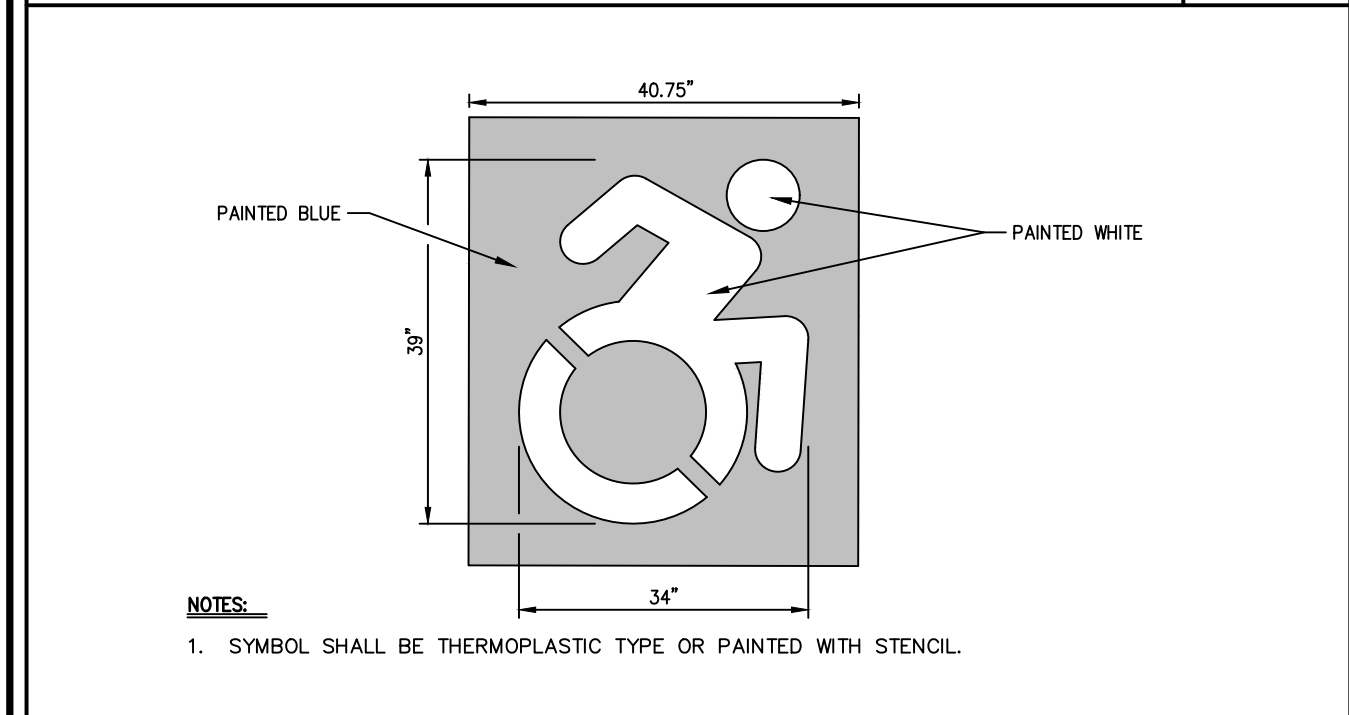
BUILDING PERIMETER MONOLITHIC CURB & SIDEWALK 8



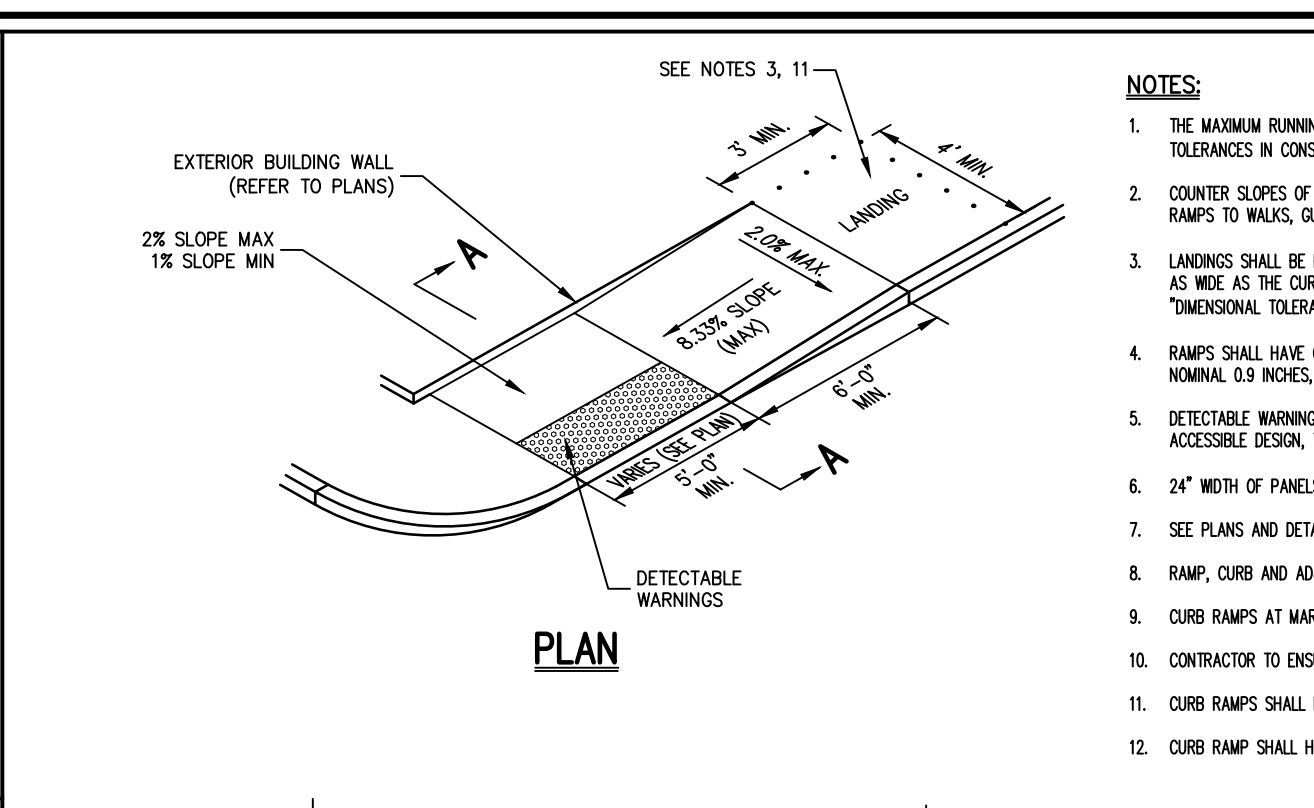
CAST-IN-PLACE CONCRETE CURB 9



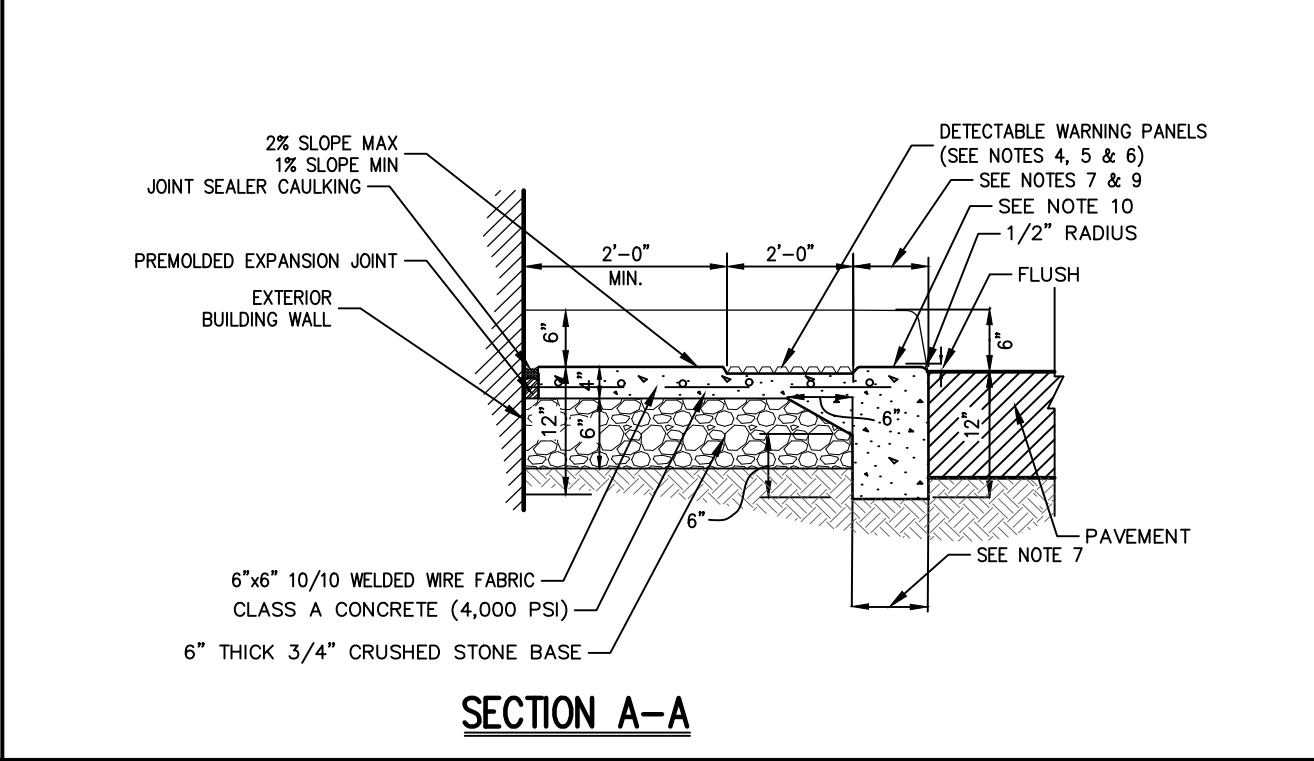
ACCESSIBLE PARKING 13



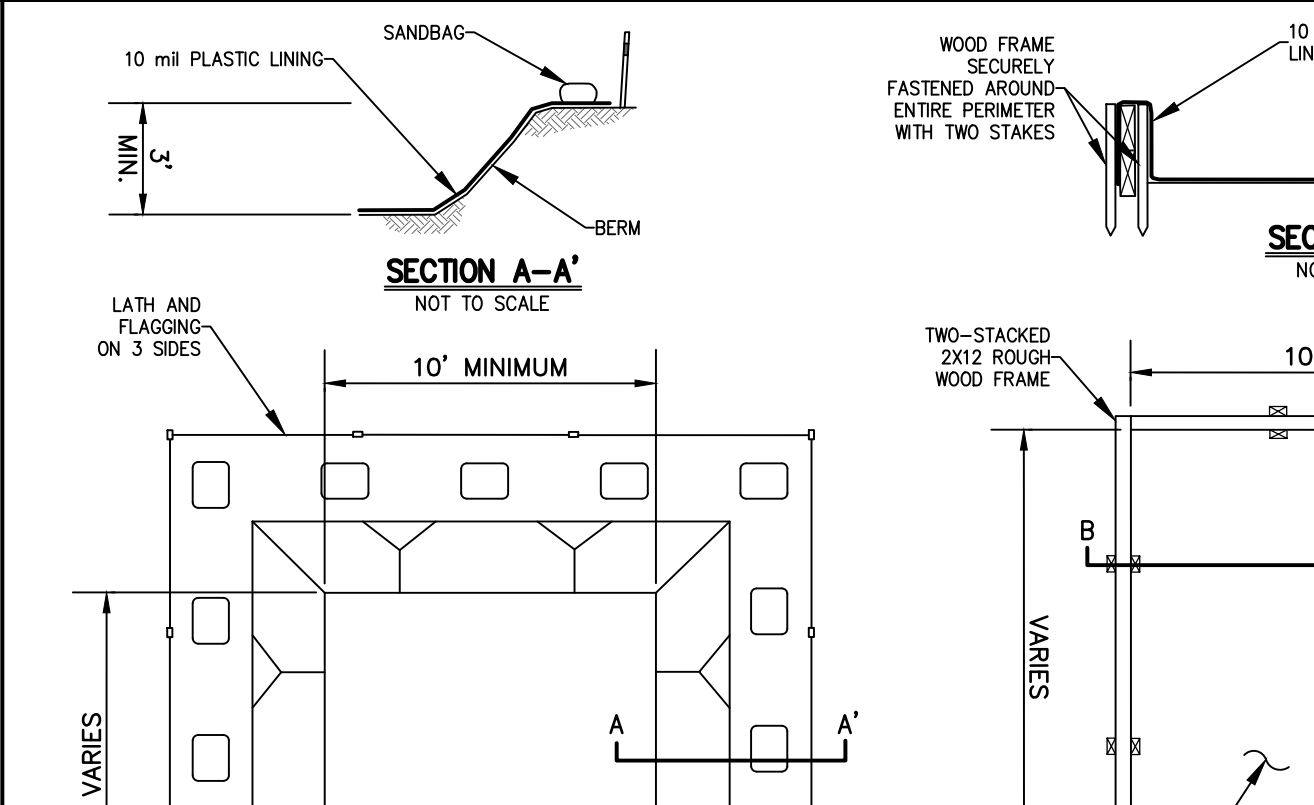
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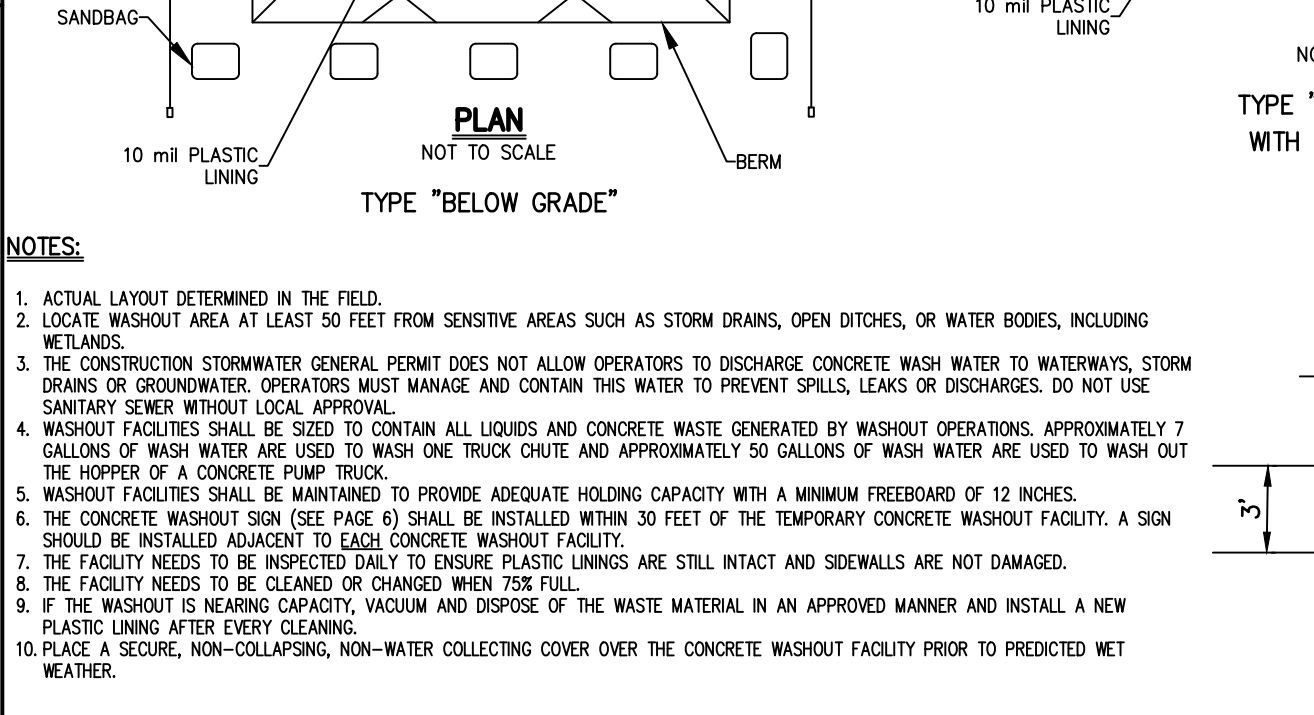
SITE PARALLEL CURB RAMP 10



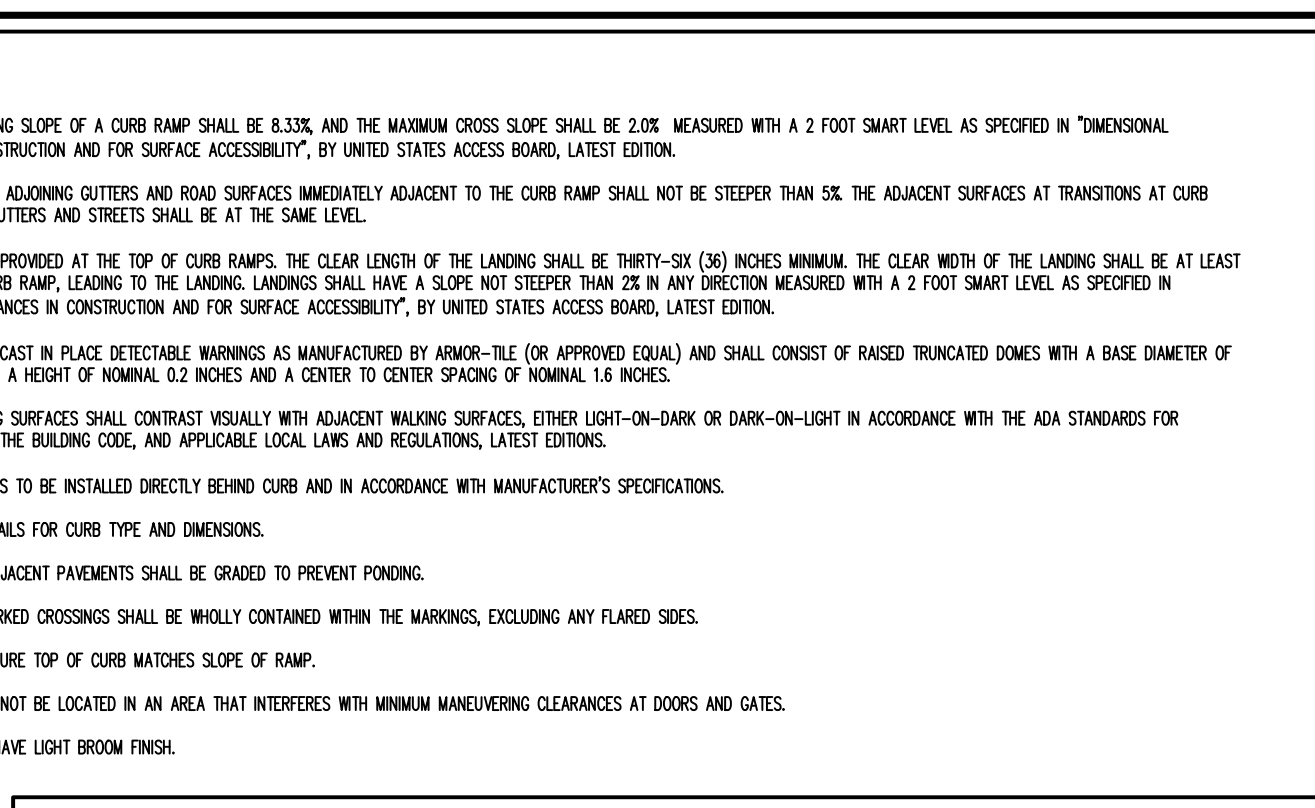
SITE PAVEMENT (HEAVY DUTY) 11



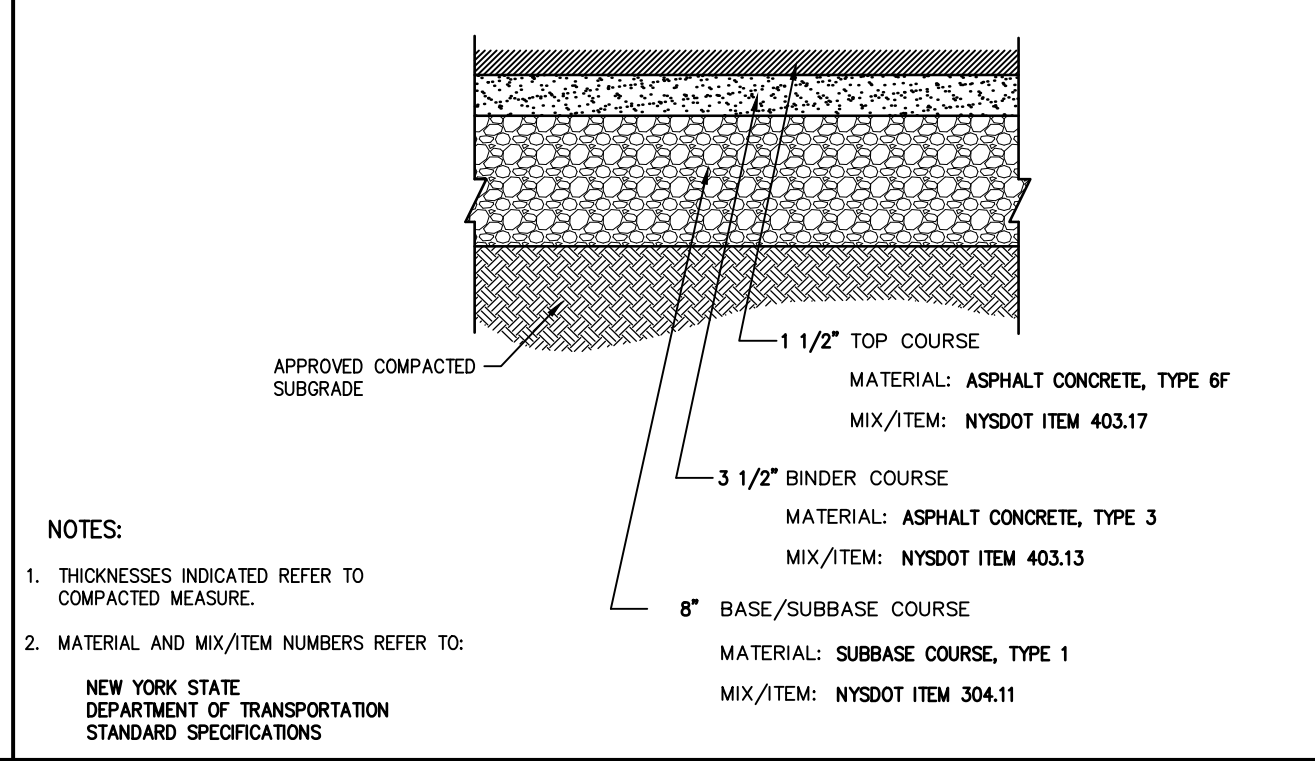
CONCRETE WASHOUT 14



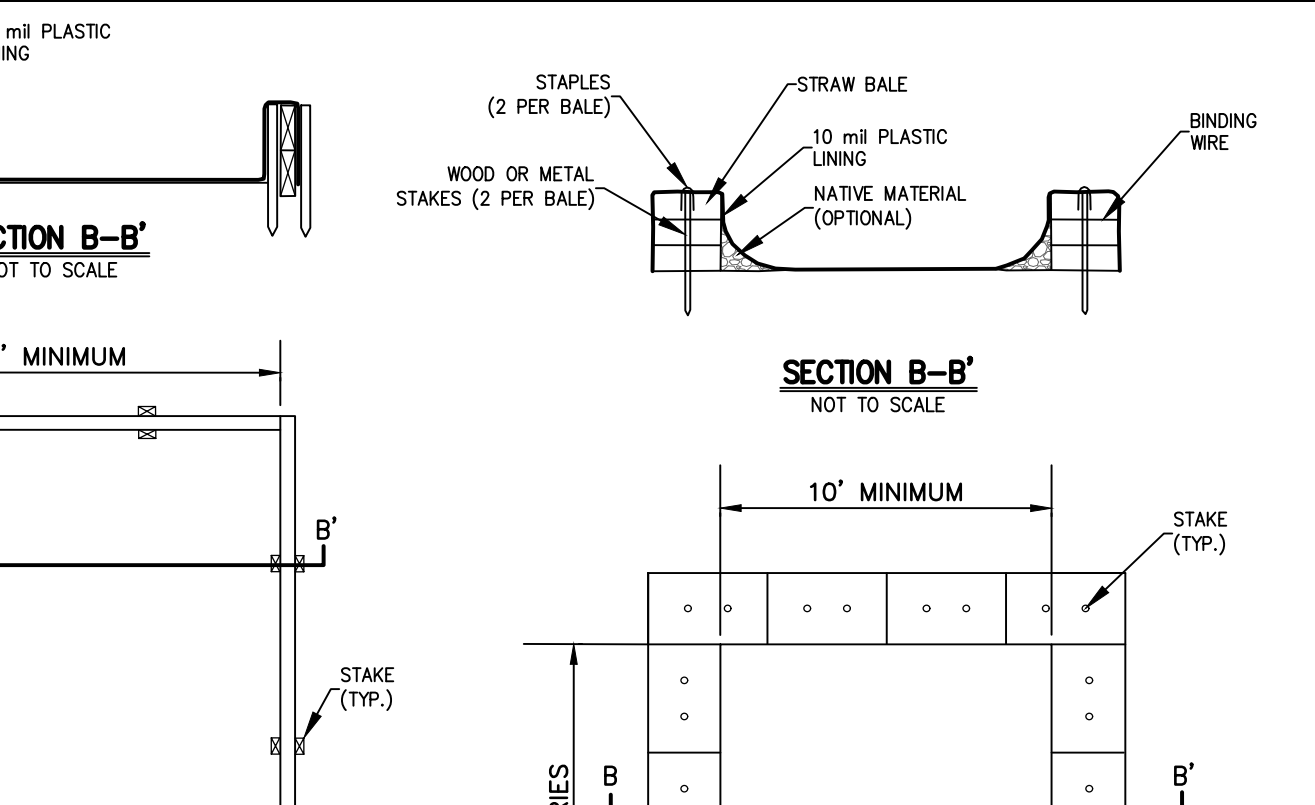
CONCRETE WASHOUT (OR EQUIVALENT) 14



TRENCH DRAIN (END OUTLET) 12



WATER SERVICE CONNECTION 15

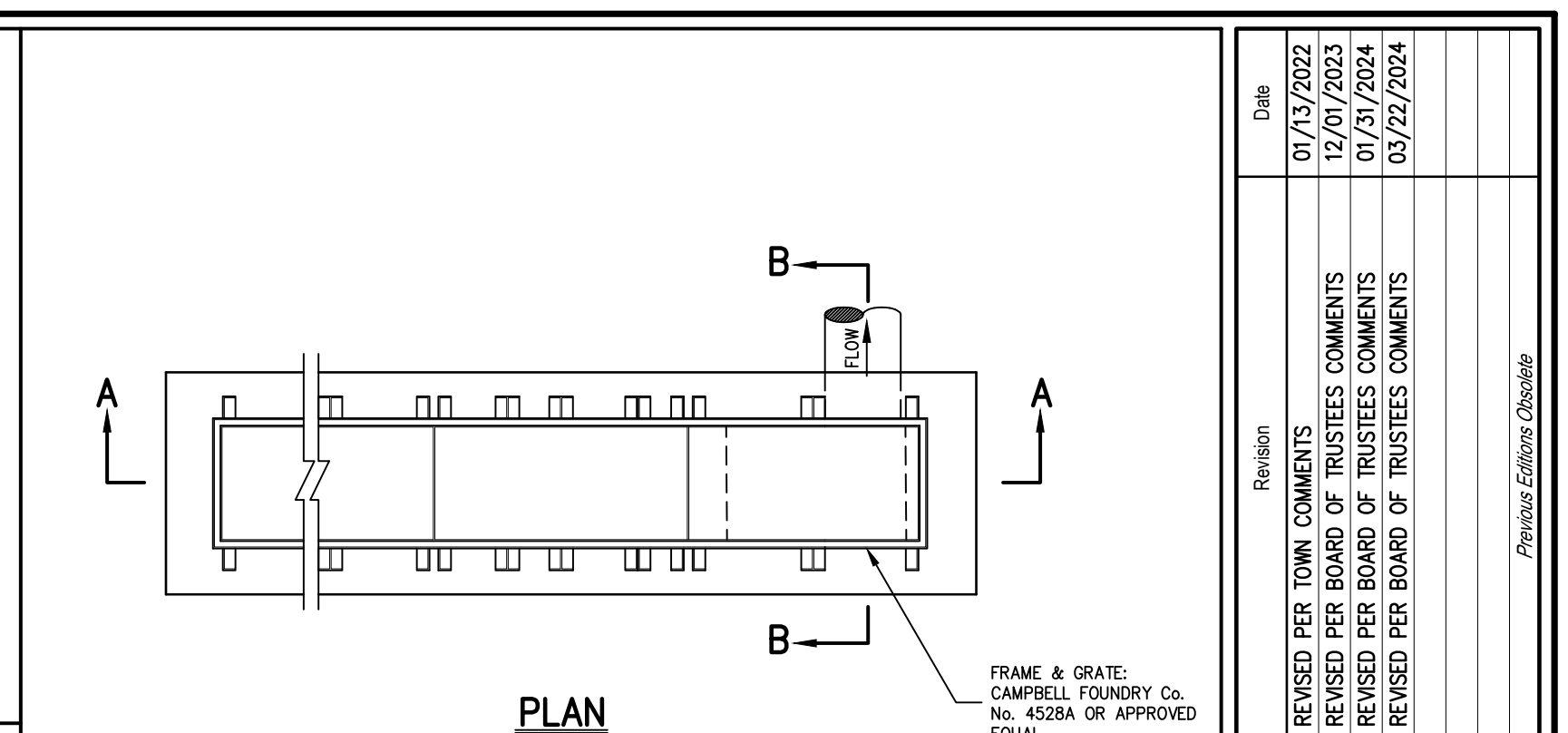


WATER SERVICE CONNECTION (2" OR LESS) 15

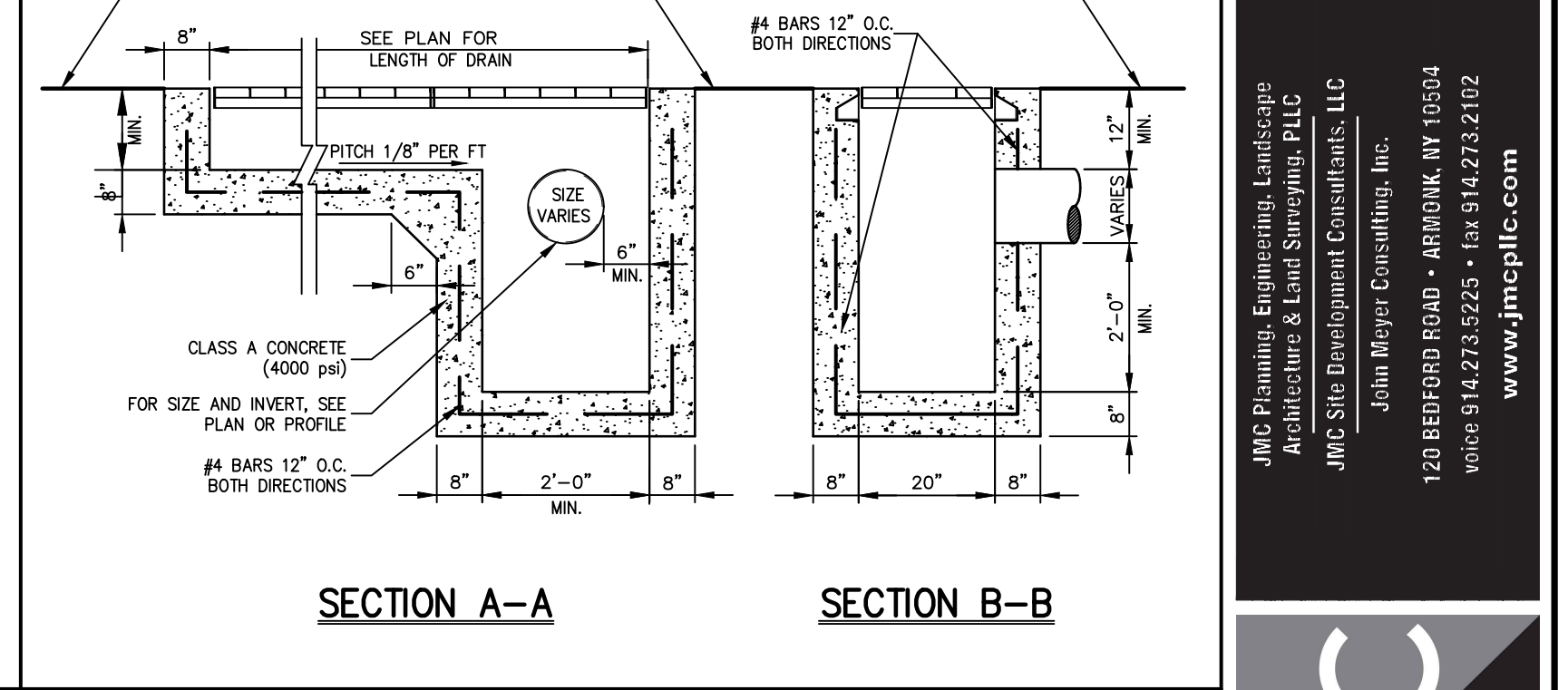
SERVICE LINE REQUIREMENTS

SIZE	SERVICE LINE (MATERIALS)	CORPORATION STOP	CURB STOP	CURB BOX	ENLARGED BASE
3/4"	COPPER, TYPE K	H-15008 N	H-15214 N	H-10308	Not Applicable
1"	COPPER, TYPE K	H-15008 N	H-15214 N	H-10308	Not Applicable
1-1/2"	COPPER, TYPE K	H-15013 N	H-15214 N	H-10310	Not Applicable
2"	COPPER, TYPE K	H-15013 N	H-15214 N	H-10310	H-10349

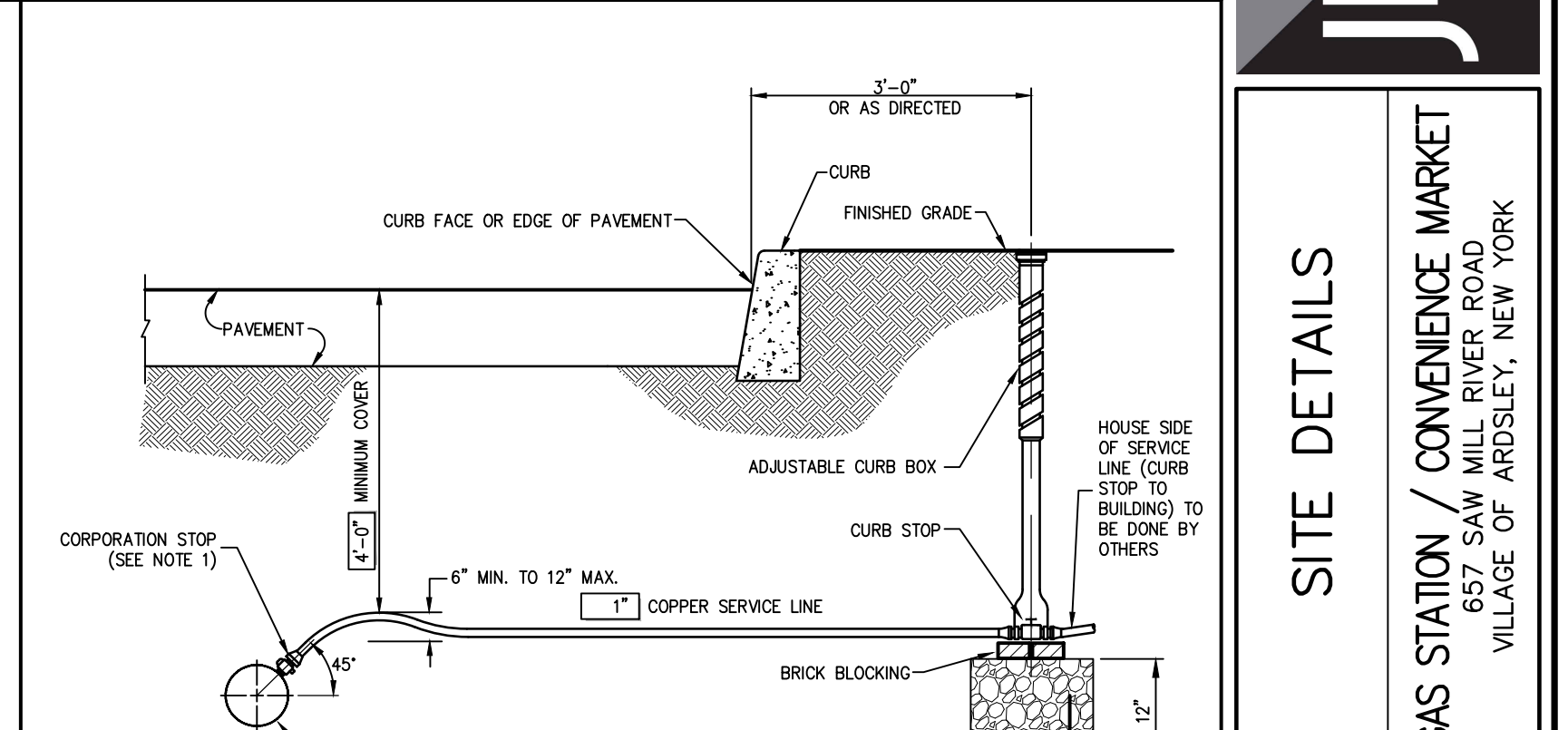
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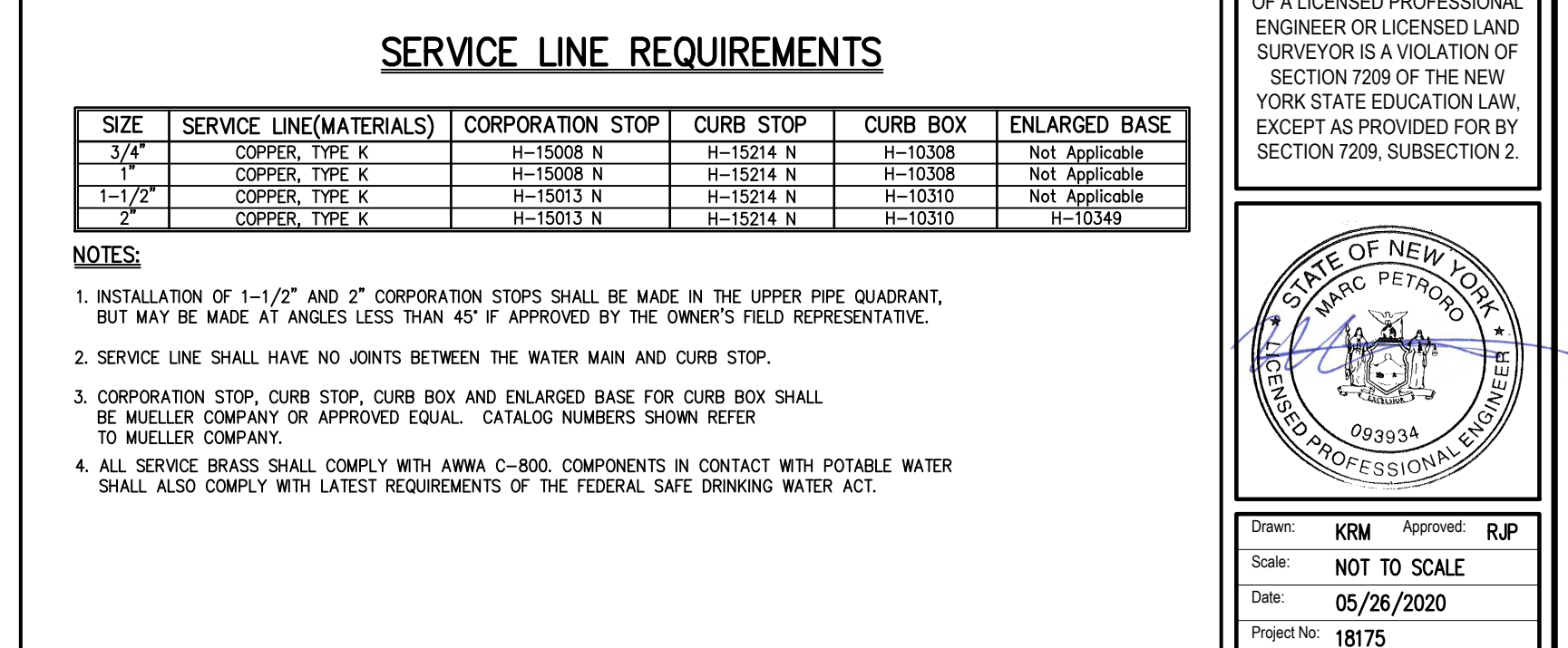
GAS STATION / CONVENIENCE MARKET 13



CONCRETE WASHOUT 14



CONCRETE WASHOUT (OR EQUIVALENT) 14



WATER SERVICE CONNECTION (2" OR LESS) 15

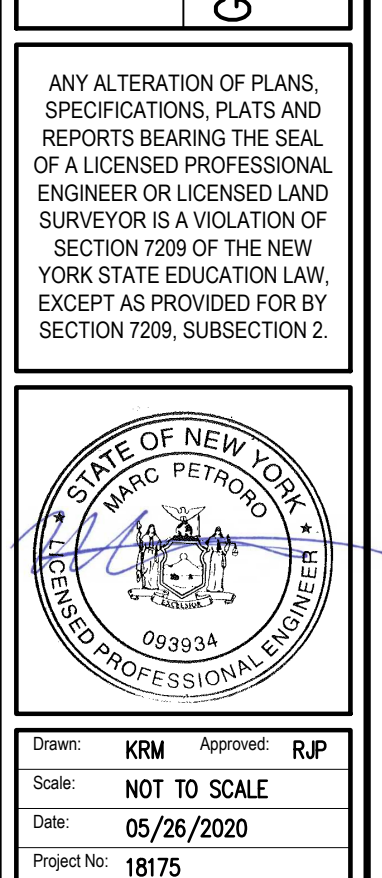
REVISIONS

No.	REVISION	Date
1.	REVISED PER TOWN COMMENTS	01/13/2022
2.	REVISED PER BOARD OF TRUSTEES COMMENTS	12/01/2023
3.	REVISED PER BOARD OF TRUSTEES COMMENTS	01/31/2024
4.	REVISED PER BOARD OF TRUSTEES COMMENTS	03/22/2024

JMC Planning, Engineering, Landscape Architecture & Land Surveying, PLLC
 JMC Site Development Consultants, LLC
 John Meyer Consulting, Inc.
 120 BEDFORD ROAD - HERRICK, NY 10504
 voice: 914.273.5225 • fax: 914.273.2102
 www.jmcpic.com

SITE DETAILS

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Drawn: **KRM** Approved: **RJP**
 Scale: **NOT TO SCALE**
 Date: **05/26/2020**
 Project No: **18175**
 1815-DRAWING: **C-901**
 Drawing No: **C-901**

PROJECT INFORMATION

Project Name	GAS STATION 657 SAW MILL RIVER ROAD
Location	ARDSLEY, NY
Client	ARDSDALE DEVELOPMENT LLC
Contract No.	18175
Revision	05/26/2020
Scale	AS NOTED
Drawn By	R.P.
Checked By	KRM
Approved By	

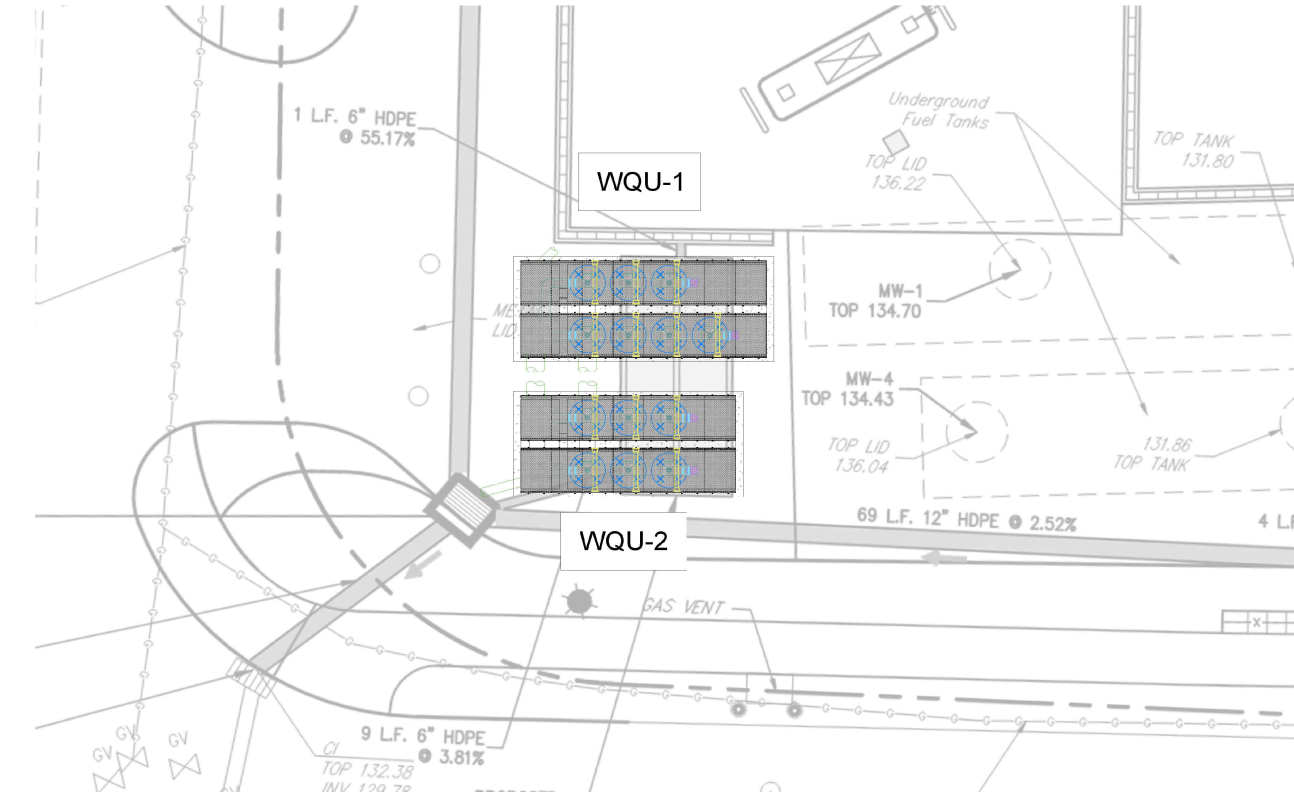
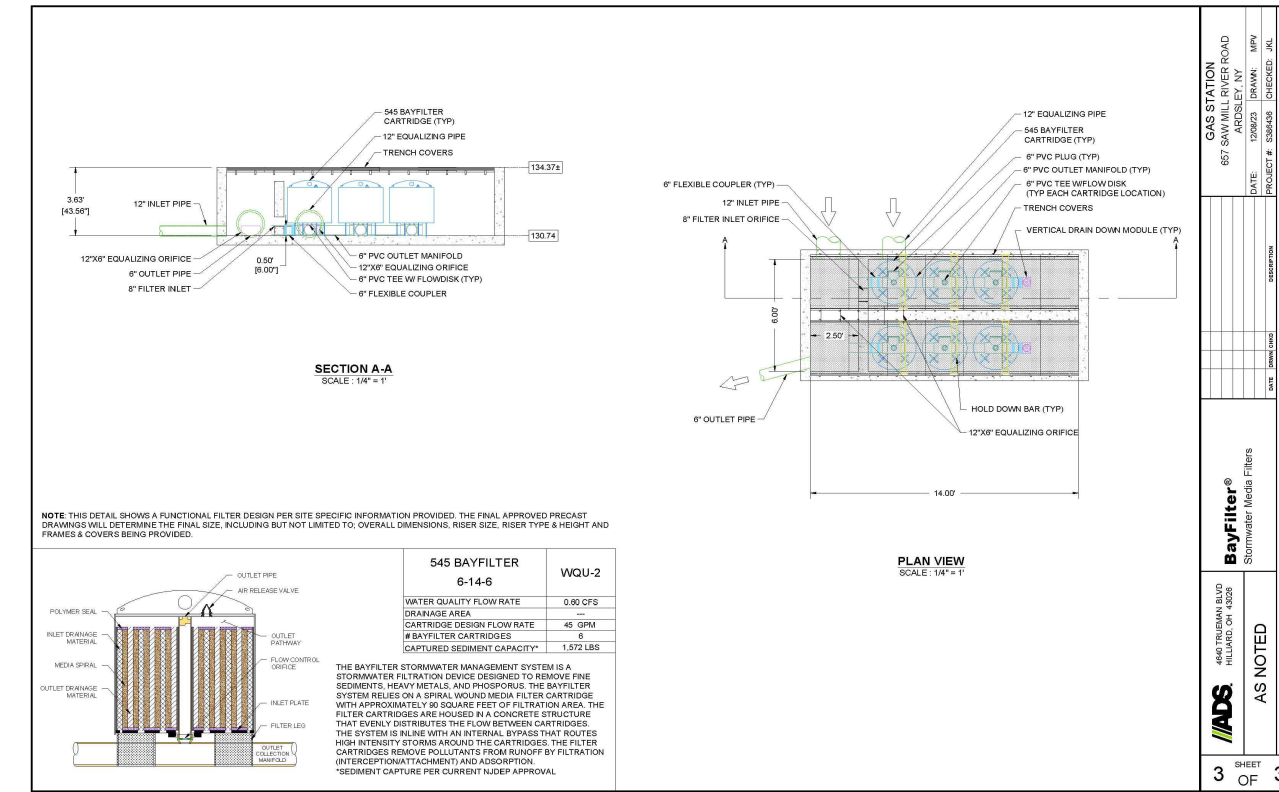
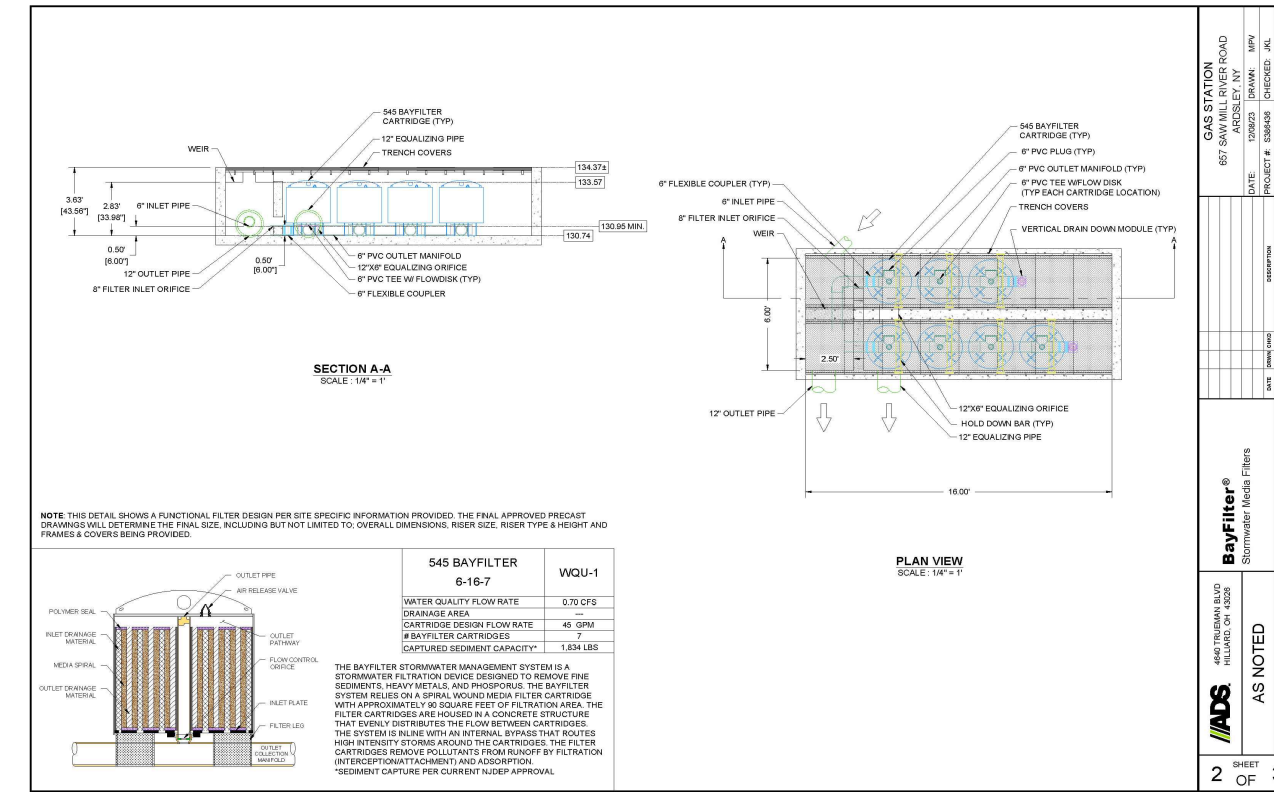
ADS
Advanced Drainage Systems, Inc.

GAS STATION 657 SAW MILL RIVER ROAD
ARDSLEY, NY

BAYSAYER BAYFILTER SPECIFICATIONS

BAYFILTER MAINTENANCE

GENERAL NOTES



NO.	REVISION	DATE
1.	REVISED PER TOWN COMMENTS	01/13/2022
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ADS SAND FILTER

16

CASCADE SEPARATOR DESIGN NOTES

THE STANDARD CS-4 CONFIGURATION IS SHOWN. ALTERNATE CONFIGURATIONS ARE AVAILABLE AND ARE LISTED BELOW. SOME CONFIGURATIONS MAY BE COMBINED TO SUIT SITE REQUIREMENTS.

CONFIGURATION DESCRIPTION

- GRADED INLET ONLY (NO INLET PIPE)
- GRADED INLET WITH INLET PIPE OR PIPES
- CURB INLET ONLY (NO INLET PIPE)
- CURB INLET WITH INLET PIPE OR PIPES

SITE SPECIFIC DATA REQUIREMENTS

STRUCTURE ID	WATER QUALITY/FLOW RATE (OR I/L)	PEAK FLOW RATE (GPM)	RETURN PERIOD OF PEAK FLOW (yrs)	RIM ELEVATION
PIPE DATA	INVERT	MATERIAL	DIAMETER	
	INLET PIPE 1			
	INLET PIPE 2			
	OUTLET PIPE			

GENERAL NOTES

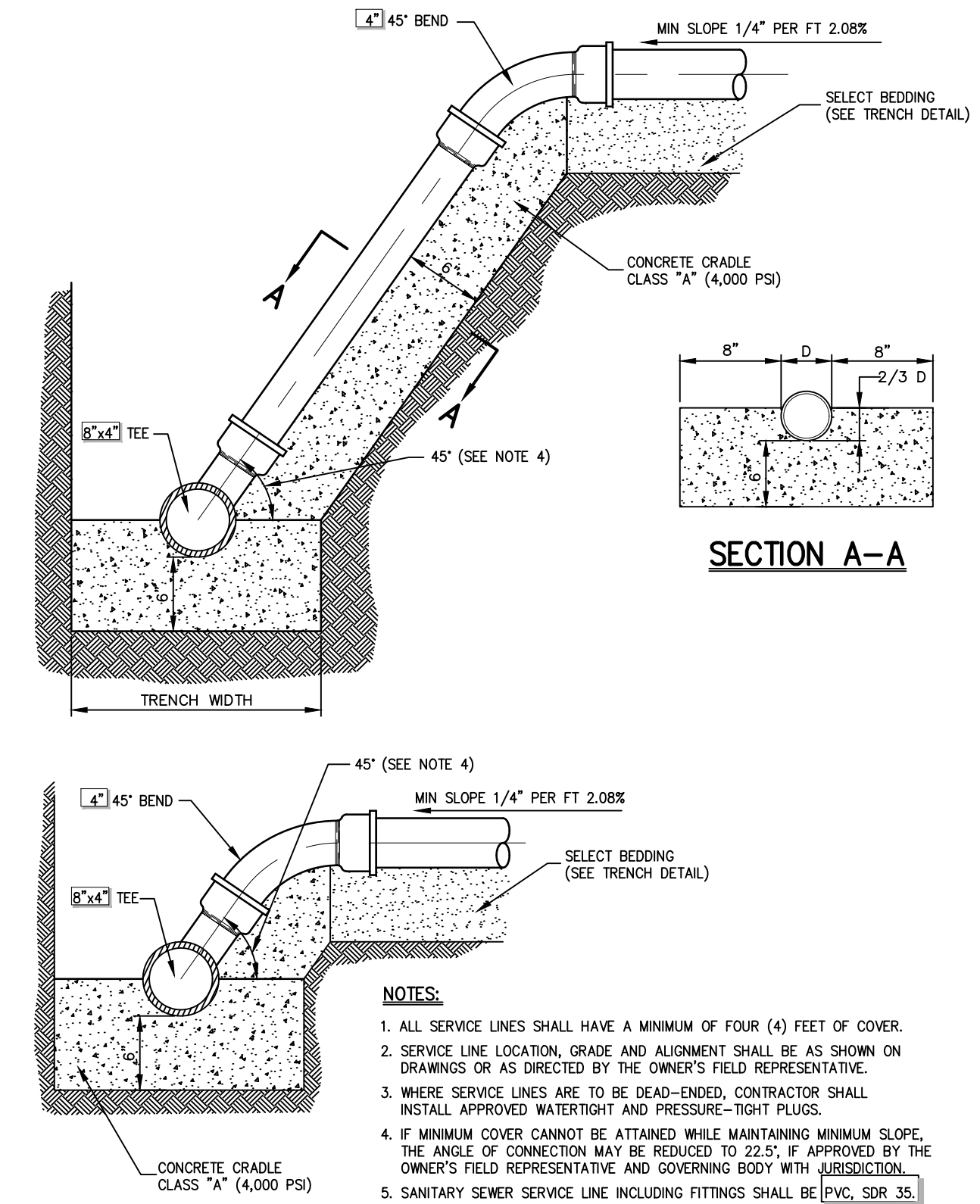
- CONTECH TO PROVIDE ALL MATERIALS UNLESS NOTED OTHERWISE.
- FOR SITE SPECIFIC DRAWINGS WITH DETAILED STRUCTURE DIMENSIONS AND WEIGHT, PLEASE CONTACT YOUR CONTECH ENGINEERED SOLUTIONS LLC REPRESENTATIVE.
- CASCADE SEPARATOR WATER QUALITY STRUCTURE SHALL BE IN ACCORDANCE WITH ALL DESIGN DATA AND INFORMATION CONTAINED IN THIS DRAWING. CONTRACTOR TO CONFIRM STRUCTURE MEETS REQUIREMENTS OF PROJECT.
- CASCADE SEPARATOR STRUCTURE SHALL MEET A8HTO (H2O) LOAD RATING, ASSUMING EARTH COVER OF 0' - 2' [010] AND GROUNDWATER ELEVATION AT, OR BELOW, THE OUTLET PIPE INVERT ELEVATION. ENGINEER OF RECORD TO CONFIRM ACTUAL GROUNDWATER ELEVATION. CASTINGS SHALL MEET AASHTO M90 AND BE CAST WITH THE CONTECH LOG.
- CASCADE SEPARATOR STRUCTURE SHALL BE PRECAST CONCRETE CONFORMING TO ASTM C478 AND AASHTO LOAD FACTOR DESIGN METHOD.
- ALTERNATE UNITS ARE SHOWN IN MILLIMETERS [mm].

INSTALLATION NOTES

- ANY SUBBASE, BACKFILL DEPTH, AND/OR ANTI-FLOTATION PROVISIONS ARE SITE-SPECIFIC DESIGN CONSIDERATIONS AND SHALL BE SPECIFIED BY ENGINEER OF RECORD.
- CONTRACTOR TO PROVIDE EQUIPMENT WITH SUFFICIENT LIFTING AND REACH CAPACITY TO LIFT AND SET THE CASCADE SEPARATOR MANHOLE STRUCTURE.
- CONTRACTOR TO PROVIDE JOINT SEALANT BETWEEN ALL STRUCTURE SECTIONS AND ASSEMBLE STRUCTURE.
- CONTRACTOR TO PROVIDE, INSTALL, AND GROUT INLET AND OUTLET PIPES. MATCH PIPE INVERTS WITH ELEVATIONS SHOWN. ALL PIPE CENTERSHETS TO MATCH PIPE OPENING CENTERSHETS.
- CONTRACTOR TO TAKE APPROPRIATE MEASURES TO ASSURE UNIT IS WATER TIGHT, HOLDING WATER TO FLOWLINE INVERT MINIMUM. IT IS SUGGESTED THAT ALL JOINTS BELOW PIPE INVERTS ARE GROUTED.

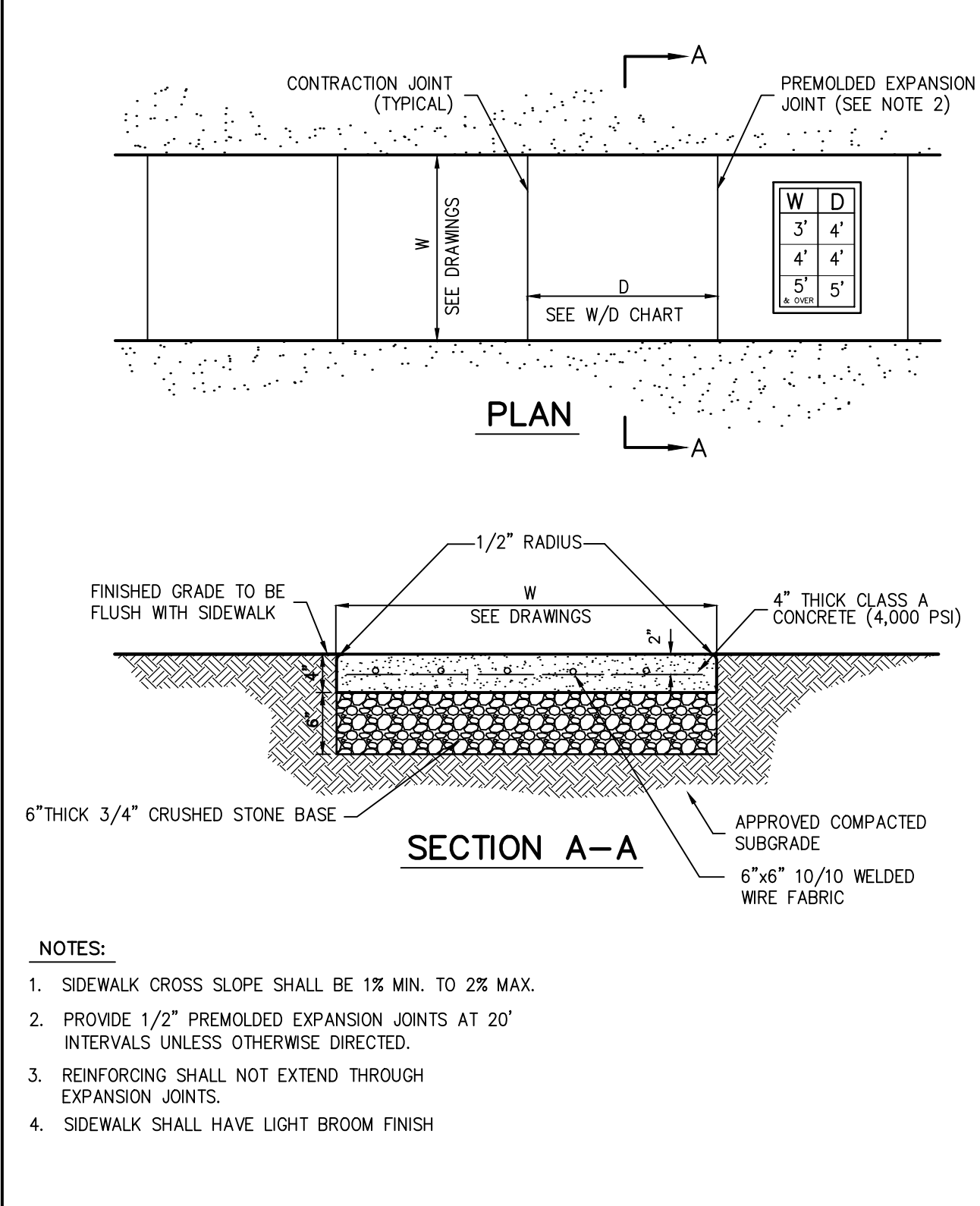
CASCADE SEPARATOR - CS-4

17



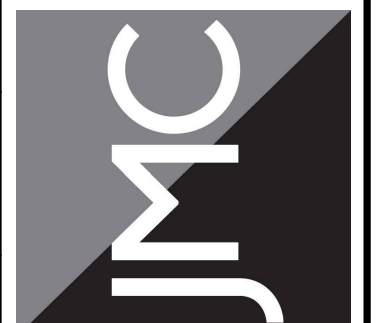
SANITARY SEWER SERVICE CONNECTION

18



CONCRETE SIDEWALK

19



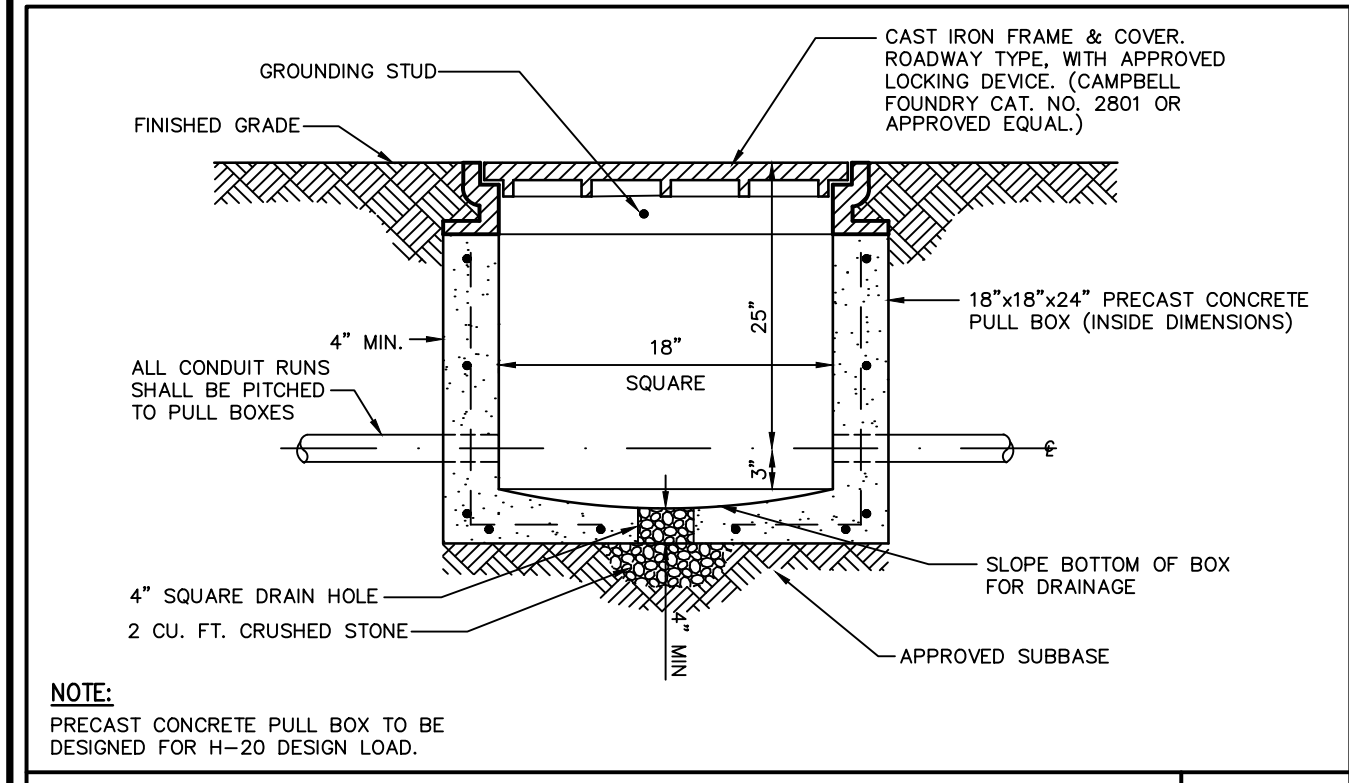
SITE DETAILS

GAS STATION / CONVENIENCE MARKET
657 SAW MILL RIVER ROAD
VILLAGE OF ARDSLEY, NEW YORK

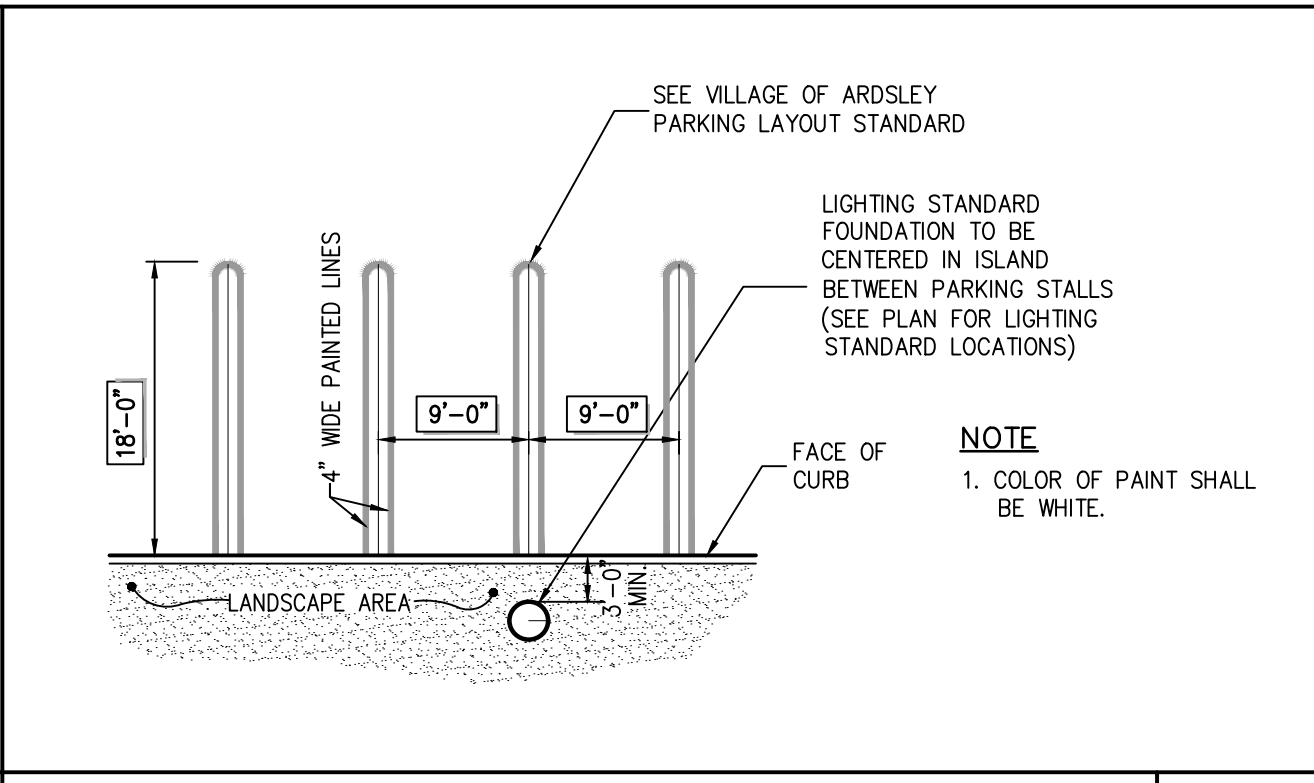
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Drawn: **KRM** Approved: **R.P.**
Scale: **NOT TO SCALE**
Date: **05/26/2020**
Project No: **18175**
18175-DETAILS C-902
Drawing No: **C-902**

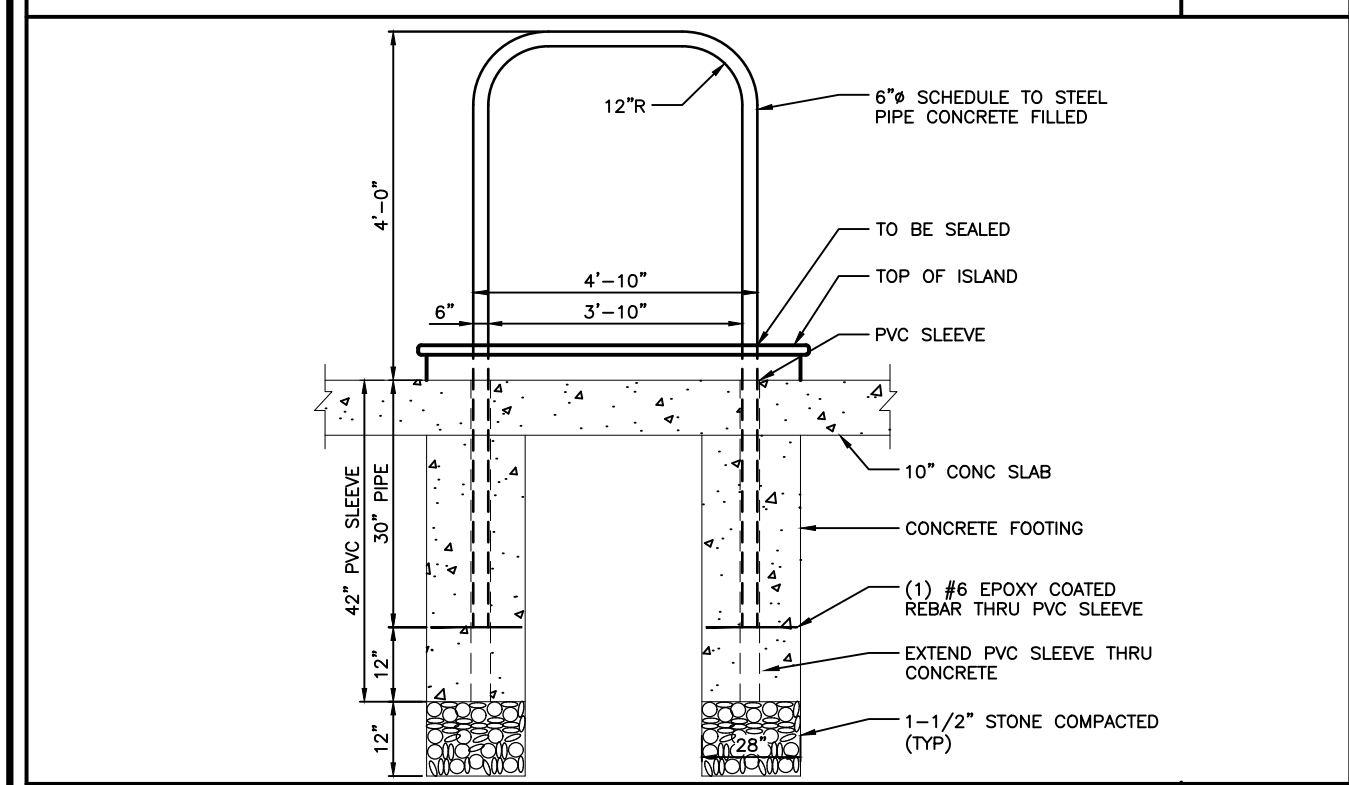
NOT FOR CONSTRUCTION



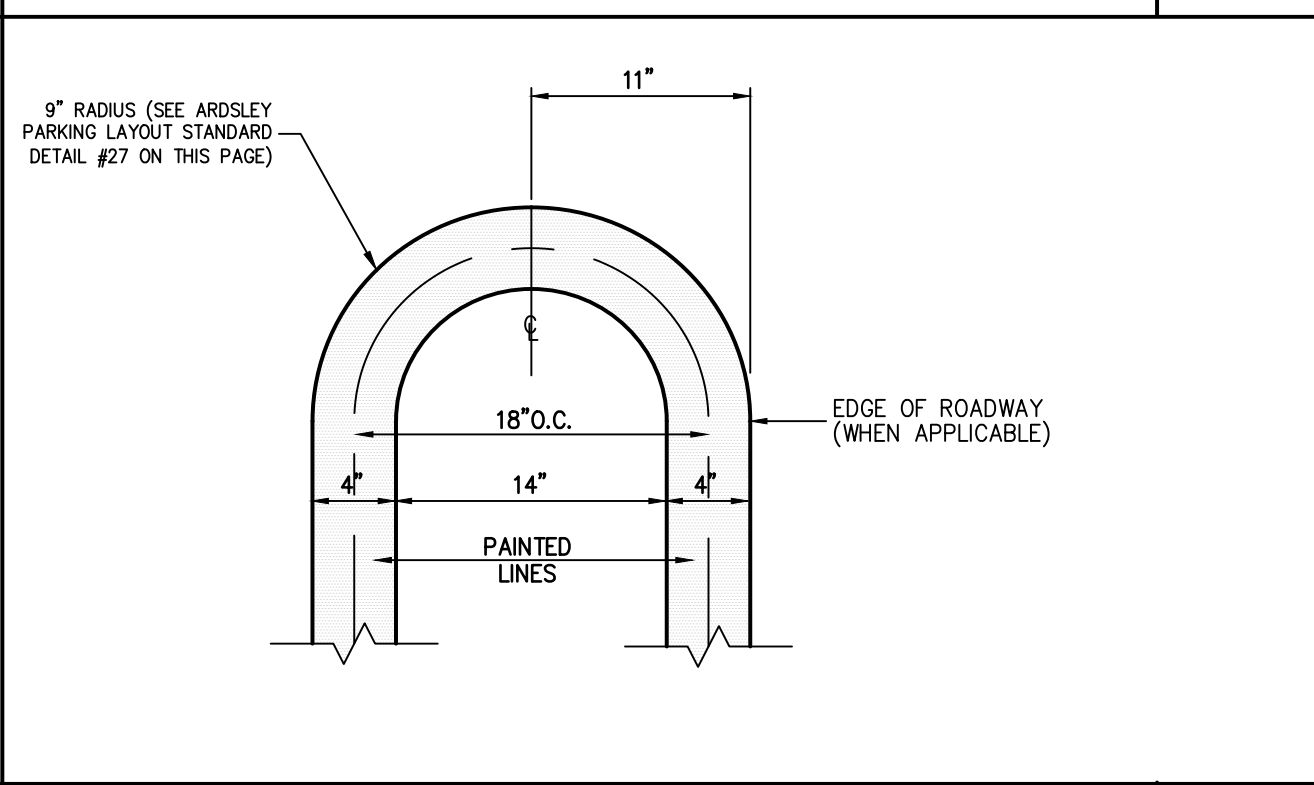
ELECTRICAL PULL BOX 20



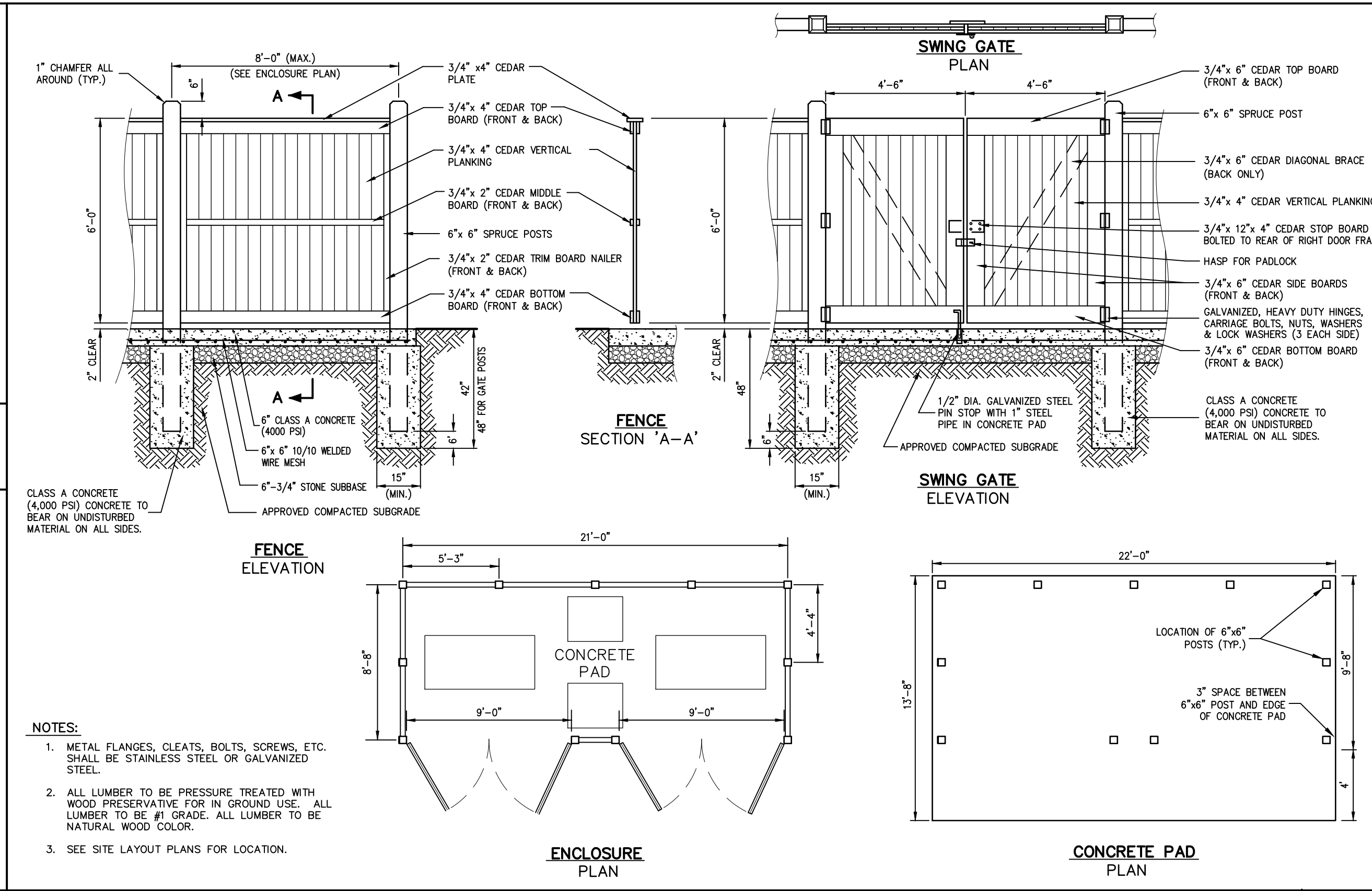
90° PARKING
(DOUBLE STRIPING - CURBED PERIMETER) 22



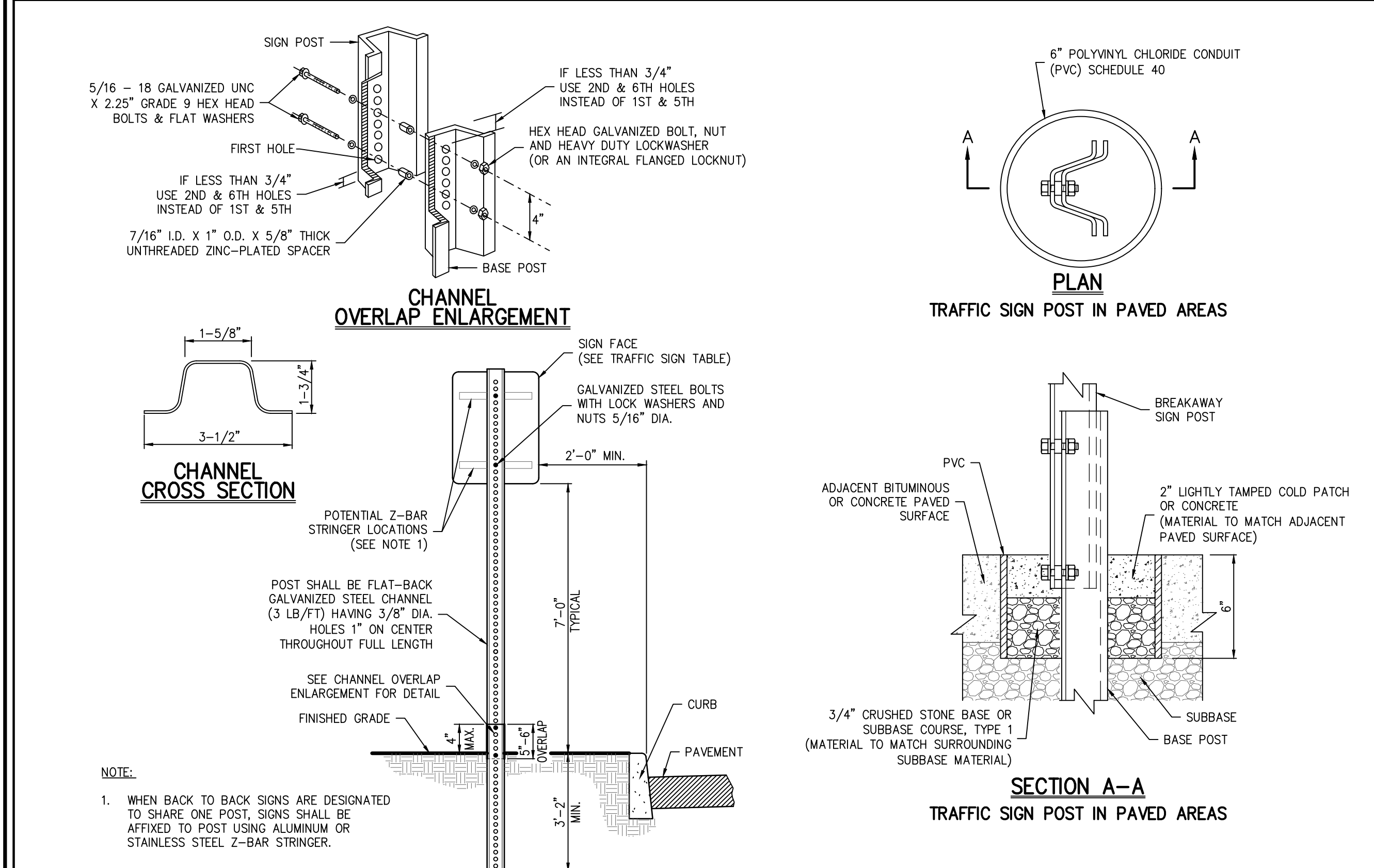
"U" TYPE BOLLARDS 21



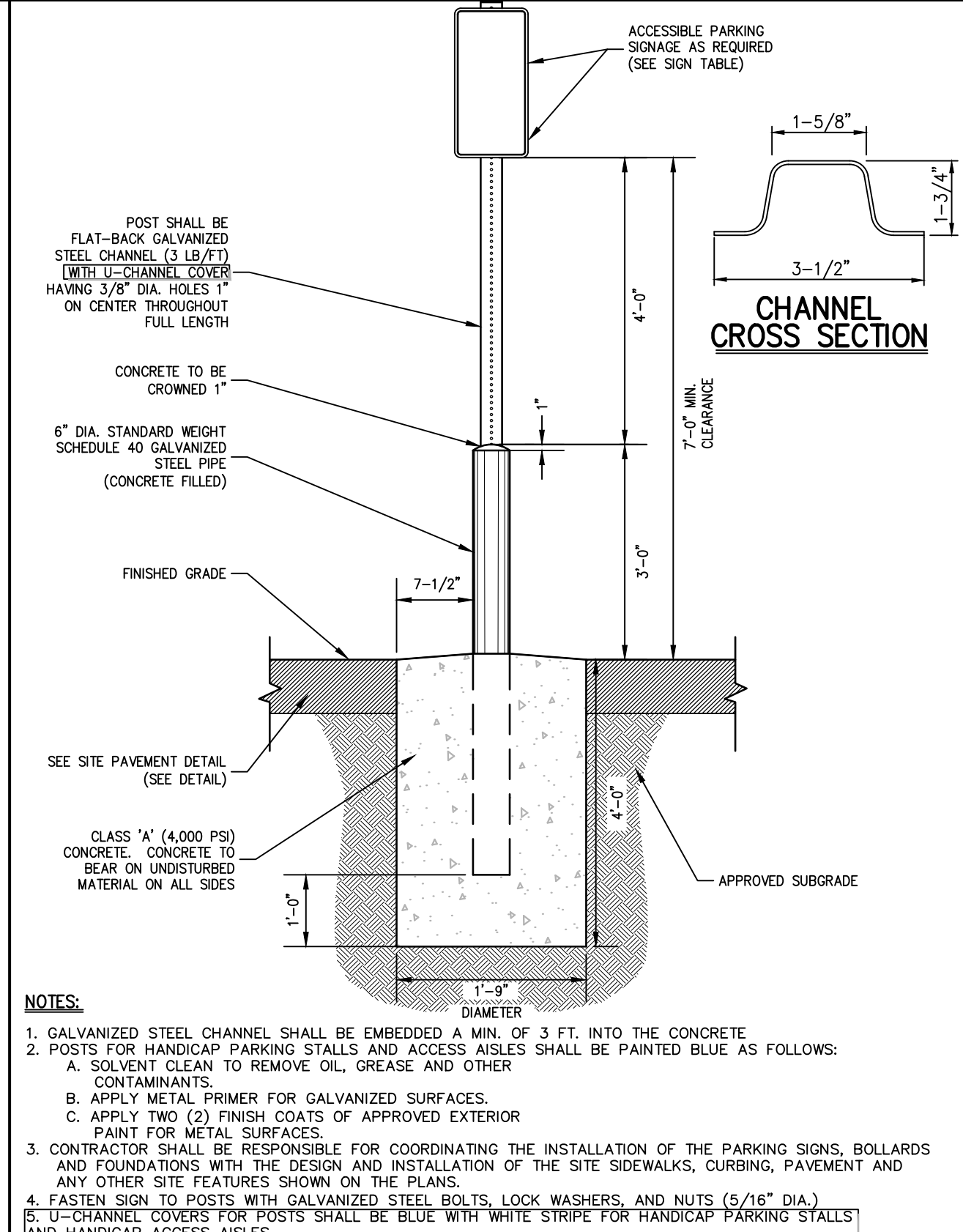
STRIPING END ENLARGEMENT 23



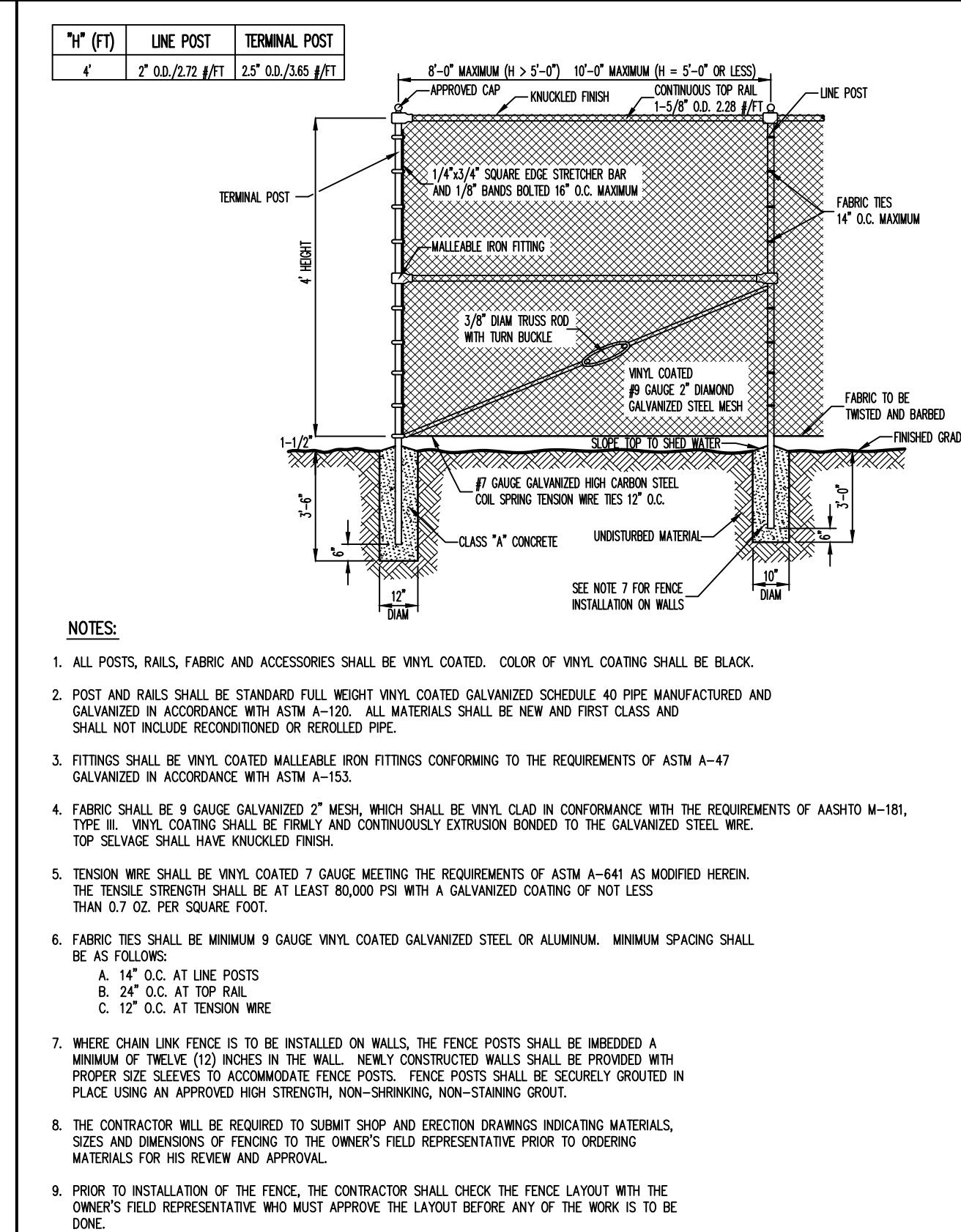
TRASH ENCLOSURE WITH CONCRETE PAD
(WOOD) 24



TRAFFIC SIGN POST
(BREAKAWAY STEEL CHANNEL) 25



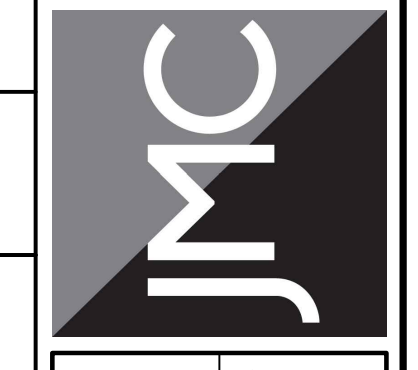
ACCESSIBLE PARKING SIGN DETAIL 26



CHAIN LINK FENCE
(VINYL COATED) 27

No.	Revision	Date
1.	REVISED PER TOWN COMMENTS	01/13/2022
2.	REVISED PER BOARD OF TRUSTEES COMMENTS	12/01/2023
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SITE DETAILS
GAS STATION / CONVENIENCE MARKET
 657 SAW MILL RIVER ROAD
 VILLAGE OF ARDSLEY, NEW YORK

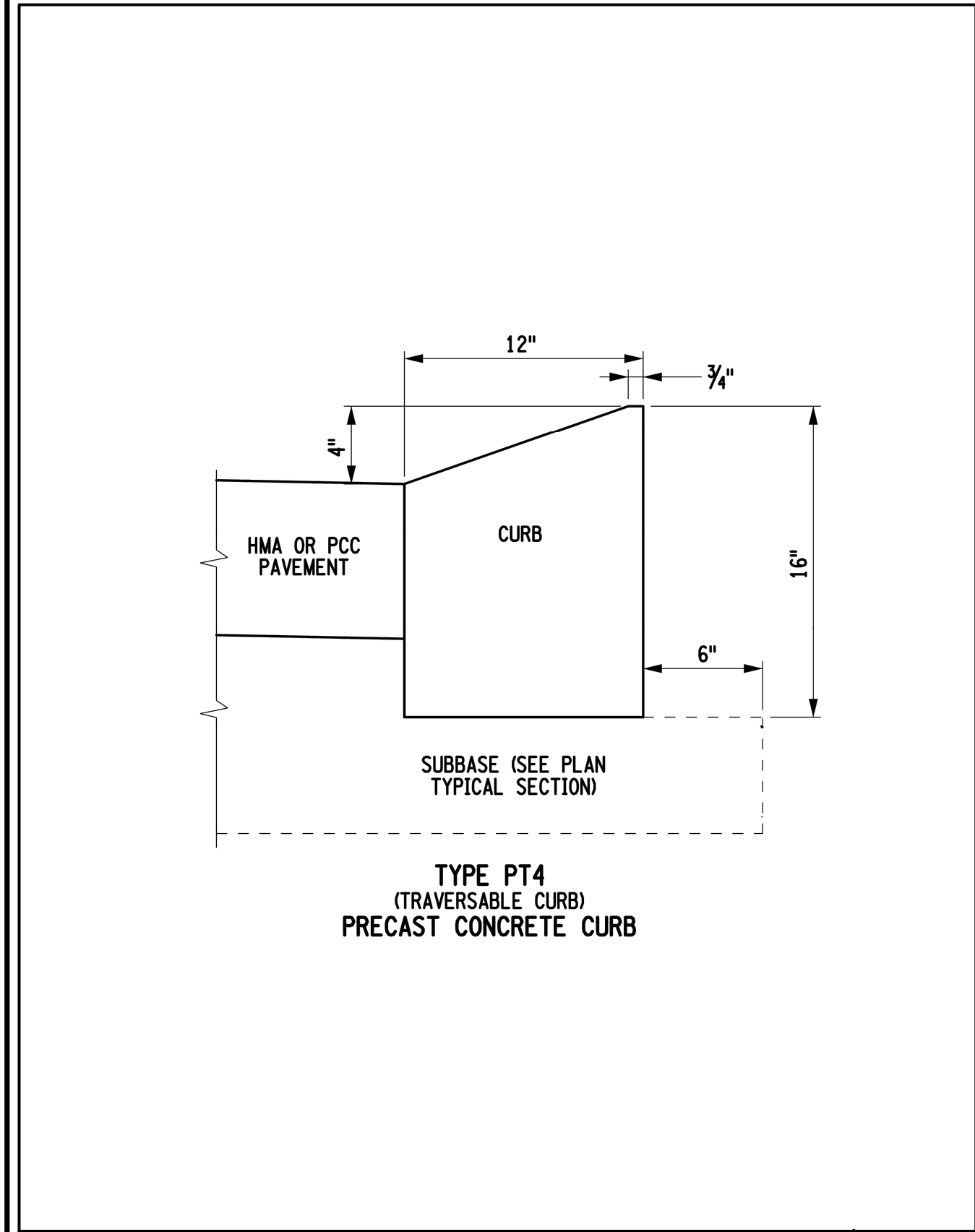
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Drawn: KRM	Approved: RJP
Scale: NOT TO SCALE	
Date: 06/26/2020	
Project No: 18175	
1815-DRAWING: C-903	
Drawing No: C-903	

C-903

NOT FOR CONSTRUCTION

NOT FOR CONSTRUCTION



NYSDOT STANDARD T4 MOUNTABLE CURB 43

MINI-CRETA 3' ARCHITECTURAL
DESCRIPTION: Wall double-sided TEXTURE: Split face with straight edged corners

PALLET OVERVIEW

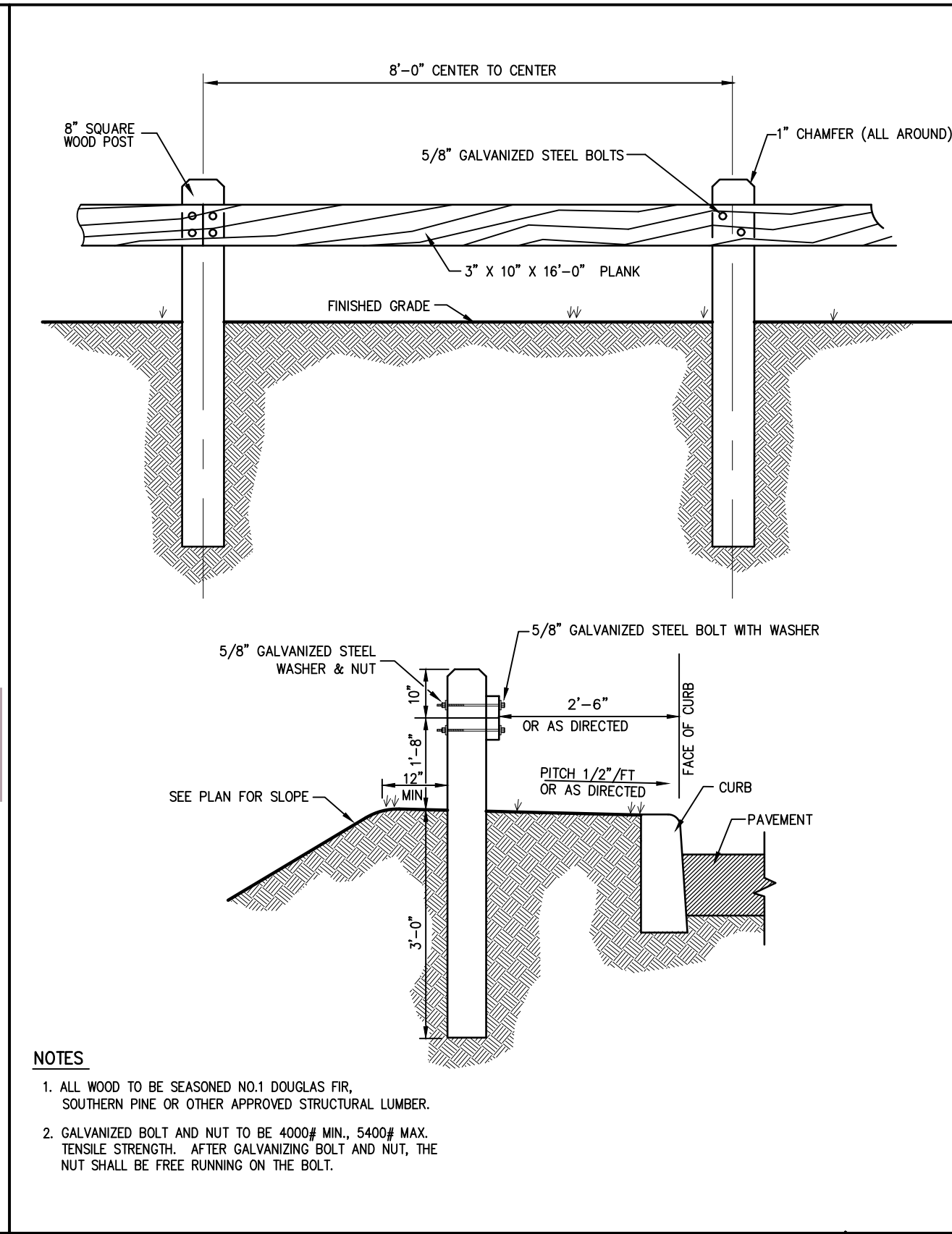
Specifications per pallet	Imperial	Metric
Cubing	24 ft ³	2.23 m ³
Approx. Weight	95.01 lin. ft	28.96 lin. m
Minimum radius	2.465 lbs	1.118 kg
Number of rows	7 ft	2.1 m
Coverage per row	8	
Linear coverage per row	3 ft ²	0.28 m ²
	11.58 lin. ft	3.62 lin. m

Unit dimensions	in	mm	Units/pallet
Height	2 1/4	75	32 units
Depth	9 1/4	250	
Length 1	9 1/4	250	
Length 2	7 1/4	180	
Height	2 1/4	75	24 units
Depth	9 1/4	250	
Length 1	11 1/4	300	
Length 2	9 1/4	250	
Height	2 1/4	75	8 units
Depth	9 1/4	250	
Length 1	11 1/4	300	
Length 2	11 1/4	300	
Height	2 1/4	75	16 units
Depth	9 1/4	250	
Length 1	14 1/4	375	
Length 2	12 1/4	325	
Height	2 1/4	75	16 units
Depth	9 1/4	250	
Length 1	14 1/4	375	8 right corners
Length 2	13 1/4	350	8 left corners

NOTES
When building a double-sided wall one pallet will cover an average of 31.76 ft².
Units can be used as a regular or vertical unit.
See page 135 to 156 for more technical information.

Color swatches: Onyx Blue, Onyx Green, Sandstone, Onyx Grey, Dark Grey, Onyx Black.

TECHO BLOC WALL 44



WOOD GUIDE RAIL 45

X

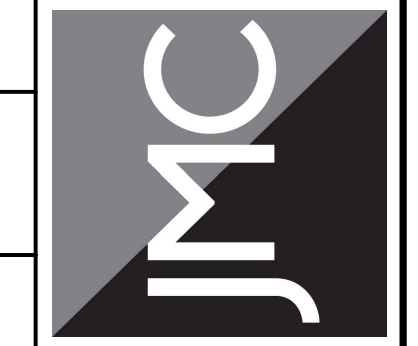
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No.	Revision	Date
1.	REVISED PER BOARD OF TRUSTEES COMMENTS	12/01/2023
2.	REVISED PER BOARD OF TRUSTEES COMMENTS	01/31/2024
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DOT SITE DETAILS
GAS STATION / CONVENIENCE MARKET
657 SAW MILL RIVER ROAD
VILLAGE OF ARDSLEY, NEW YORK

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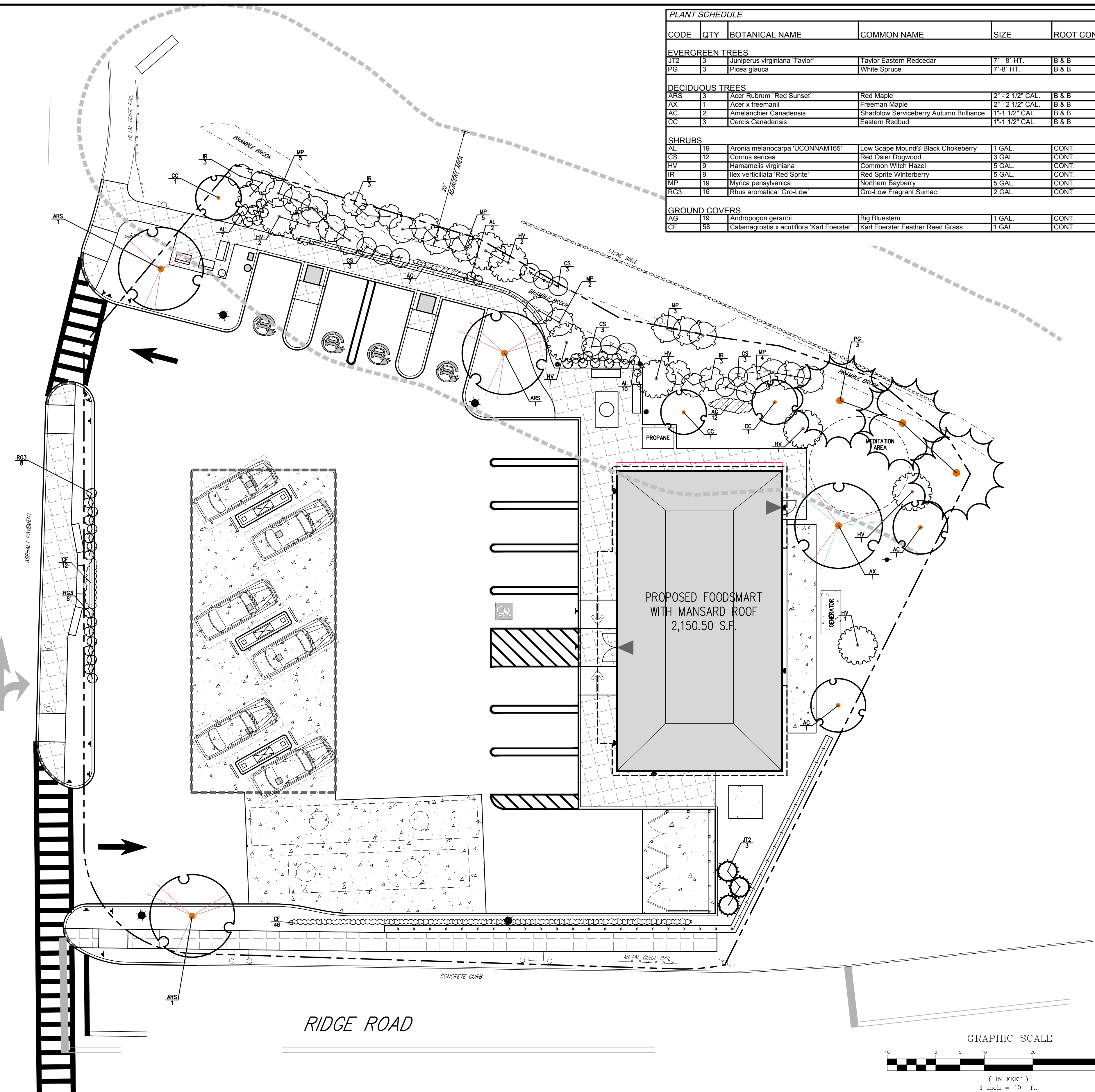


Drawn: **KRM** Approved: **RJP**
Scale: **NOT TO SCALE**
Date: **05/26/2020**
Project No: **18175**
18175-DETAILS C-906
Drawing No: **C-906**

NOT FOR CONSTRUCTION

SAW MILL RIVER ROAD
(NY 9A)

ONLY



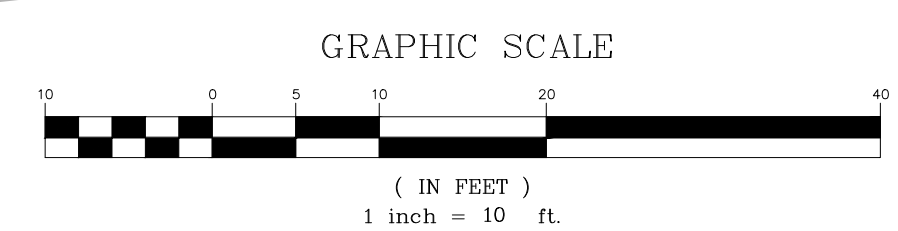
CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT COND.	REMARKS
EVERGREEN TREES						
JT2	3	Juniperus virginiana 'Taylor'	Taylor Eastern Redcedar	7' - 8' HT.	B & B	
PG	3	Picea glauca	White Spruce	7' - 8' HT.	B & B	
DECIDUOUS TREES						
ARS	3	Acer Rubrum 'Red Sunset'	Red Maple	2" - 2 1/2" CAL.	B & B	
AX	1	Acer x freemanii	Freeman Maple	2" - 2 1/2" CAL.	B & B	
CC	2	Amelanchier Canadensis	Shadblow Serviceberry Autumn Brilliance	1" - 1 1/2" CAL.	B & B	
CC	3	Cercis Canadensis	Eastern Redbud	1" - 1 1/2" CAL.	B & B	
SHRUBS						
AL	19	Aronia melanocarpa 'UCONNAM185'	Low Scape Mound® Black Chokeberry	1 GAL.	CONT.	
CS	12	Cornus sericea	Red Osier Dogwood	3 GAL.	CONT.	
HV	9	Hamamelis virginiana	Common Witch Hazel	5 GAL.	CONT.	
IR	9	Ilex verticillata 'Red Sprite'	Red Sprite Winterberry	5 GAL.	CONT.	
MP	19	Myrica pensylvanica	Northern Bayberry	5 GAL.	CONT.	
RG3	16	Rhus aromatica 'Gro-Low'	Gro-Low Fragrant Sumac	2 GAL.	CONT.	
GROUND COVERS						
AG	19	Andropogon gerardii	Big Bluestem	1 GAL.	CONT.	
CF	58	Calamagrostis x acutiflora 'Karl Foerster'	Karl Foerster Feather Reed Grass	1 GAL.	CONT.	

LEGEND

- EXISTING PROPERTY LINE
- ADJACENT PROPERTY LINE
- - - EXISTING SETBACK LINE
- - - EXISTING BUILDING OVERHANG
- EXISTING BUILDING EDGE
- EXISTING PAVEMENT EDGE
- EXISTING CURB LINE
- EXISTING STONE WALL
- EXISTING RETAINING WALL
- EXISTING GUIDE RAIL
- EXISTING TREE AND DESIGNATION
- EXISTING DIRECTIONAL ARROWS
- EXISTING UTILITY POLE
- EXISTING LIGHT POLE
- EXISTING SIGN
- PROPOSED BUILDING LINE
- PROPOSED CONCRETE CURB
- PROPOSED ACCESSIBLE PARKING SPACES
- PROPOSED PARKING SPACES
- PROPOSED HEAVY DUTY PAVEMENT
- PROPOSED PERVIOUS PAVEMENT
- PROPOSED CONCRETE APRON
- PROPOSED RETAINING WALL (DESIGN BY OTHERS)
- PROPOSED SHADE TREE
- PROPOSED FLOWERING TREE
- PROPOSED CONIFEROUS TREE
- PROPOSED SHRUBS
- PROPOSED SHRUB MASSING

- NOTES:**
- ALL PLANT MATERIAL SHALL BE FIRST QUALITY STOCK, PLANTED MATERIAL AND METHODS OF INSTALLATION SHALL CONFORM TO THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION, AMERICAN STANDARD FOR NURSERY STOCK, LATEST EDITION.
 - ALL AREAS OF THE SITE NOT OCCUPIED BY BUILDING OR PAVEMENT AND NOT SPECIFIED AS BEING PLANTED WITH TREES, SHRUBS OR GROUND COVER SHALL BE LAWN.
 - ALL PLANTING BEDS SHALL BE MULCHED WITH 3" OF BROWN MULCH. MULCH SHALL BE CLEAN, NON-DYED, TOXIC FREE, SHREDDED HARDWOOD.
 - PLANT MATERIALS AS SPECIFIED ON THE DRAWINGS AND DELIVERED TO THE SITE SHALL BE NURSERY GROWN AND CERTIFIED TRUE TO THEIR GENUS, SPECIES AND VARIETY. SUBSTITUTIONS ARE NOT PERMITTED WITHOUT THE PROJECT LANDSCAPE ARCHITECT'S WRITTEN APPROVAL.
 - ALL LANDSCAPING SHALL CONTINUE TO BE MAINTAINED IN A HEALTHY GROWING CONDITION THROUGHOUT THE DURATION OF THE PROJECT. ANY PLANTING NOT SO MAINTAINED SHALL BE REPLACED WITH NEW PLANTS AT THE BEGINNING OF THE NEXT, IMMEDIATELY FOLLOWING, GROWING SEASON.
 - ALL TREES AND SHRUBS SHALL BE PRUNED AND SHAPED AND BE SUBJECT TO THE APPROVAL OF THE PROJECT LANDSCAPE ARCHITECT AND GOVERNMENTAL AUTHORITIES HAVING JURISDICTION.
 - PLANTING STOCK SHALL BE WELL-BRANCHED AND WELL-FORMED, SOUND, VIGOROUS, HEALTHY, FREE FROM DISEASE, SUN-SCALE, WINDBURN, ABRASION, AND HARMFUL INSECTS OR INSECT EGGS; AND SHALL HAVE HEALTHY, NORMAL, UNBROKEN ROOT SYSTEMS. DECIDUOUS TREES AND SHRUBS SHALL BE SYMMETRICALLY DEVELOPED, OF UNIFORM HABIT OF GROWTH, WITH STRAIGHT TRUNKS OR STEMS, AND FREE FROM OBJECTIONABLE DISFIGUREMENTS. EVERGREEN TREES AND SHRUBS SHALL HAVE WELL-DEVELOPED SYMMETRICAL TOPS WITH TYPICAL SPREAD OF BRANCHES FOR EACH PARTICULAR SPECIES OR VARIETY. ONLY LINES AND GROUND COVER PLANTS WELL ESTABLISHED IN REMOVAL CONTAINERS, INTEGRAL CONTAINERS, OR FORMED HOMOGENEOUS SOIL SECTIONS SHALL BE USED. PLANTS SHALL BE GROWN UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT.
 - ALL STOCK SHALL BE BALLED AND BURLAPPED OR CONTAINER GROWN STOCK, UNLESS OTHERWISE SPECIFIED. BAREROOT STOCK OF ANY KIND IS UNACCEPTABLE UNLESS SPECIFIED.
 - ALL PLANTING BEDS, LAWNS AND LANDSCAPED AREAS SHALL RECEIVE A MINIMUM 4" THICK LAYER OF TOPSOIL, UNLESS OTHERWISE SPECIFIED.

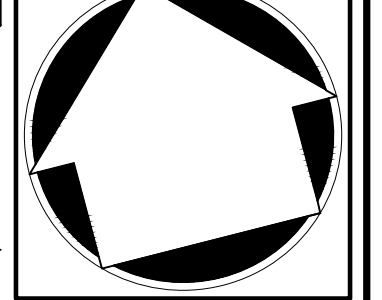
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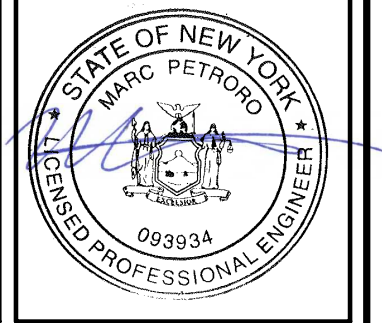
No.	Revision	Date	By
1.	PLANNING BOARD & BAR SUBMISSION	03/30/2021	MTP
2.	RESPOND TO VILLAGE COMMENTS	12/01/2021	SPG
3.	REVISED PER TOWN COMMENTS	01/13/2022	CDF
4.	REVISED PER BOARD OF TRUSTEES COMMENTS	12/01/2023	SMN
5.	LIGHTING REVISIONS	12/13/2022	DK
6.	REVISED PER BOARD OF TRUSTEES COMMENTS	01/31/2024	RB
7.	REVISED PER BOARD OF TRUSTEES COMMENTS	03/22/2024	RB

APPLICANT/OWNER
THORNWOOD FOUR CORNERS LLC.
25 SAINT CHARLES STREET
THORNWOOD, NY 10594

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LANDSCAPING PLAN
GAS STATION / CONVENIENCE MARKET
657 SAW MILL RIVER ROAD
VILLAGE OF ARDSLEY, NEW YORK



Drawn: **KRM** Approved: **RJP**
Scale: **1" = 10'**
Date: **06/26/2020**
Project No: **18175**
1875-LM L-100-LAND LAY-out
Drawing No:
L-100
Previous Editions Obsolete

**DELBELLO DONNELLAN WEINGARTEN
WISE & WIEDERKEHR, LLP**

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March 22, 2024

By E-mail and Hand Delivery

Honorable Nancy Kaboolian, Mayor
and Members of the Board of Trustees
Village of Ardsley
507 Ashford Avenue
Ardsley, New York 10502

**Re: Application for Site Plan Approval at 657 Saw Mill River Road
(a/k/a Parcel No. 6.50-35 Lots 8, 9, 10, and 11)**

Dear Mayor Kaboolian and Members of the Board of Trustees:

This firm represents Thornwood Four Corners LLC (the "Applicant") in connection with its proposed redevelopment of the property located at 657 Saw Mill River Road in Ardsley, designated on the tax assessment map of the Town of Greenburgh as Parcel No. 6.50-35 Lots 8, 9, 10, and 11 (the "Site"). The Applicant seeks site plan approval from the Board of Trustees to permit the construction on the Site of a modern gas station with convenience store, associated parking, and electric charging stations (the "Project").

As you know, this Project has been pending before various Village Boards for several years, and most recently before this Board since September 2023. Throughout this process, the Applicant has responded to all comments and concerns of the Board, the public, and the Town's staff and professional consultants. The record is clear that the Applicant has mitigated all potential impacts of the Project and is entitled to rebuild a gas station at the Site.

At the last meeting on March 4, 2024, the Board commented on the size and design of the proposed convenience store. In response, the Applicant reduced the building footprint, amended the site plan, reduced the total height of the building, and incorporated an exterior design that is a better fit for this location than the design previously shared with the Board. Accordingly, the Applicant encloses herein the requisite number of sets of drawings consisting of the following:

Drawing No.	Title	Prepared By	Dated or Last Revised
C-000	Cover Sheet	JMC Site Development Consultants ("JMC")	3/22/2024
C-010	Existing Conditions Map and Site Removals Plan	JMC	3/22/2024

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0185041-001

Hon. Nancy Kaboolian
and Members of the Board of Trustees

March 22, 2024
Page 2

C-100	Layout Plan	JMC	3/22/2024
C-110	Turning Analysis Plan	JMC	3/22/2024
C-120	Turning Analysis Plan	JMC	3/22/2024
C-200	Grading Plan	JMC	3/22/2024
C-300	Utilities Plan	JMC	3/22/2024
C-400	Erosion and Sediment Control Plan	JMC	3/22/2024
C-600	Lighting Plan	JMC	3/22/2024
C-900	Site Details	JMC	3/22/2024
C-901	Site Details	JMC	3/22/2024
C-902	Site Details	JMC	3/22/2024
C-903	Site Details	JMC	3/22/2024
C-904	Site Details	JMC	3/22/2024
C-905	Site Details	JMC	3/22/2024
C-906	DOT Site Details	JMC	3/22/2024
L-100	Landscaping Plan	JMC	3/22/2024
A1.0	Floor Plan	Gary Kliesch and Associate Architects, P.C.	3/21/2024
R1.0	Colored Elevation (Option 1)	Gary Kliesch and Associate Architects, P.C.	3/21/2024
R 1.0	Colored Elevation (Option 2)	Gary Kliesch and Associate Architects, P.C.	3/21/2024

Based on the foregoing, and all prior submissions to the Board, the Applicant respectfully requests that the Board close the Public Hearing, adopt a Negative Declaration of environmental significance under the State Environmental Quality Review Act, and approve the site plan application at its next meeting on April 1, 2024.

Thank you for your consideration. Please feel free to contact me if you have any questions or if you would like any additional information.

Very truly yours,



DIANA B. KOLEV

Enclosures

cc: Bryan Orser
Anthony P. Nester, RLA
Larry J. Tomasso, Building Inspector
David Smith, Village Planning Consultant

1675740.docx
0185041-001

SITE PLAN APPROVAL DRAWINGS

GAS STATION / CONVENIENCE MARKET

TAX MAP SECTION 650 | BLOCK 35 | LOT 10
WESTCHESTER COUNTY
657 SAW MILL RIVER ROAD
VILLAGE OF ARDSLEY, NEW YORK

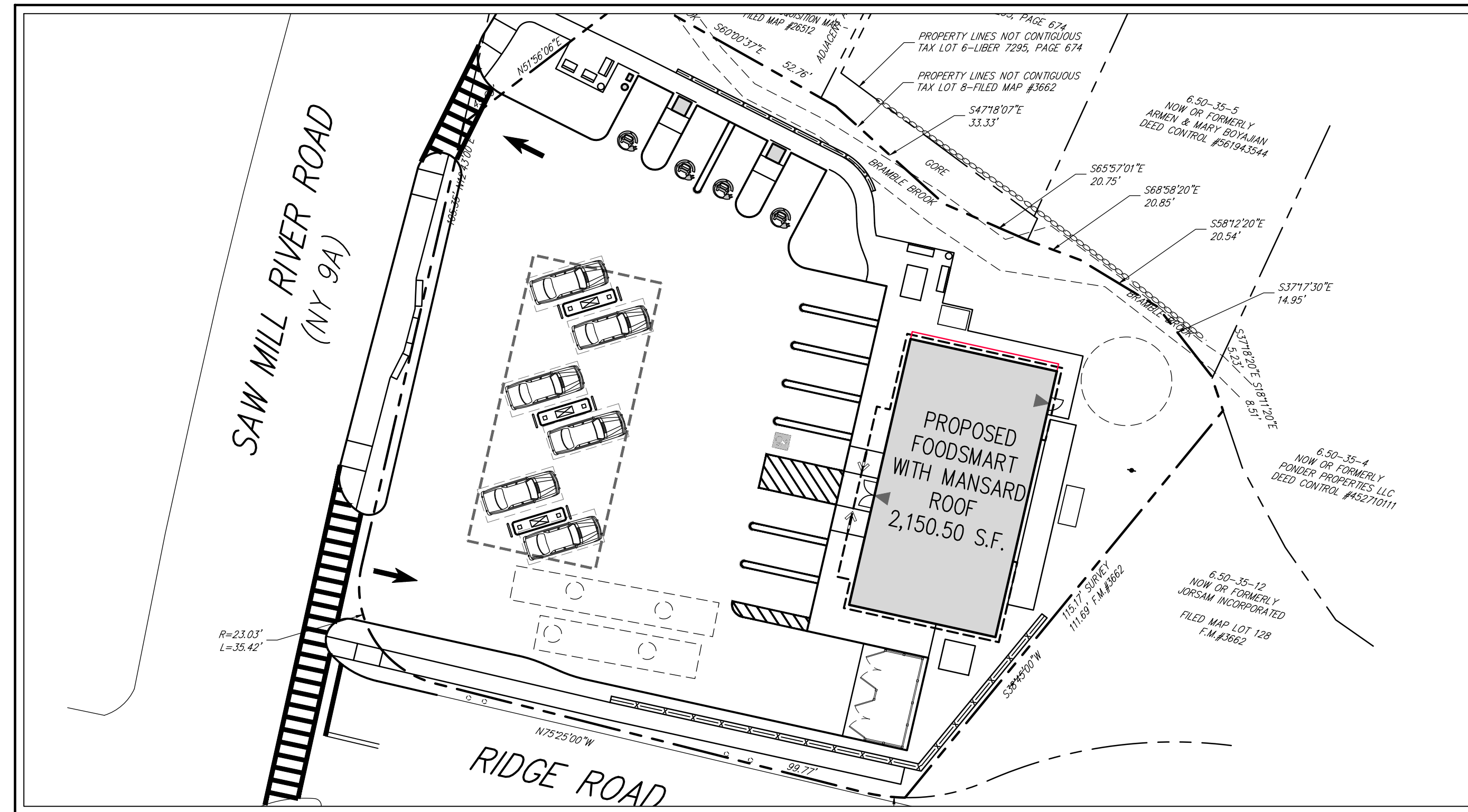
Applicant:
THORNWOOD FOUR CORNERS LLC.
 25 SAINT CHARLES STREET
 THORNWOOD, NY 10594

**Site Planner, Civil & Traffic Engineer
 and Landscape Architect:**
 **JMC**
120 BEDFORD ROAD
ARMONK, NY 10504
(914) 273-5225

Attorney:
 DELBELLO DONNELLAN WEINGARTEN WISE & WIEDERKEHR, LLP
 1 NORTH LEXINGTON AVENUE
 WHITE PLAINS, NEW YORK, 10601
 (914) 681-0200

Surveyor:
THOMAS C. MERRITTS LAND SURVEYORS, P.C.
 394 BEDFORD ROAD
 PLEASANTVILLE, NEW YORK, 10570
 (914) 769-8899

Architect:
gk+a Architects, P.C.
 36 AMES AVENUE,
 RUTHERFORD, NJ 07070
 (201) 896-9469



JMC Drawing List:

- C-000 COVER SHEET
- C-010 EXISTING CONDITIONS MAP AND SITE REMOVALS PLAN
- C-100 LAYOUT PLAN
- C-110 TURNING ANALYSIS PLAN
- C-120 TURNING ANALYSIS PLAN
- C-200 GRADING PLAN
- C-300 UTILITIES PLAN
- C-400 EROSION AND SEDIMENT CONTROL PLAN
- C-600 LIGHTING PLAN
- C-700 IMPERVIOUS COVERAGE COMPARISON PLAN
- C-900 SITE DETAILS
- C-901 SITE DETAILS
- C-902 SITE DETAILS
- C-903 SITE DETAILS
- C-904 SITE DETAILS
- C-905 SITE DETAILS
- C-906 SITE DETAILS
- L-100 LANDSCAPING PLAN

TABLE OF LAND USE

SECTION 6.50, BLOCK 35, LOT 10
 ZONE "B-1" - "GENERAL BUSINESS DISTRICT"
 PROPOSED USE: GAS STATION WITH CONVENIENCE MARKET
 FIRE DISTRICT: ARDSLEY FIRE DISTRICT
 SEWER DISTRICT: SAW MILL SEWER DISTRICT

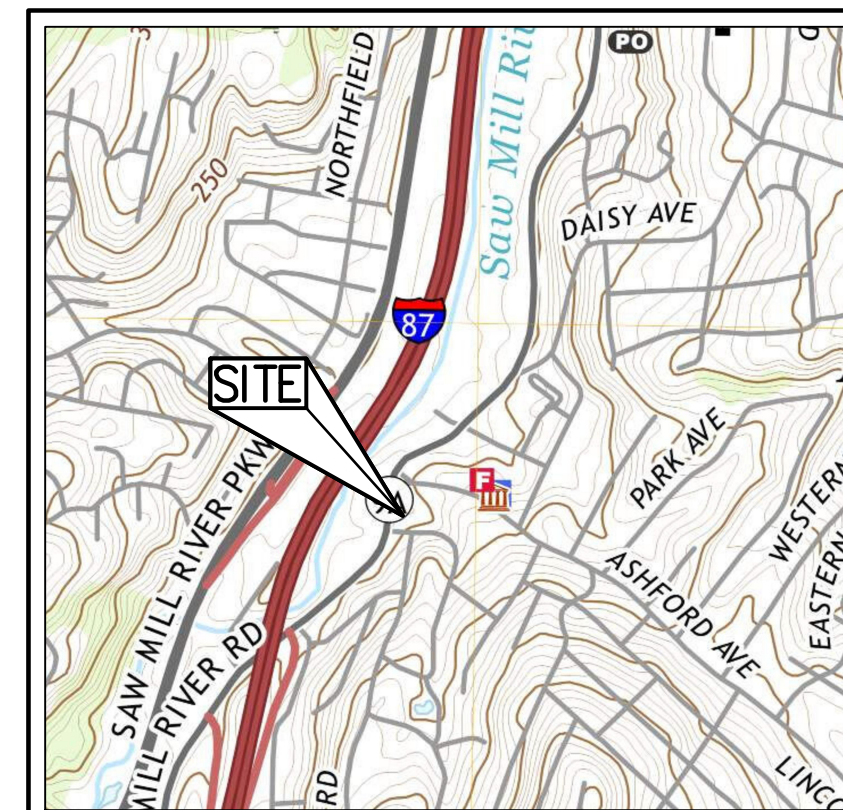
DESCRIPTION	REQUIRED	EXISTING	PROPOSED
LOT AREA (SQUARE FEET)	5,000 MIN.	22,732 ⁽⁵⁾	22,732 ⁽⁵⁾
LOT COVERAGE BY BUILDING (PERCENT)	65 MAX.	10.3	18.3
BUILDING HEIGHT (FEET / STORIES)	45/4 MAX.	-/-	21/1 ⁽⁴⁾
YARDS			
FRONT BUILDING SETBACK (FEET)	10 MIN.	±39.6	±22' ⁽⁷⁾
SIDE BUILDING SETBACK (FEET)	0 ⁽⁵⁾	±44.2	±25'
REAR BUILDING SETBACK (FEET)	0 ⁽⁵⁾	±30.7	±6'
PARKING			
TOTAL SPACES	12	-	12 ⁽²⁾⁽⁴⁾
STANDARD SPACES	11	-	11
ACCESSIBLE SPACES	1	-	1

TABLE OF LAND USE NOTES:

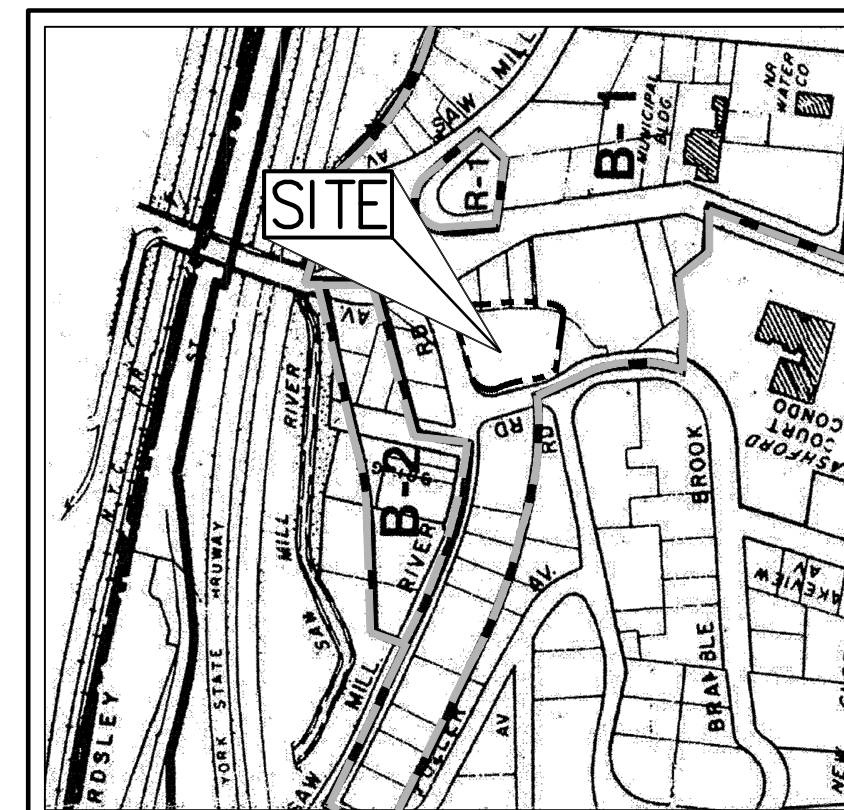
1. LOT COVERAGE AREA INCLUDES 2,150.50 S.F. PROPOSED CONVENIENCE STORE AND 2,018.50 S.F. PROPOSED GASOLINE PUMP CANOPY.
2. THE 6 FUELING SPACES LOCATED UNDER THE PROPOSED CANOPY ARE NOT INCLUDED AS PART OF THE 12 SPACES REQUIRED/ PROVIDED.
3. VILLAGE CODE SECTION 200-70 STATES THAT NO SIDE OR REAR YARD SHALL BE REQUIRED; HOWEVER, IF EITHER IS PROVIDED, ITS LEAST DIMENSION SHALL NOT BE LESS THAN SIX FEET.
4. THE MAXIMUM ROOF HEIGHT WAS TAKEN FROM FINISHED SIDEWALK TO TOP OF MANSARD PARAPET.
5. THE LOT AREA WAS CALCULATED BY THE SURVEYED LOT AREA OF 23,224 LESS 75% OF THE WATERCOURSE AREA, 656 S.F. = 22,732.
6. THE BREAKDOWN OF REQUIRED/ PROVIDED SPACES IS: 1 ACCESSIBLE SPACE, 4 EV CHARGING SPACES & 7 STANDARD SPACES.
7. MEASURED FROM RIDGE ROAD.

GENERAL CONSTRUCTION NOTES APPLY TO ALL WORK HEREIN:

1. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL CALL 811 "DIG SAFELY" (1-800-962-7962) TO HAVE UNDERGROUND UTILITIES LOCATED. EXPLORATORY EXCAVATIONS SHALL COMPLY WITH CODE 753 REQUIREMENTS. NO WORK SHALL COMMENCE UNTIL ALL THE OPERATORS HAVE NOTIFIED THE CONTRACTOR THAT THEIR UTILITIES HAVE BEEN LOCATED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PRESERVATION OF ALL PUBLIC AND PRIVATE UNDERGROUND AND SURFACE UTILITIES AND STRUCTURES AT OR ADJACENT TO THE SITE OF CONSTRUCTION, INsofar AS THEY MAY BE ENDANGERED BY THE CONTRACTOR'S OPERATIONS. THIS SHALL HOLD TRUE WHETHER OR NOT THEY ARE SHOWN ON THE CONTRACT DRAWINGS. IF THEY ARE SHOWN ON THE DRAWINGS, THEIR LOCATIONS ARE NOT GUARANTEED EVEN THOUGH THE INFORMATION WAS OBTAINED FROM THE BEST AVAILABLE SOURCES, AND IN ANY EVENT, OTHER UTILITIES ON THESE PLANS MAY BE ENCOUNTERED IN THE FIELD. THE CONTRACTOR SHALL, AT HIS OWN EXPENSE, IMMEDIATELY REPAIR OR REPLACE ANY STRUCTURES OR UTILITIES THAT HE DAMAGES, AND SHALL CONSTANTLY PROCEED WITH CAUTION TO PREVENT UNDESIRABLE INTERRUPTION OF UTILITY SERVICE.
2. CONTRACTOR SHALL HAND DIG TEST PITS TO VERIFY THE LOCATION OF ALL EXISTING UNDERGROUND UTILITIES PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR SHALL VERIFY EXISTING UTILITIES DEPTHS AND ADVISE OF ANY CONFLICTS WITH PROPOSED UTILITIES. IF CONFLICTS ARE PRESENT, THE OWNER'S FIELD REPRESENTATIVE, JMC, PLLC AND THE APPLICABLE MUNICIPALITY OR AGENCY SHALL BE NOTIFIED IN WRITING. THE EXISTING/PROPOSED UTILITIES RELOCATION SHALL BE DESIGNED BY JMC, PLLC.
3. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ANY AND ALL LOCAL PERMITS REQUIRED.
4. ALL WORK SHALL BE DONE IN STRICT COMPLIANCE WITH ALL APPLICABLE NATIONAL, STATE, AND LOCAL CODES, STANDARDS, ORDINANCES, RULES, AND REGULATIONS. ALL CONSTRUCTION WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL SAFETY CODES. APPLICABLE SAFETY CODES MEAN THE LATEST EDITION INCLUDING ANY AND ALL AMENDMENTS, REVISIONS, AND ADDITIONS THERETO, TO THE FEDERAL DEPARTMENT OF LABOR, OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION'S OCCUPATIONAL SAFETY AND HEALTH STANDARDS (OSHA); AND APPLICABLE SAFETY, HEALTH REGULATIONS AND BUILDING CODES FOR CONSTRUCTION IN THE STATE OF NEW YORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR GUARDING AND PROTECTING ALL OPEN EXCAVATIONS IN ACCORDANCE WITH THE PROVISION OF SECTION 107-05 (SAFETY AND HEALTH REQUIREMENTS) OF THE NYS DOT STANDARD SPECIFICATIONS. IF THE CONTRACTOR PERFORMS ANY HAZARDOUS CONSTRUCTION PRACTICES, ALL OPERATIONS IN THE AFFECTED AREA SHALL BE DISCONTINUED AND IMMEDIATE ACTION SHALL BE TAKEN TO CORRECT THE SITUATION TO THE SATISFACTION OF THE APPROVAL AUTHORITY HAVING JURISDICTION.
5. CONTRACTOR SHALL MAINTAIN ACCESS TO ALL PROPERTIES AFFECTED BY THE SCOPE OF WORK SHOWN HEREON AT ALL TIMES TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE. RAMPING CONSTRUCTION TO PROVIDE ACCESS MAY BE CONSTRUCTED WITH SUBBASE MATERIAL EXCEPT THAT TEMPORARY ASPHALT CONCRETE SHALL BE PLACED AS DIRECTED BY THE ENGINEER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING SAFE PEDESTRIAN ACCESS AT ALL TIMES.
6. CONTRACTOR SHALL MAINTAIN THE INTEGRITY OF EXISTING PAVEMENT TO REMAIN.



VICINITY MAP
 SCALE: 1" = 1,000'
 SOURCE: USGS / 2019



ZONING MAP
 SCALE: 1" = 1,000'
 SOURCE: VILLAGE OF ARDSLEY / 2013

AREA MAP
 SCALE: 1" = 20'

ZONING MAP LEGEND

- ▬▬▬▬▬▬ SITE PROPERTY LINE
- ▬▬▬▬▬▬ ZONING BOUNDARY
- R-1 RESIDENTIAL ZONE
- B-1 GENERAL BUSINESS ZONE

No.	Revision	Date	By
1.	PLANNING BOARD & BAR SUBMISSION	03/30/2021	MTP
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5.	REVISED PER BOARD OF TRUSTEES COMMENTS	01/31/2024	RB
6.	REVISED PER BOARD OF TRUSTEES COMMENTS	03/22/2024	RB

Previous Editions Obsolete

SUBSURFACE UTILITY LOCATIONS ARE BASED ON A COMPILED LIST OF FIELD EVIDENCE, AVAILABLE RECORD PLANS AND/OR UTILITY MARK-OUTS. THE LOCATION OR COMPLETENESS OF UNDERGROUND INFORMATION CANNOT BE GUARANTEED. VERIFY THE ACTUAL LOCATION OF ALL UTILITIES PRIOR TO EXCAVATION OR CONSTRUCTION.



ANY ALTERATION OF PLANS, SPECIFICATIONS, PLATS AND REPORTS BEARING THE SEAL OF A LICENSED PROFESSIONAL ENGINEER OR LICENSED LAND SURVEYOR IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW, EXCEPT AS PROVIDED FOR BY SECTION 7209, SUBSECTION 2.

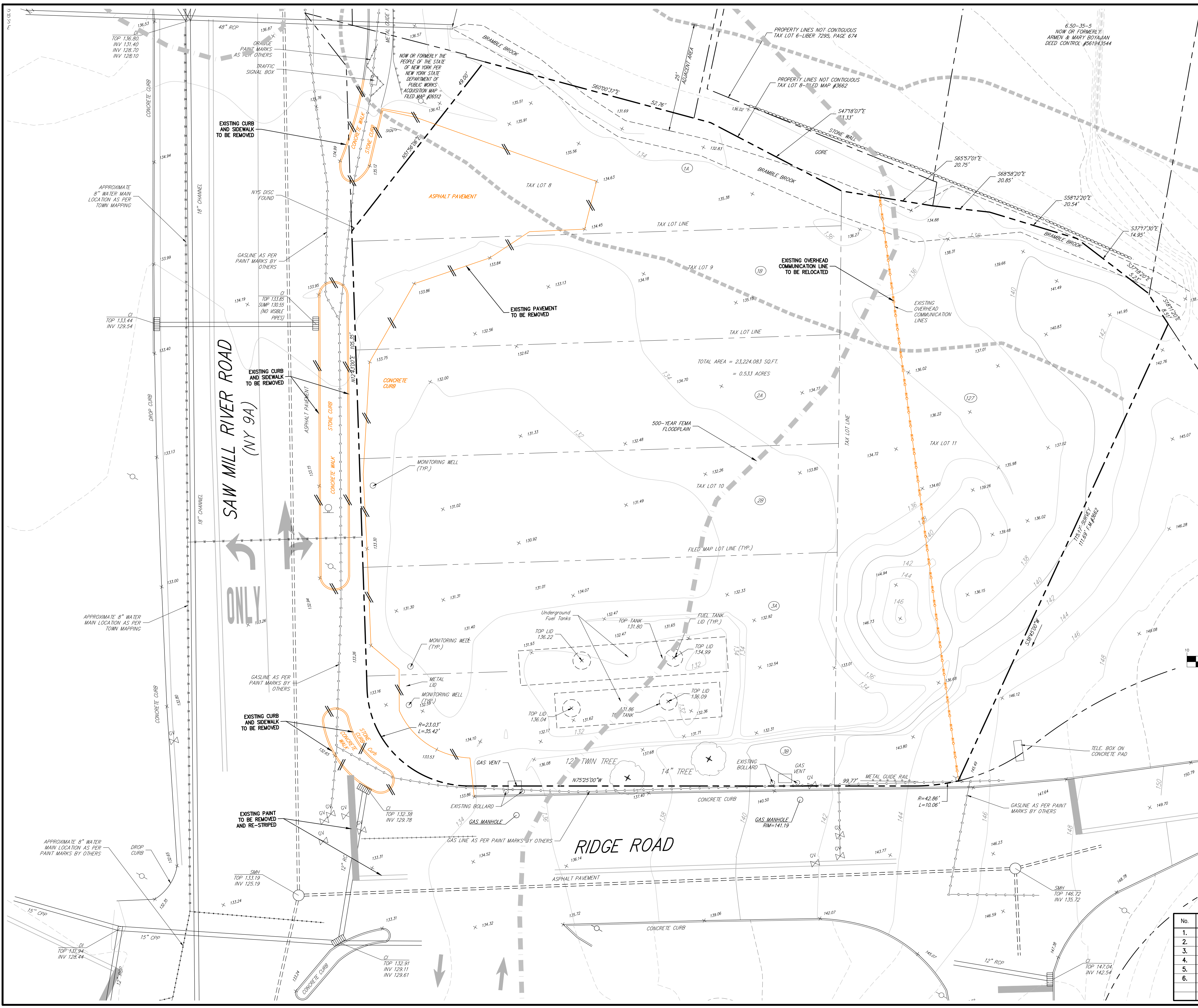


JMC Planning, Engineering, Landscape
 Architecture & Land Surveying, PLLC
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 www.jmcpllc.com

Drawn: **KRM** Approved: **RJP**
 Scale: **NOT TO SCALE**
 Date: **06/26/2020**
 Project No: **18175**
 18175-SE C-000-COVER COVER.ssr
 Drawing No: **C-000**

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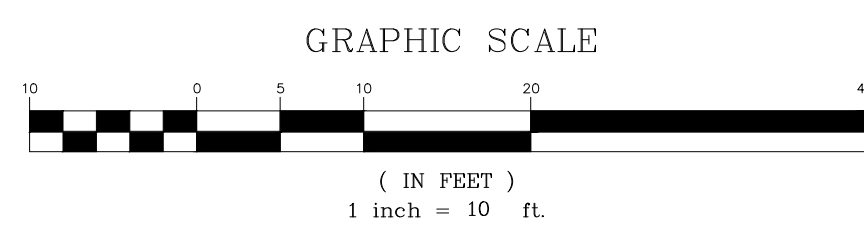
NOT FOR CONSTRUCTION



LEGEND

- EXISTING PROPERTY LINE
- - - ADJACENT PROPERTY LINE
- - - EXISTING EASEMENT LINE
- - - EXISTING WETLAND LINE
- - - EXISTING ADJACENT AREA
- EXISTING PAVEMENT EDGE
- EXISTING CURB LINE
- EXISTING CONTOUR
- EXISTING INDEX CONTOUR
- EXISTING STONE WALL
- EXISTING RETAINING WALL
- EXISTING GUIDE RAIL
- EXISTING FENCE
- EXISTING TREE AND DESIGNATION
- ↑↑↑ EXISTING DIRECTIONAL ARROWS
- EXISTING PAINT
- EXISTING PEDESTRIAN CROSSING
- EXISTING STORM DRAIN LINE AND SIZE
- EXISTING SANITARY LINE AND SIZE
- EXISTING WATER LINE
- EXISTING GAS LINE
- EXISTING OVERHEAD WIRES
- EXISTING DRAIN INLET
- EXISTING MANHOLE
- EXISTING BOLLARD
- EXISTING FIRE HYDRANT
- EXISTING GAS VALVE
- EXISTING WATER VALVE
- EXISTING UTILITY POLE
- EXISTING LIGHT POLE
- EXISTING SIGN
- EXISTING FEATURE TO BE REMOVED
- FEMA 500-YEAR FLOOD LINE

- NOTES**
- EXISTING CONDITIONS DEPICTED ON THIS PLAN HAVE BEEN TAKEN FROM A SURVEY TITLED, "TOPOGRAPHY OF PROPERTY," PREPARED BY THOMAS C. MERRITT'S LAND SURVEYORS, P.C., LAST REVISED 11/17/2020.
 - EXISTING CONDITIONS DEPICTED ON THIS PLAN HAVE BEEN SUPPLEMENTED UTILIZING NEW YORK STATE GS CLEARINGHOUSE ORTHOPHOTOS. THIS INFORMATION SHOULD BE CONSIDERED APPROXIMATE AND USED FOR PLANNING PURPOSES ONLY.
 - EXISTING CONDITIONS DEPICTED ON THIS PLAN HAVE ALSO BEEN SUPPLEMENTED WITH INFORMATION FROM "SITE LOCATION PLAN" PREPARED BY DRE ENVIRONMENTAL, INC., DATED 11/01/2016.

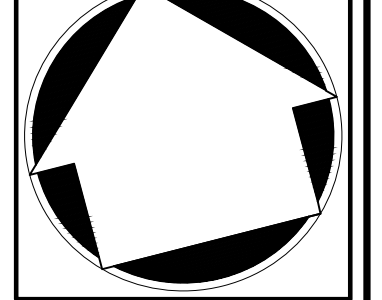


APPLICANT/OWNER:
THORNWOOD FOUR CORNERS LLC.
25 SAINT CHARLES STREET
THORNWOOD, NY 10594

ARCHITECT:
GK+A ARCHITECTS, PC
36 AMES AVENUE
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www.jmcpic.com



EXISTING CONDITIONS MAP AND SITE REMOVALS PLAN

GAS STATION / CONVENIENCE MARKET
657 SAW MILL RIVER ROAD
VILLAGE OF ARDSLEY, NEW YORK



No.	Revision	Date	By
1.	PLANNING BOARD & BAR SUBMISSION	03/30/2021	MTP
2.	RESPOND TO VILLAGE COMMENTS	12/01/2021	SPG
3.	REVISED PER TOWN COMMENTS	01/13/2022	CDF
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6.	REVISED PER BOARD OF TRUSTEES COMMENTS	03/22/2024	RB

Previous Editions Obsolete

Drawn: **KRM** Approved: **RJP**

Scale: **1" = 10'**

Date: **05/26/2020**

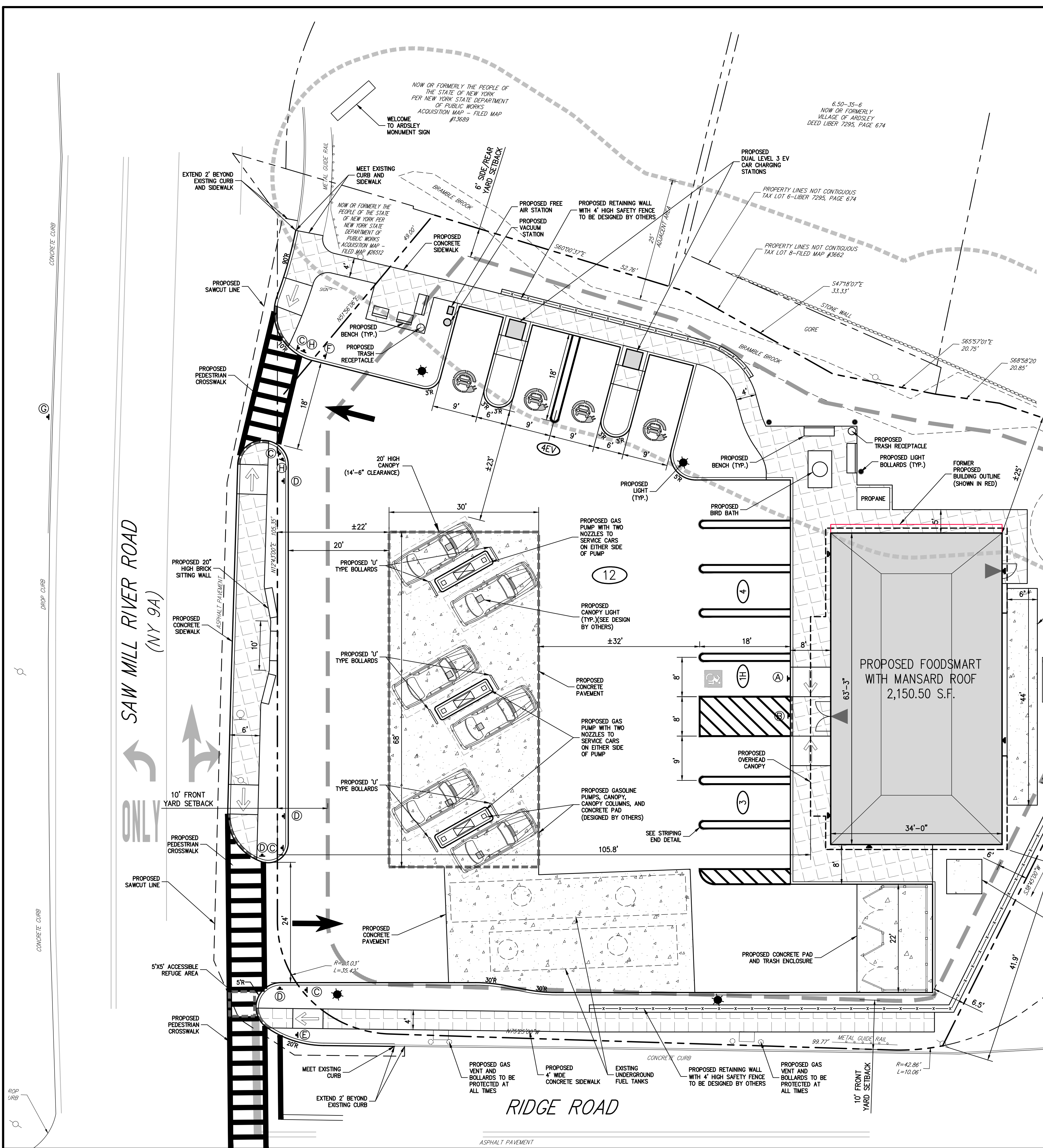
Project No: **18175**

18175-SE C-010-EXIST EXST.acx

Drawing No: **C-010**

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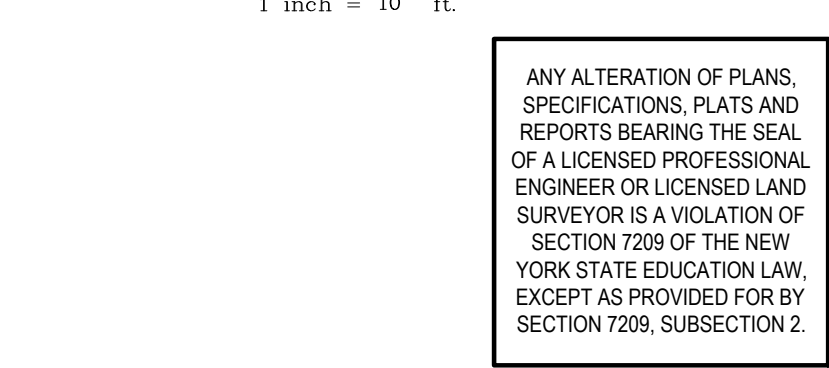
NOT FOR CONSTRUCTION



SIGN TABLE with columns: DESCRIPTION NUMBER, SIGN, SIZE, DESCRIPTION, MOUNTING TYPE, MOUNTING HEIGHT, REGULATORY, RECOMMENDED.

LEGEND with various symbols and their corresponding descriptions for property lines, curbs, and other site features.

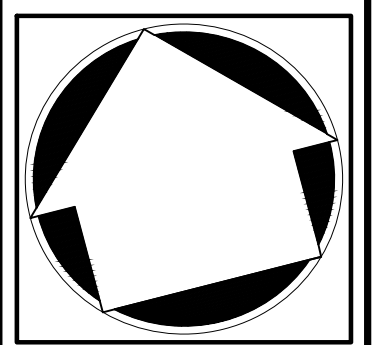
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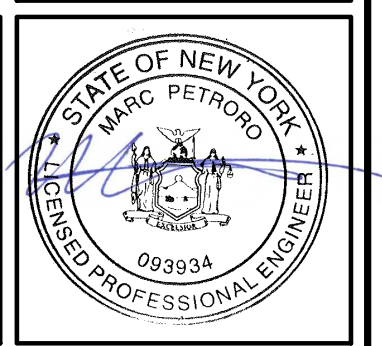
APPLICANT/OWNER: THORNWOOD FOUR CORNERS LLC. 25 SAINT CHARLES STREET THORNWOOD, NY 10594

ARCHITECT: GK+A ARCHITECTS, PC 36 AMES AVENUE RUTHERFORD, NEW JERSEY 07070

JMC Planning, Engineering, Landscape Architecture & Land Surveying, PLLC JMC Site Development Consultants, LLC

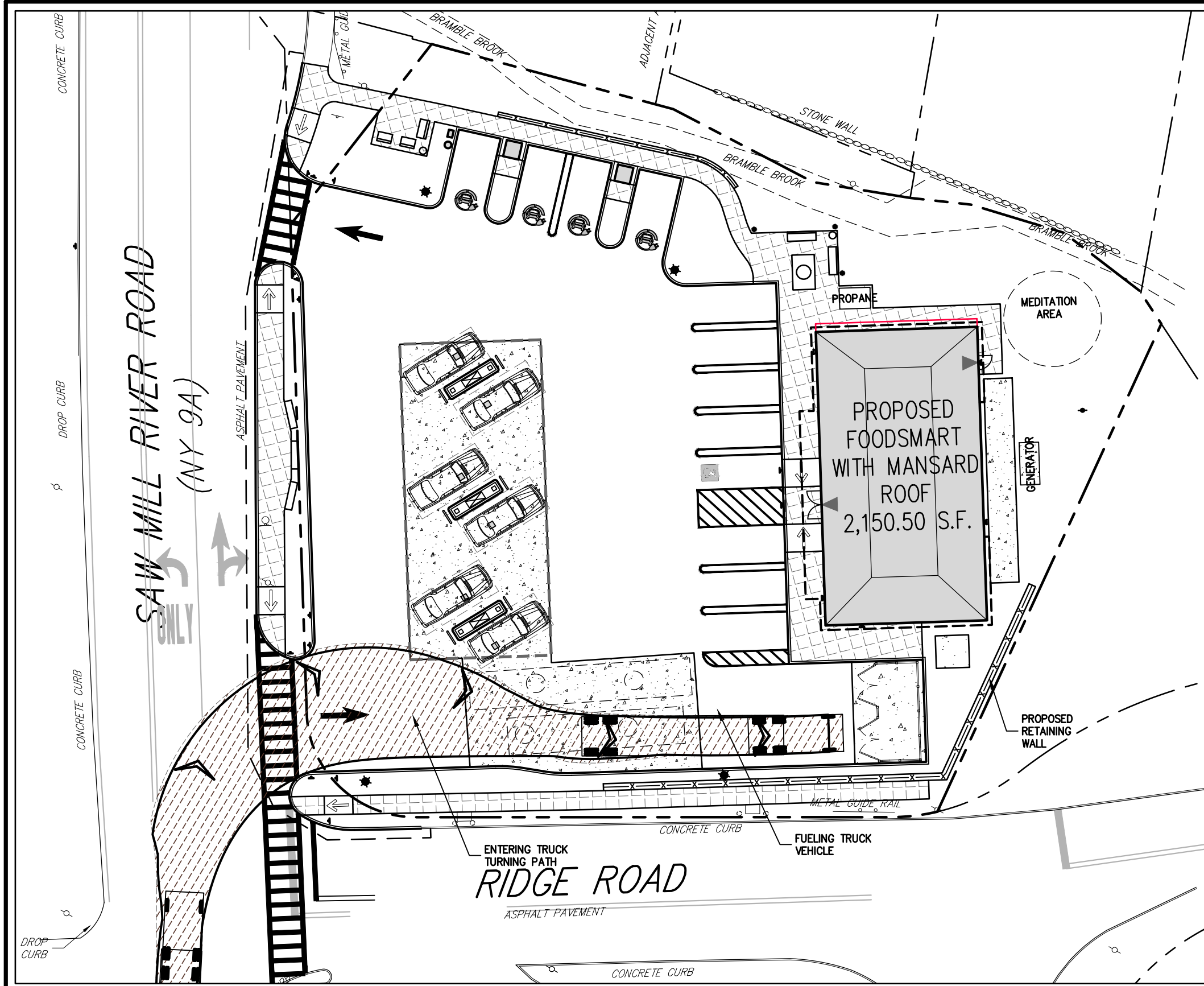


LAYOUT PLAN GAS STATION / CONVENIENCE MARKET 657 SAW MILL RIVER ROAD VILLAGE OF ARDSLEY, NEW YORK

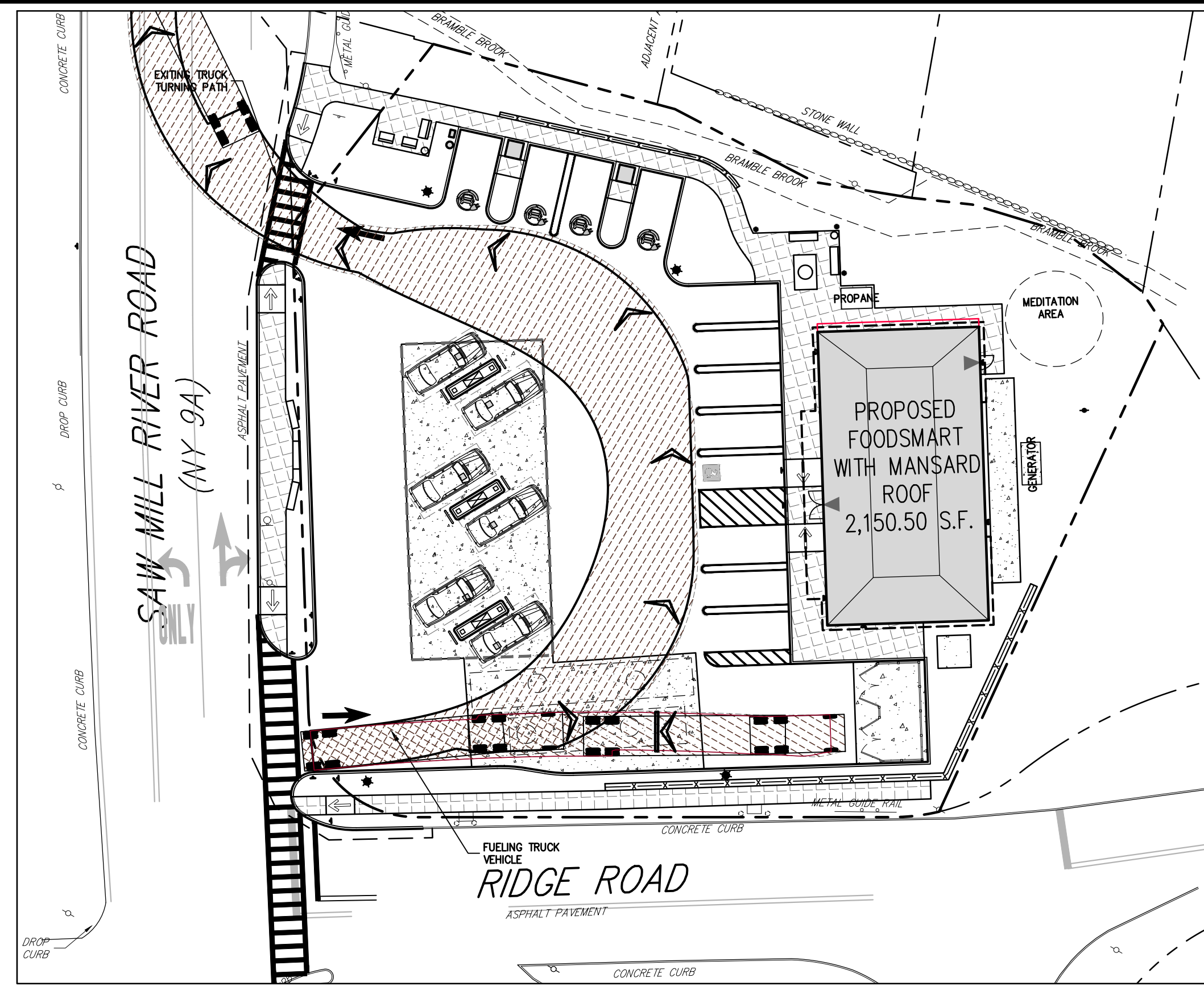


Revision table with columns: No., Revision, Date, By.

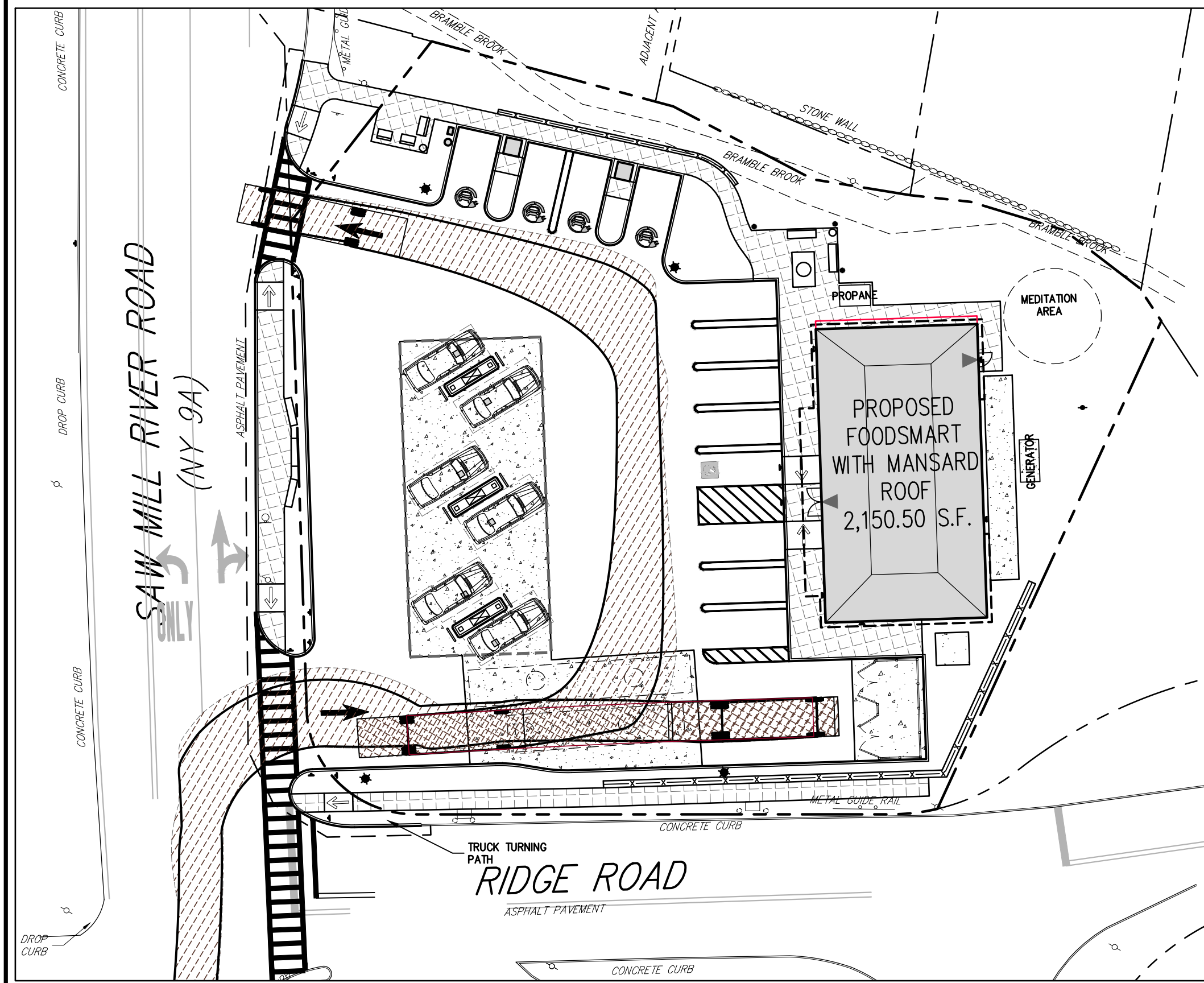
Scale: 1" = 10' Date: 05/26/2020 Project No: 18175 Drawing No: C-100



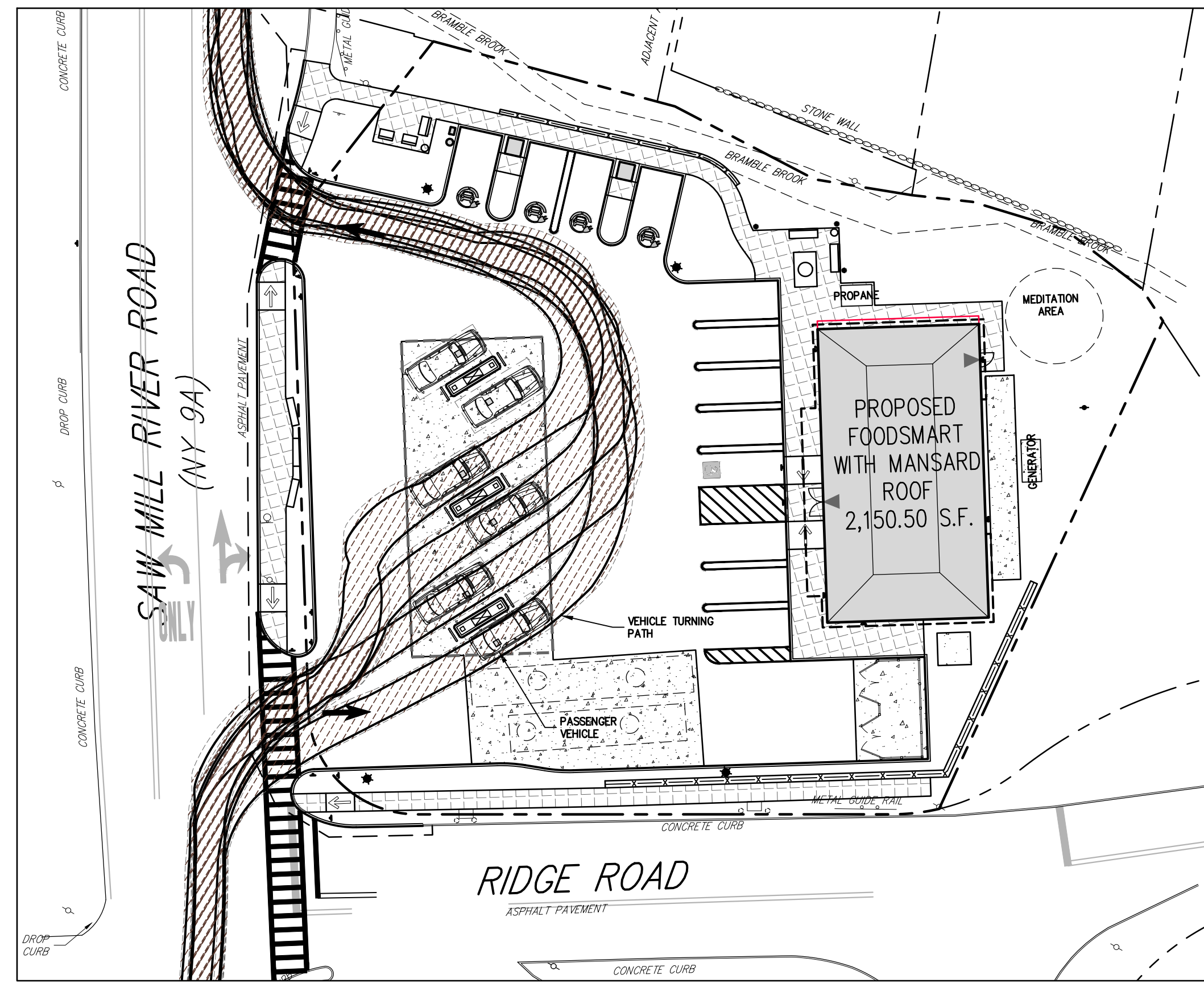
FUELING TRUCK ENTERING TURNING ANALYSIS



FUELING TRUCK EXITING TURNING ANALYSIS

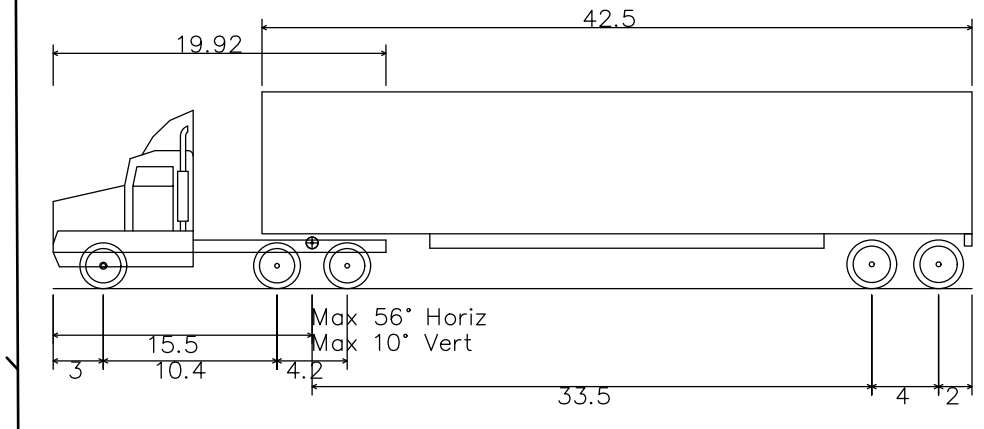


GARBAGE TRUCK TURNING ANALYSIS

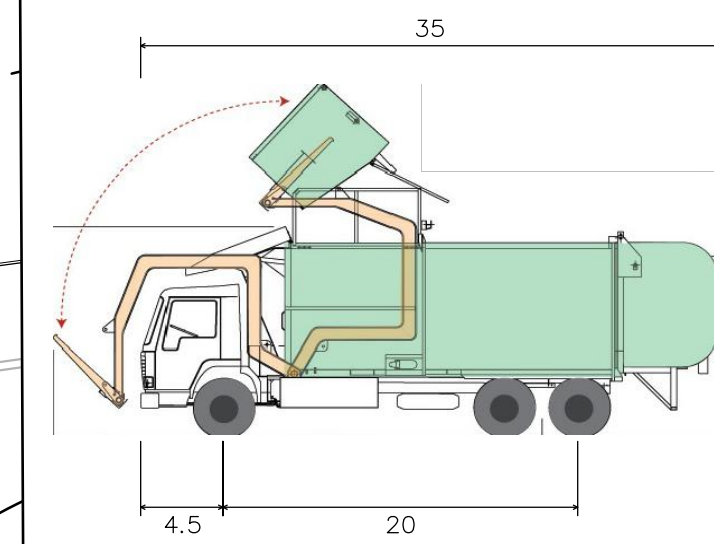


PASSENGER VEHICLE TURNING ANALYSIS

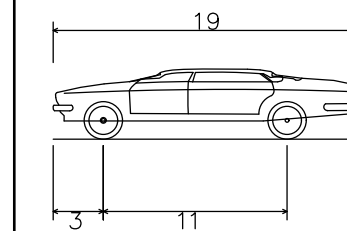
VEHICLE PROFILES



WB-50 - Intermediate Semi-Trailer
 Overall Length 55.00ft
 Overall Width 8.500ft
 Overall Body Height 12.052ft
 Min Body Ground Clearance 1.334ft
 Max Track Width 8.500ft
 Lock-to-lock time 6.00s
 Max Steering Angle (Virtual) 17.90°



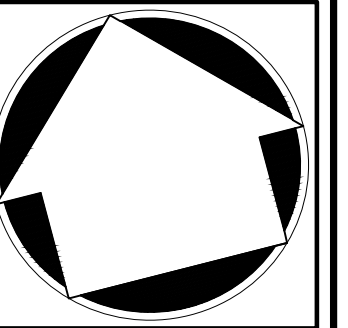
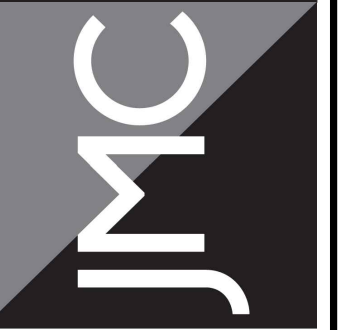
Front-Load Garbage Truck
 Overall Length 35.000ft
 Overall Width 8.375ft
 Overall Body Height 10.546ft
 Min Body Ground Clearance 1.000ft
 Track Width 8.375ft
 Lock-to-lock time 6.00s
 Curb to Curb Turning Radius 29.300ft



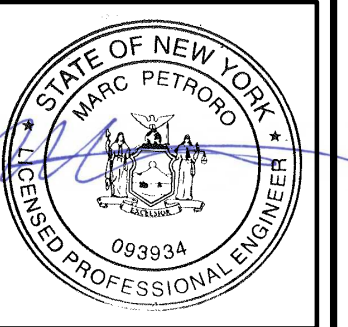
P - Passenger Car
 Overall Length 19.000ft
 Overall Width 7.000ft
 Overall Body Height 4.300ft
 Min Body Ground Clearance 1.115ft
 Track Width 5.000ft
 Lock-to-lock time 4.00s
 Max Steering Angle (Virtual) 51.60°

APPLICANT/OWNER:
THORNWOOD FOUR CORNERS LLC.
 25 SAINT CHARLES STREET
 THORNWOOD, NY 10594
 ARCHITECT:
GK+A ARCHITECTS, PC
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TURNING ANALYSIS PLAN
 GAS STATION / CONVENIENCE MARKET
 657 SAW MILL RIVER ROAD
 VILLAGE OF ARDSLEY, NEW YORK

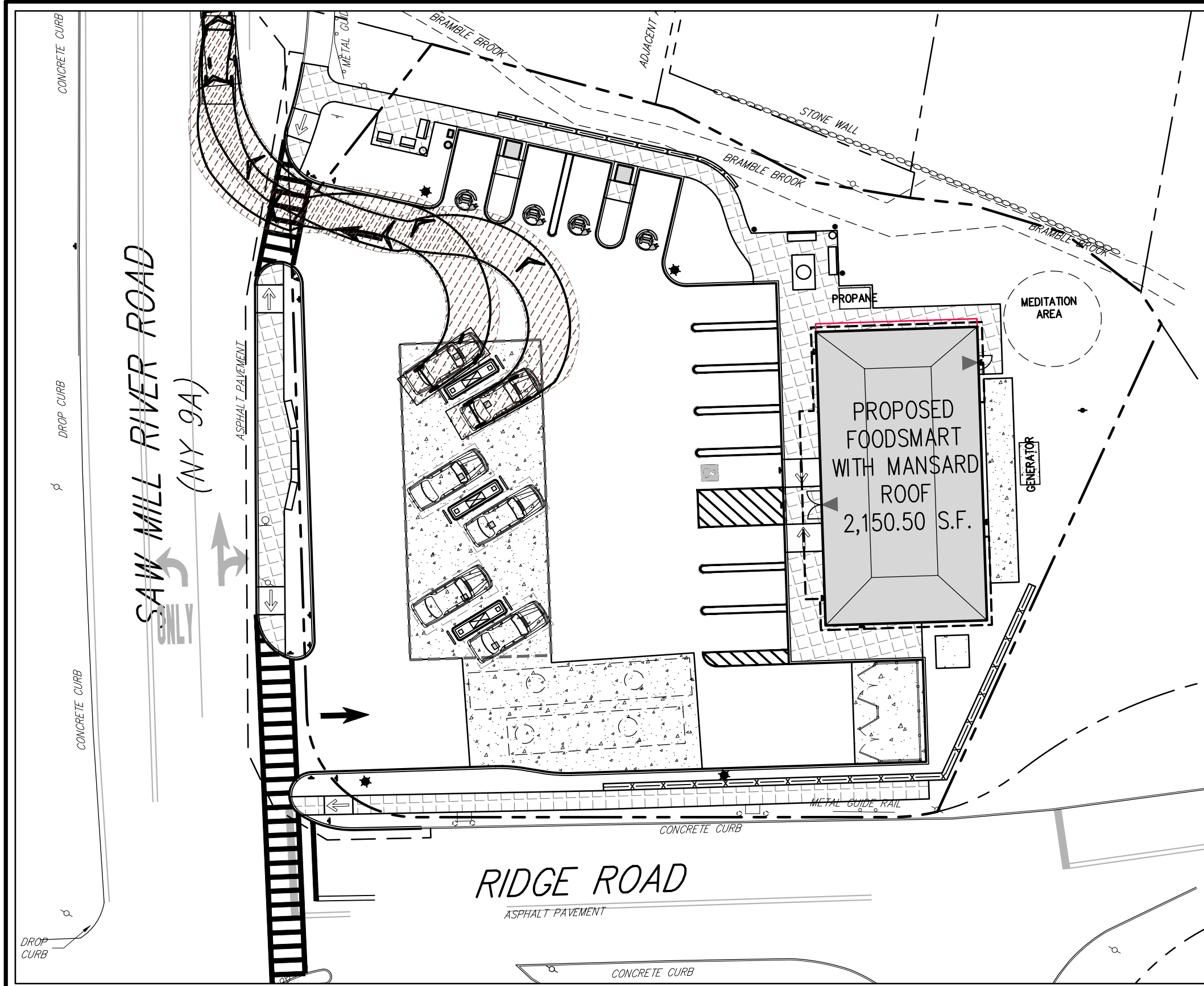


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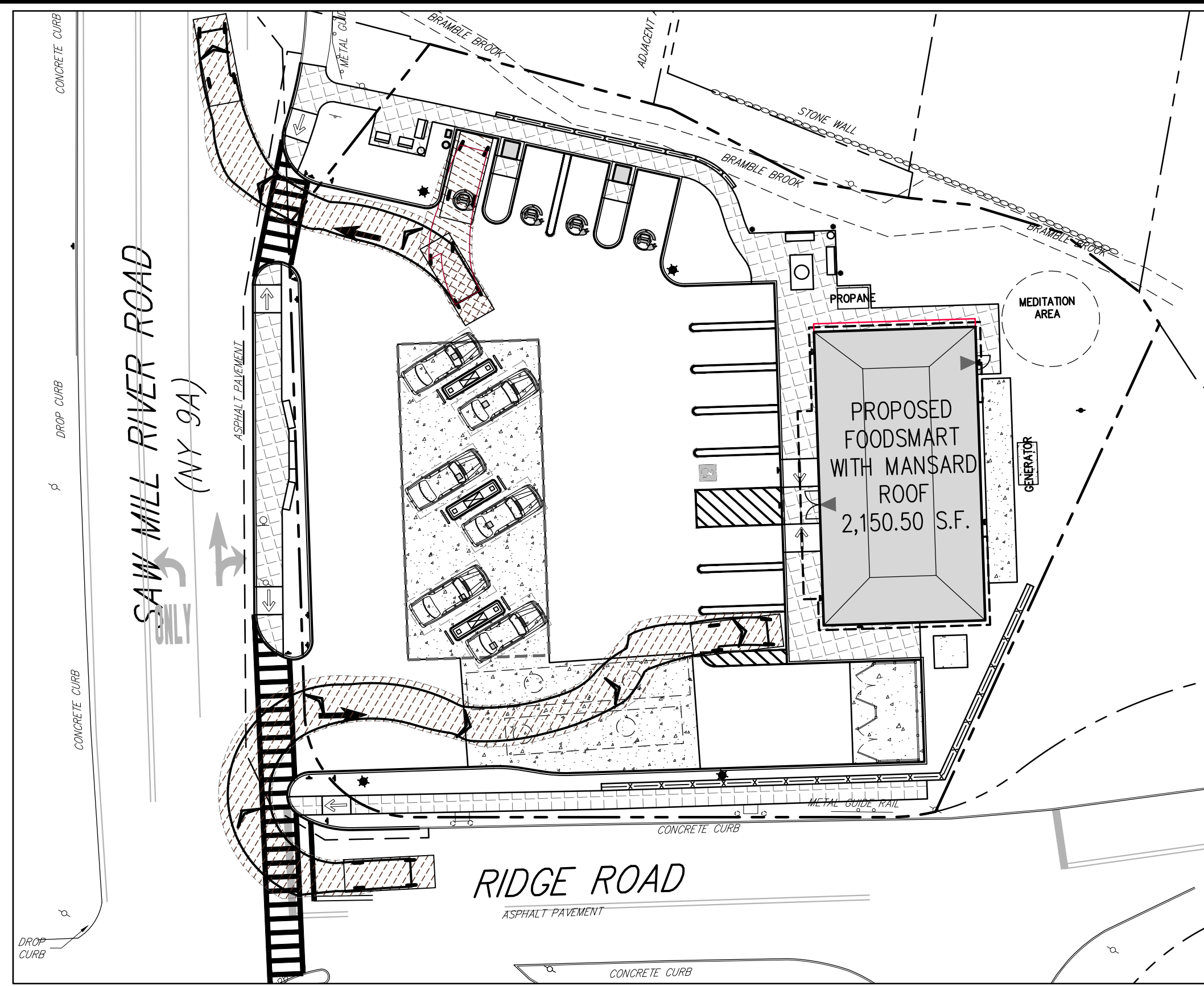
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6.	REVISED PER BOARD OF TRUSTEES COMMENTS	01/31/2024	RB
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Drawn: **KRM** Approved: **RJP**
 Scale: 1" = 20'
 Date: 05/26/2020
 Project No: 18175
 1815-SE C-110-MOE 1A-VH-04
 Drawing No: **C-110**

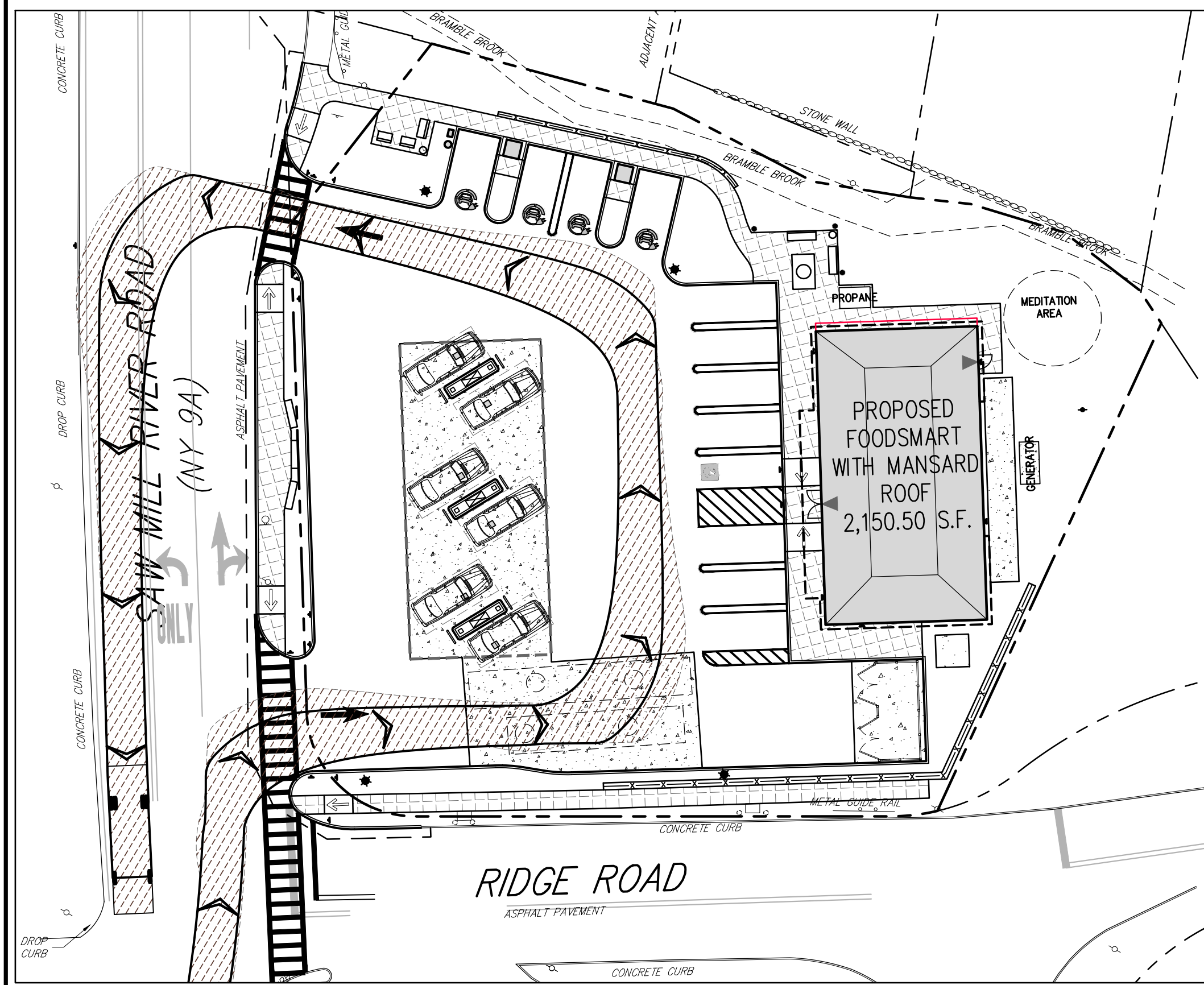
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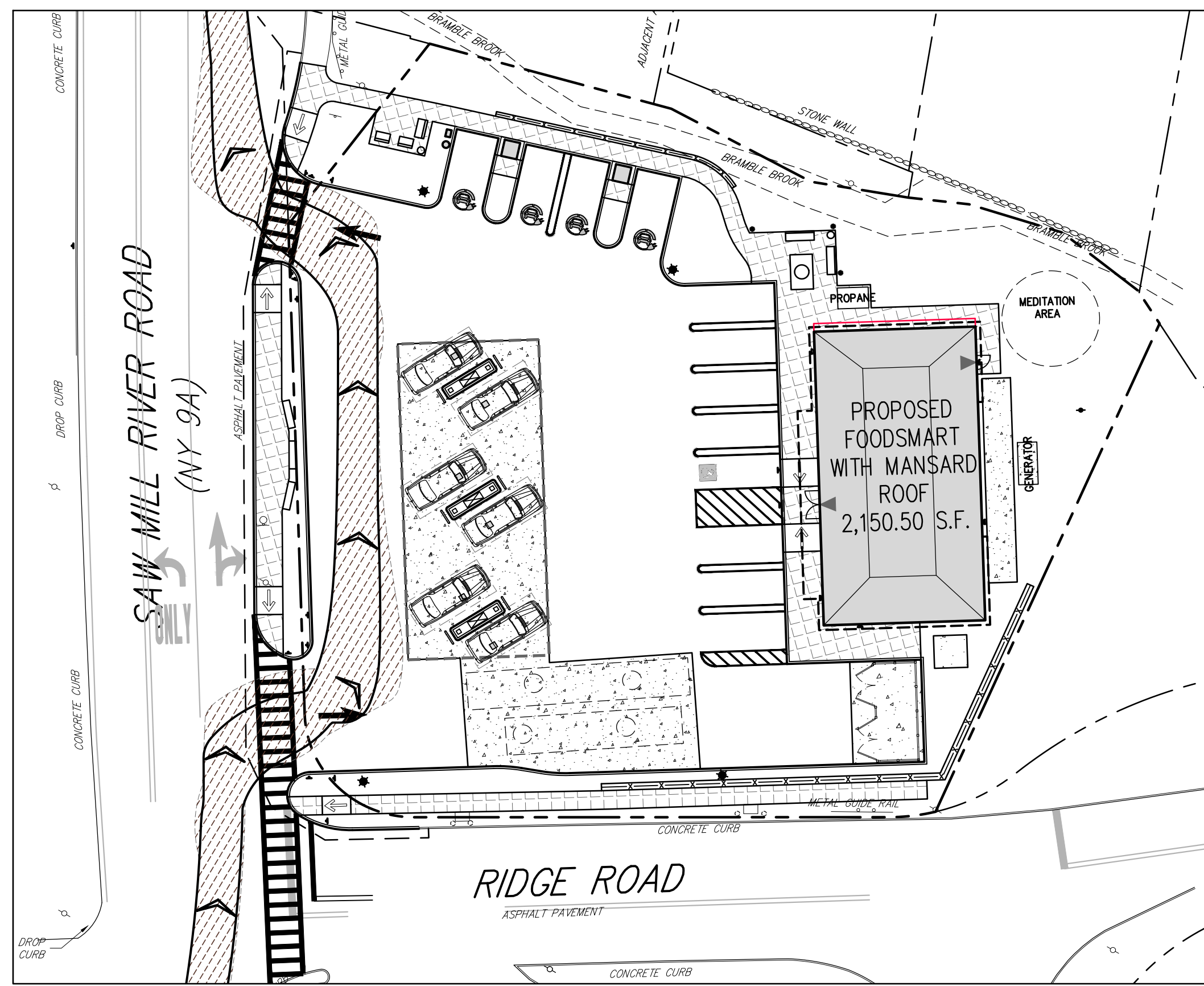
PASSENGER VEHICLE EXITING PUMPS TURNING ANALYSIS



PASSENGER VEHICLE TURNING ANALYSIS

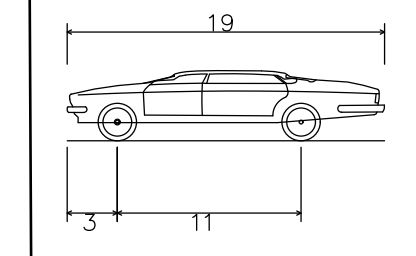


FIRE TRUCK CIRCULATING SITE TURNING ANALYSIS

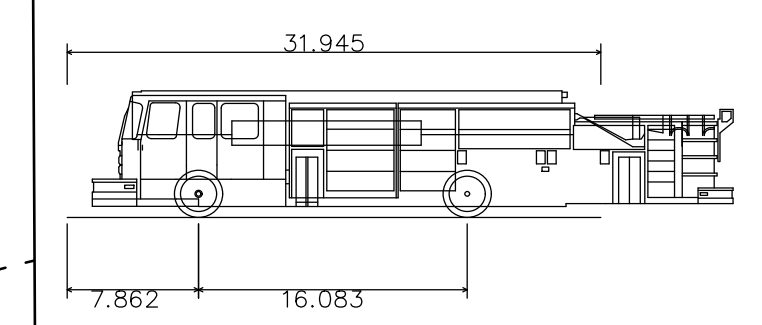


FIRE TRUCK CIRCULATING SITE TURNING ANALYSIS

VEHICLE PROFILES



P - Passenger Car
 Overall Length 19.00ft
 Overall Width 7.00ft
 Overall Body Height 4.30ft
 Min Body Ground Clearance 1.115ft
 Track Width 6.00ft
 Lock-to-lock time 4.00s
 Max Steering Angle (Virtual) 31.60°



SPARTAN GLADIATOR MFD 10RR
 Overall Length 31.945ft
 Overall Width 8.25ft
 Overall Body Height 7.759ft
 Min Body Ground Clearance 0.670ft
 Track Width 8.25ft
 Lock-to-lock time 5.00s
 Max Wheel Angle 45.00°

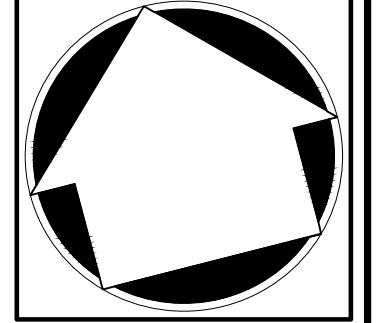
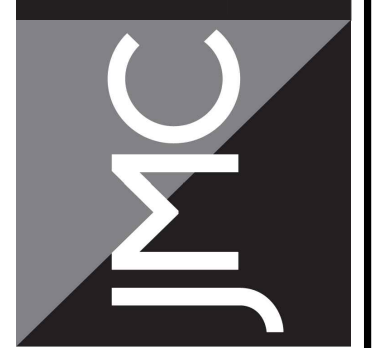
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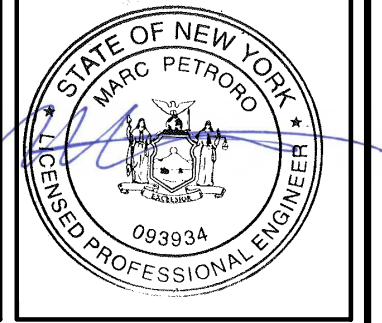
APPLICANT/OWNER:
THORNWOOD FOUR CORNERS LLC.
 25 SAINT CHARLES STREET
 THORNWOOD, NY 10594

ARCHITECT:
GK+A ARCHITECTS, PC
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TURNING ANALYSIS PLAN
 GAS STATION / CONVENIENCE MARKET
 657 SAW MILL RIVER ROAD
 VILLAGE OF ARDSLEY, NEW YORK



ANY ALTERATION OF PLANS, SPECIFICATIONS, PLATS AND REPORTS BEARING THE SEAL OF A LICENSED PROFESSIONAL ENGINEER OR LICENSED LAND SURVEYOR IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW, EXCEPT AS PROVIDED FOR BY SECTION 7209, SUBSECTION 2.

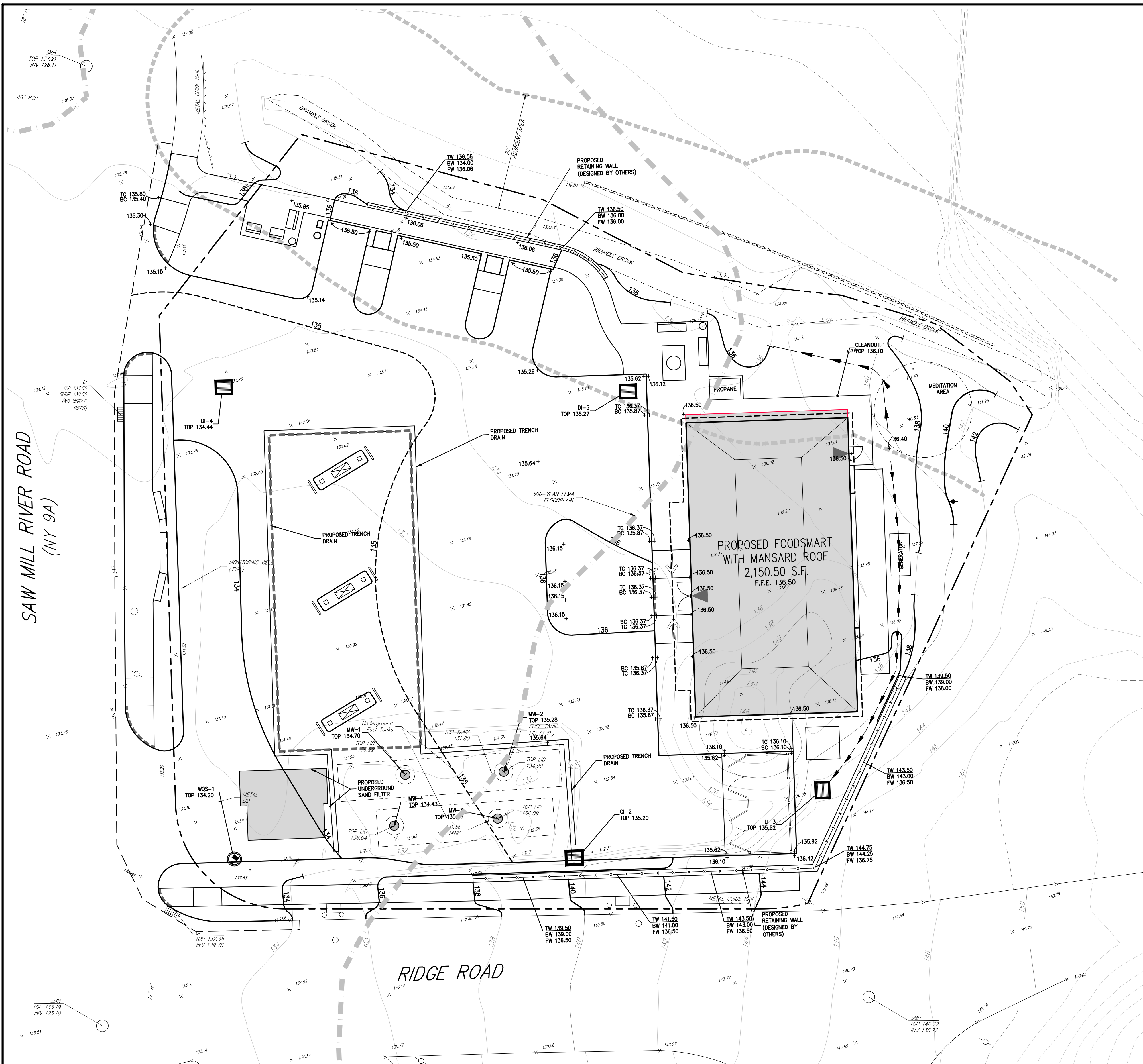
No.	Revision	Date	By
1.	REVISED PER BOARD OF TRUSTEES COMMENTS	01/31/2024	RB
2.	REVISED PER BOARD OF TRUSTEES COMMENTS	03/22/2024	RB

Drawn: **KRM** Approved: **RJP**
 Scale: 1" = 20'
 Date: 05/26/2020
 Project No: 18175
 18175-05 C-120-W06 TA-VH10r
 Drawing No:
C-120

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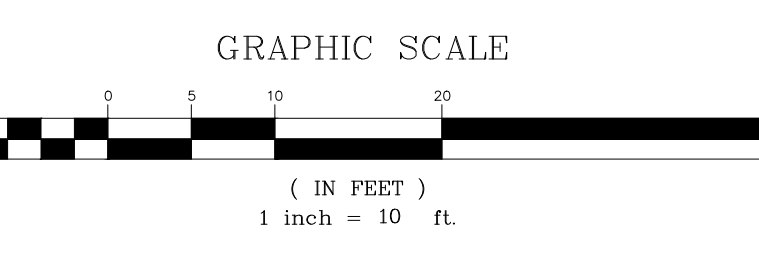
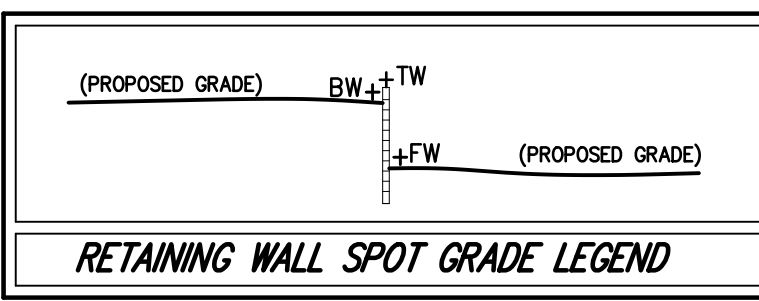
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LEGEND

	EXISTING PROPERTY LINE
	ADJACENT PROPERTY LINE
	FORMER PROPERTY LINE
	EXISTING SETBACK LINE
	EXISTING WATERCOURSE
	EXISTING WATERCOURSE BUFFER
	EXISTING PAVEMENT EDGE
	EXISTING CURB LINE
	EXISTING CONTOUR
	EXISTING INDEX CONTOUR
	EXISTING STONE WALL
	EXISTING RETAINING WALL
	EXISTING GUIDE RAIL
	EXISTING DRAIN INLET
	EXISTING MANHOLE
	EXISTING UTILITY POLE
	EXISTING SIGN
	EXISTING FUEL MANWAY
	PROPOSED TYPE CI DRAIN INLET
	PROPOSED TYPE DI OR LI DRAIN INLET
	PROPOSED BUILDING LINE
	PROPOSED EDGE OF PAVEMENT/CURB LINE
	PROPOSED CONCRETE SIDEWALK
	PROPOSED DROP CURB AND RAMP
	PROPOSED MAJOR CONTOUR
	PROPOSED MINOR CONTOUR
	PROPOSED SPOT GRADE
	PROPOSED RETAINING WALL (DESIGN BY OTHERS)
	PROPOSED GUIDE RAIL
	FEMA 500-YEAR FLOOD LINE

- NOTES:**
- EXISTING CONDITIONS DEPICTED ON THIS PLAN HAVE BEEN TAKEN FROM SURVEY TITLED "TOPOGRAPHY OF PROPERTY" PREPARED BY THOMAS C. MERRITT'S LAND SURVEYORS, P.C., LAST REVISED 11/17/2020.
 - EXISTING CONDITIONS DEPICTED ON THIS PLAN HAVE BEEN SUPPLEMENTED UTILIZING NEW YORK STATE GIS CLEARINGHOUSE ORTHOMAGERY. THIS INFORMATION SHOULD BE CONSIDERED APPROXIMATE AND USED FOR PLANNING PURPOSES ONLY.
 - EXISTING CONDITIONS DEPICTED ON THIS PLAN HAVE ALSO BEEN SUPPLEMENTED WITH INFORMATION FROM "SITE LOCATION PLAN" PREPARED BY DRE ENVIRONMENTAL, INC., DATED 11/1/2016.
 - ALL STORMWATER MANAGEMENT PRACTICES SHALL REMAIN UNDISTURBED AND BE PROTECTED FROM HEAVY MACHINERY TRAFFIC DURING CONSTRUCTION. HOWEVER DURING CONSTRUCTION OF THE PRACTICE THE CONTRACTOR SHALL MINIMIZE AND AVOID HEAVY MACHINERY TRAFFIC TO THE MAXIMUM EXTENT PRACTICABLE. THERE SHALL BE NO STORAGE OF MATERIALS WITHIN AREAS TO BE USED FOR STORMWATER MANAGEMENT PRACTICES. THE CONTRACTOR SHALL INSTALL CONSTRUCTION FENCE AROUND THE PRACTICE TO DISCOURAGE VEHICLE TRAFFIC.
 - THE FEMA 100-YEAR BASE FLOOD ELEVATION IS 132.33.
 - THE CONSTRUCTION OF ALL WALLS GREATER THAN FOUR (4) FEET IN HEIGHT SHALL BE INSPECTED AND CERTIFIED TO THEIR COMPLIANCE WITH THE APPROVED DESIGN BY THE DESIGN PROFESSIONAL PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY/COMPLETION.

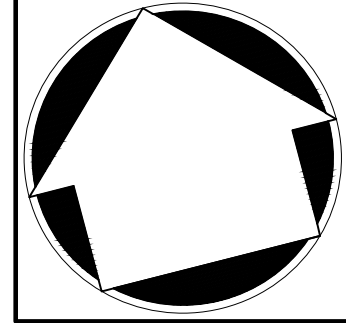
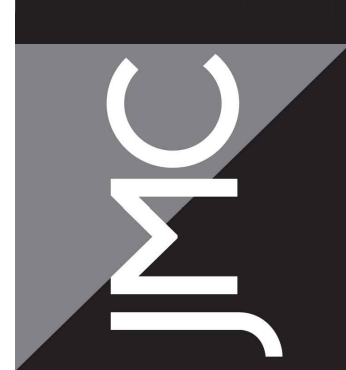


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GRADING PLAN

GAS STATION / CONVENIENCE MARKET
 657 SAW MILL RIVER ROAD
 VILLAGE OF ARDSLEY, NEW YORK

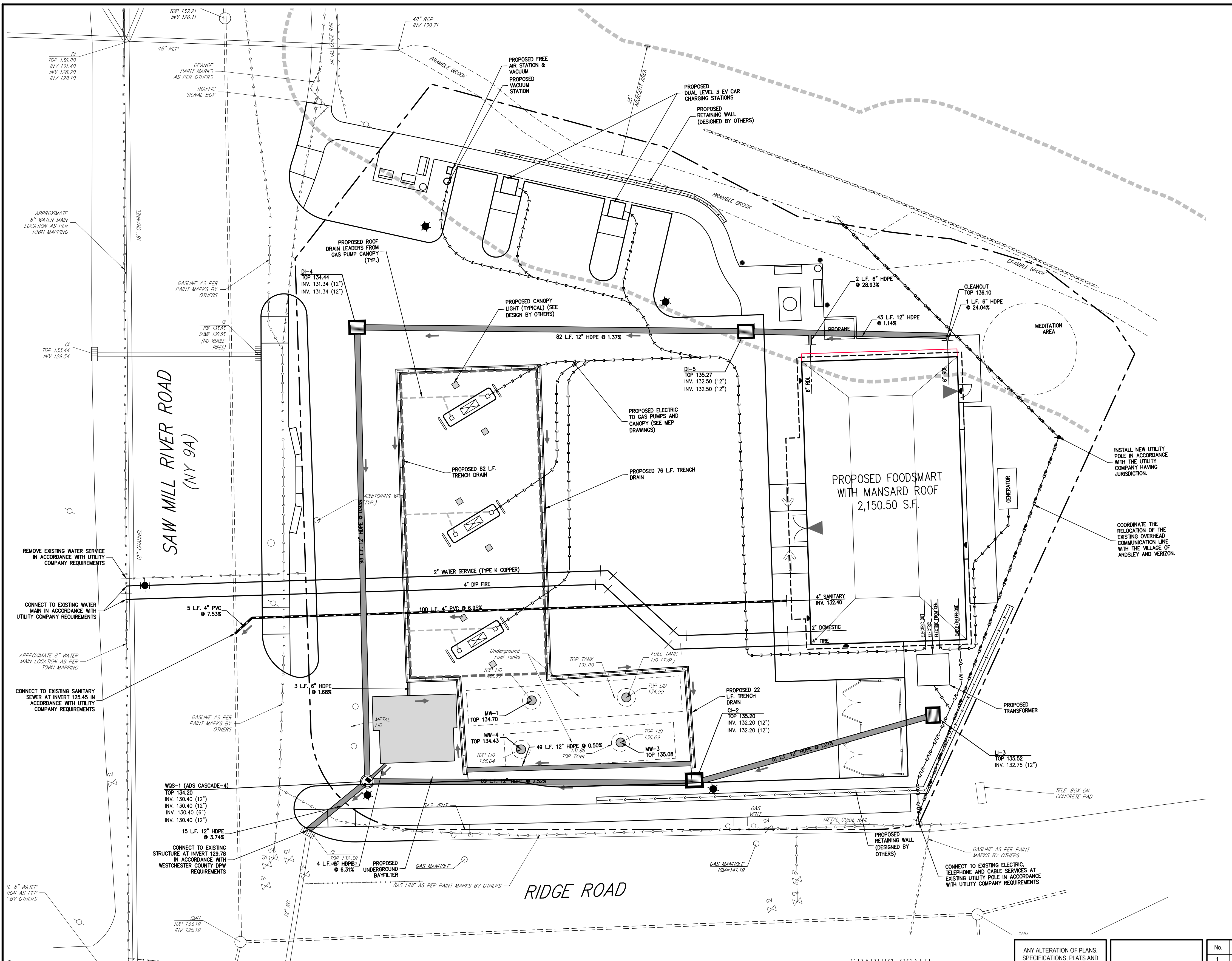


No.	Revision	Date	By
1.	PLANNING BOARD & BAR SUBMISSION	03/30/2021	MTP
2.	RESPOND TO VILLAGE COMMENTS	12/01/2021	SPG
3.	REVISED PER TOWN COMMENTS	01/13/2022	CDP
4.	REVISED PER BOARD OF TRUSTEES COMMENTS	12/01/2023	SMN
5.	REVISED PER BOARD OF TRUSTEES COMMENTS	01/31/2024	RB
6.	REVISED PER BOARD OF TRUSTEES COMMENTS	03/22/2024	RB

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Drawn: **KRM** Approved: **RJP**
 Scale: **1" = 10'**
 Date: **05/26/2020**
 Project No: **18175**
 1875-9E C-200-040 GR40.scr
 Drawing No:
C-200

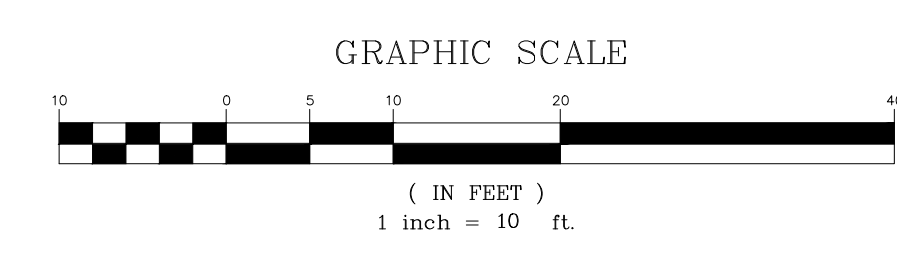
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LEGEND

- EXISTING PROPERTY LINE
- ADJACENT PROPERTY LINE
- FORMER PROPERTY LINE
- EXISTING SETBACK LINE
- EXISTING WATERCOURSE
- EXISTING WATERCOURSE BUFFER
- EXISTING PAVEMENT EDGE
- EXISTING CURB LINE
- EXISTING STONE WALL
- EXISTING RETAINING WALL
- EXISTING GUIDE RAIL
- EXISTING FENCE
- EXISTING STORM DRAIN LINE AND SIZE
- EXISTING SANITARY LINE AND SIZE
- EXISTING WATER LINE
- EXISTING GAS LINE
- EXISTING OVERHEAD WIRES
- EXISTING DRAIN INLET
- EXISTING MANHOLE
- EXISTING BOLLARD
- EXISTING FIRE HYDRANT
- EXISTING GAS VALVE
- EXISTING WATER VALVE
- EXISTING UTILITY POLE
- PROPOSED BUILDING LINE
- PROPOSED EDGE OF PAVEMENT/CURB LINE
- PROPOSED CONCRETE SIDEWALK
- PROPOSED DROP CURB AND RAMP
- PROPOSED FUEL MANWAY
- PROPOSED WATER QUALITY STRUCTURE
- PROPOSED TYPE CI DRAIN INLET
- PROPOSED TYPE DI OR LI DRAIN INLET
- PROPOSED TRENCH DRAIN
- PROPOSED STORM DRAIN LINE AND SIZE
- PROPOSED SANITARY SEWER LINE & SIZE
- PROPOSED WATER LINE & SIZE
- PROPOSED ELECTRIC LINE
- PROPOSED TELEPHONE/CABLE LINE
- PROPOSED ELECTRIC/TELEPHONE/CABLE
- PROPOSED RETAINING WALL (DESIGN BY OTHERS)

- NOTES**
- EXISTING CONDITIONS DEPICTED ON THIS PLAN HAVE BEEN TAKEN FROM SURVEY TITLED "TOPOGRAPHY OF PROPERTY," PREPARED BY THOMAS C. MERRITS LAND SURVEYORS, P.C., LAST REVISED 11/17/2020.
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 - EXISTING CONDITIONS DEPICTED ON THIS PLAN HAVE ALSO BEEN SUPPLEMENTED WITH INFORMATION FROM "SITE LOCATION PLAN" PREPARED BY DRE ENVIRONMENTAL, INC., DATED 11/01/2016.
 - UNLESS OTHERWISE SPECIFIED, PIPE FOR SANITARY SEWER GRAVITY LINES SHALL BE POLYETHYLENE GLYCOL PIPE (PE) 300-35, WITH PUSH-ON JOINTS IN ACCORDANCE WITH ASTM D-3034 AND D-3212.
 - UNLESS OTHERWISE SPECIFIED, PIPE FOR WATER LINES SHALL BE DOUBLE CEMENT-LINED DUCTILE IRON PIPE (DIP), CLASS 54, WITH PUSH-ON JOINTS AND FIELD-LOK GASKETS IN ACCORDANCE WITH AWWA C-150, C-151, C-104 AND C-111.
 - ALL COPPER SERVICE LINES SHALL BE SEAMLESS TYPE "K" COPPER IN ACCORDANCE WITH ASTM-88 WITH COMPRESSION OR FLARED JOINTS.
 - ELECTRIC, TELEPHONE, AND CABLE TELEVISION LINES SHALL BE INSTALLED UNDERGROUND IN CONDUIT IN ACCORDANCE WITH THE REQUIREMENTS OF THE UTILITY COMPANY HAVING JURISDICTION.
 - CONTRACTOR SHALL MAINTAIN A MINIMUM OF 4 FEET OF COVER OVER ALL WATER MAINS.
 - CONTRACTOR SHALL MAINTAIN MINIMUM HORIZONTAL AND VERTICAL CROSSING DISTANCES PER THE WESTCHESTER COUNTY DEPARTMENT OF HEALTH REQUIREMENTS. IF MINIMUM DISTANCES CANNOT BE MAINTAINED, THE CONTRACTOR SHALL USE CONTROLLED LOW STRENGTH MATERIAL FOR BACKFILL AROUND CROSSINGS.
 - ALL UTILITY CONNECTIONS AT BUILDING SHALL BE COORDINATED WITH THE PLUMBING, MECHANICAL AND ELECTRICAL BUILDING CONTRACTORS.
 - SEE DRAWINGS FROM OTHERS FOR DESIGN OF UTILITY CONNECTIONS, CONDUITS, WIRING, ETC. FOR SITE LIGHTING Pylon SIGN, OTHER ILLUMINATED SIGNAGE, AIR/VACUUM MACHINE, PROPANE FUELING, AND GENERATOR CONNECTIONS.
 - IT IS THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE ALL UTILITY CONNECTIONS/EXTENSIONS/RELOCATIONS WITH APPROPRIATE UTILITY COMPANIES AS REQUIRED. INSTALLATION OF ALL UTILITIES SHALL CONFORM TO UTILITY COMPANY REQUIREMENTS.
 - ALL FUELING RELATED FACILITIES/EQUIPMENT TO BE DESIGNED AND PERMITTED BY OTHERS. CONTRACTOR SHALL BE RESPONSIBLE TO INSPECT ALL PETROLEUM DISPENSING AND STORAGE SYSTEMS TO ENSURE THAT CONSTRUCTION IS IN ACCORDANCE WITH ALL FEDERAL, STATE AND LOCAL LAWS, CODES, RULES AND ORDINANCES.



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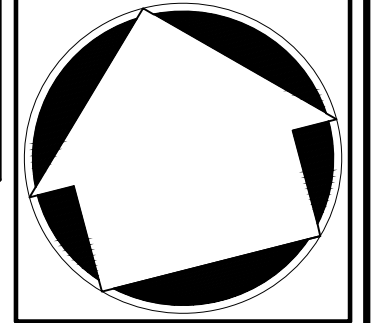
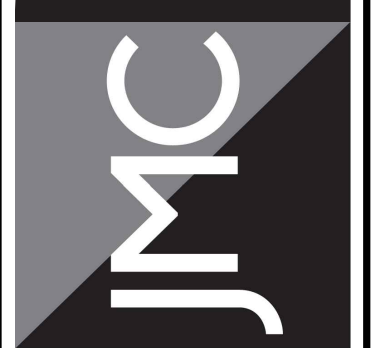
No.	Revision	Date	By
1.	REVISED PER TOWN COMMENTS	01/13/2022	CDP
2.	REVISED PER BOARD OF TRUSTEES COMMENTS	12/01/2023	SMN
3.	LIGHTING REVISIONS	12/13/2023	DK
4.	REVISED PER BOARD OF TRUSTEES COMMENTS	01/31/2024	RB
5.	REVISED PER BOARD OF TRUSTEES COMMENTS	03/22/2024	RB

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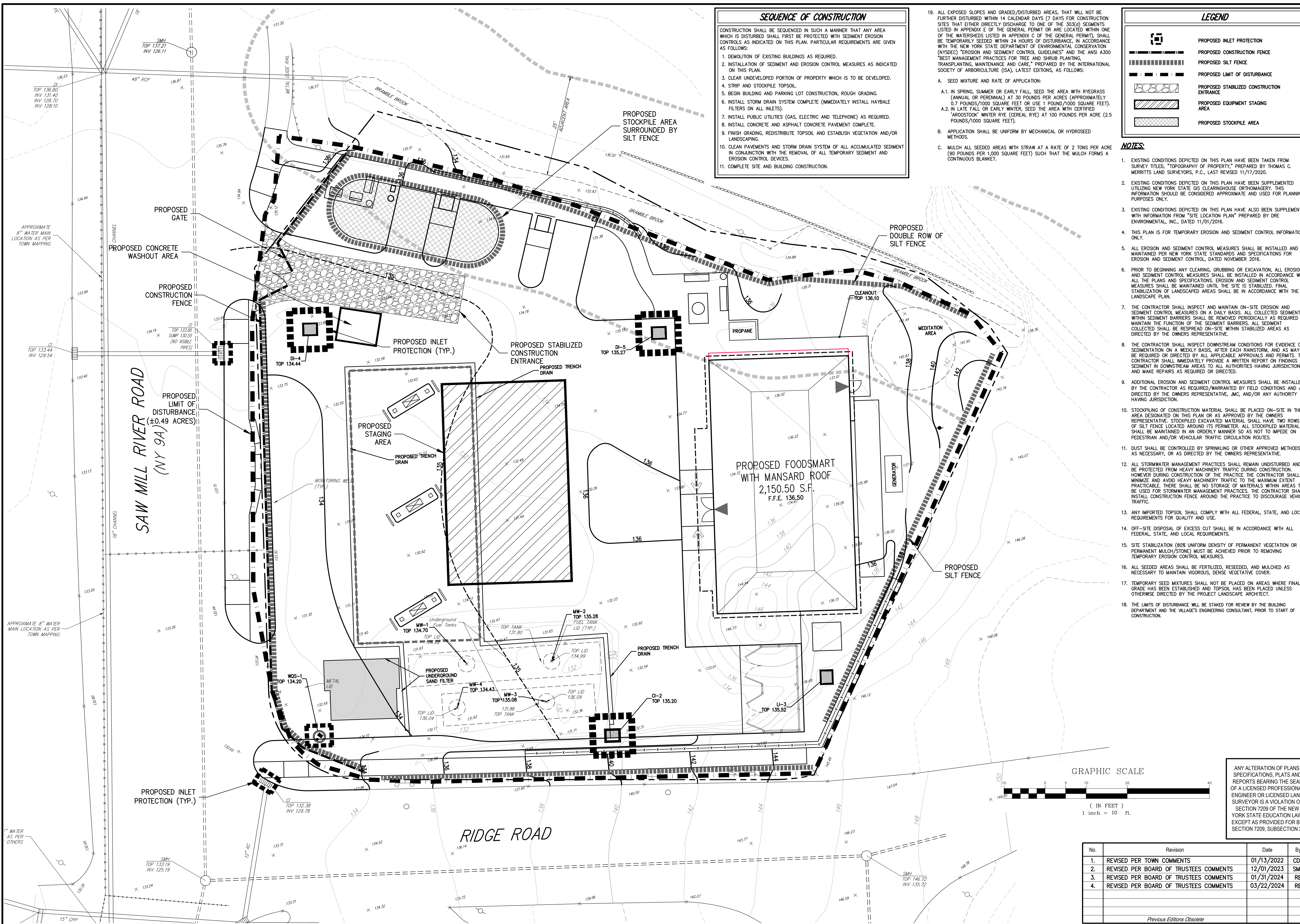
UTILITIES PLAN
GAS STATION / CONVENIENCE MARKET
657 SAW MILL RIVER ROAD
VILLAGE OF ARDSLEY, NEW YORK



Drawn: **KRM** Approved: **RJP**
Scale: **1" = 10'**
Date: **06/26/2020**
Project No: **18175**
1875-SE C-300-UTIL UTIL.sxd
Drawing No:
C-300

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SEQUENCE OF CONSTRUCTION

CONSTRUCTION SHALL BE SEQUENCED IN SUCH A MANNER THAT ANY AREA WHICH IS DISTURBED SHALL FIRST BE PROTECTED WITH SEDIMENT EROSION CONTROLS AS INDICATED ON THIS PLAN. PARTICULAR REQUIREMENTS ARE GIVEN AS FOLLOWS:

- DEMOLITION OF EXISTING BUILDINGS AS REQUIRED.
- INSTALLATION OF SEDIMENT AND EROSION CONTROL MEASURES AS INDICATED ON THIS PLAN.
- CLEAR UNDEVELOPED PORTION OF PROPERTY WHICH IS TO BE DEVELOPED.
- STRIP AND STOCKPILE TOPSOIL.
- BEGIN BUILDING AND PARKING LOT CONSTRUCTION, ROUGH GRADING.
- INSTALL STORM DRAIN SYSTEM COMPLETE (IMMEDIATELY INSTALL HAYBALE FILTERS ON ALL INLETS).
- INSTALL PUBLIC UTILITIES (GAS, ELECTRIC AND TELEPHONE) AS REQUIRED.
- INSTALL CONCRETE AND ASPHALT CONCRETE PAVEMENT COMPLETE.
- FINISH GRADING, REDISTRIBUTE TOPSOIL AND ESTABLISH VEGETATION AND/OR LANDSCAPING.
- CLEAN PAVEMENTS AND STORM DRAIN SYSTEM OF ALL ACCUMULATED SEDIMENT IN CONJUNCTION WITH THE REMOVAL OF ALL TEMPORARY SEDIMENT AND EROSION CONTROL DEVICES.
- COMPLETE SITE AND BUILDING CONSTRUCTION.

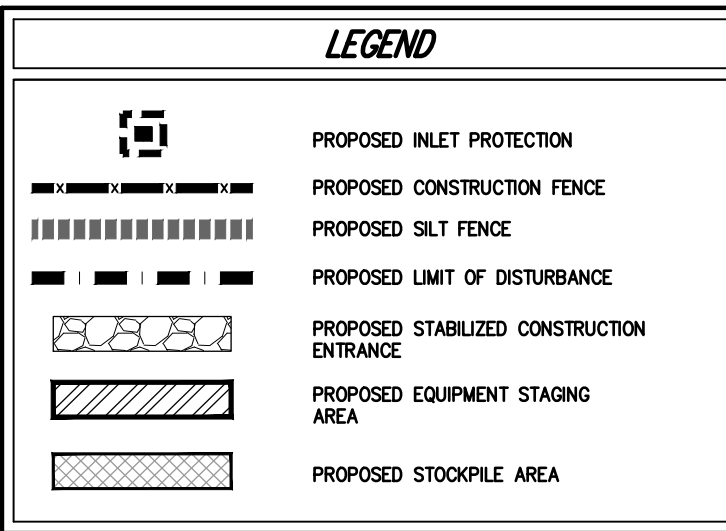
19. ALL EXPOSED SLOPES AND GRADED/DISTURBED AREAS, THAT WILL NOT BE FURTHER DISTURBED WITHIN 14 CALENDAR DAYS (7 DAYS FOR CONSTRUCTION SITES THAT EITHER DIRECTLY DISCHARGE TO ONE OF THE 303(d) SEGMENTS LISTED IN APPENDIX E OF THE GENERAL PERMIT OR ARE LOCATED WITHIN ONE OF THE WATERSHEDS LISTED IN APPENDIX C OF THE GENERAL PERMIT), SHALL BE TEMPORARILY SEEDED WITHIN 24 HOURS OF DISTURBANCE, IN ACCORDANCE WITH THE NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION (NYSDEC) "EROSION AND SEDIMENT CONTROL GUIDELINES" AND THE ANSI A300 "BEST MANAGEMENT PRACTICES FOR TREE AND SHRUB PLANTING, TRANSPLANTING, MAINTENANCE AND CARE," PREPARED BY THE INTERNATIONAL SOCIETY OF ARBORICULTURE (ISA), LATEST EDITIONS, AS FOLLOWS:

A. SEED MIXTURE AND RATE OF APPLICATION:

- IN SPRING, SUMMER OR EARLY FALL, SEED THE AREA WITH RYEGRASS (ANNUAL OR PERENNIAL) AT 30 POUNDS PER ACRE (APPROXIMATELY 0.7 POUNDS/1000 SQUARE FEET) OR USE 1 POUND/1000 SQUARE FEET.
- IN LATE FALL OR EARLY WINTER, SEED THE AREA WITH CERTIFIED "AROSTOOK" WINTER RYE (CEREAL RYE) AT 100 POUNDS PER ACRE (2.5 POUNDS/1000 SQUARE FEET).

B. APPLICATION SHALL BE UNIFORM BY MECHANICAL OR HYDROSEED METHODS.

C. MULCH ALL SEEDED AREAS WITH STRAW AT A RATE OF 2 TONS PER ACRE (90 POUNDS PER 1,000 SQUARE FEET) SUCH THAT THE MULCH FORMS A CONTINUOUS BLANKET.



- NOTES:**
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 - EXISTING CONDITIONS DEPICTED ON THIS PLAN HAVE BEEN SUPPLEMENTED UTILIZING NEW YORK STATE GIS CLEARINGHOUSE ORTHOPHOTOGRAPHY. THIS INFORMATION SHOULD BE CONSIDERED APPROXIMATE AND USED FOR PLANNING PURPOSES ONLY.
 - EXISTING CONDITIONS DEPICTED ON THIS PLAN HAVE ALSO BEEN SUPPLEMENTED WITH INFORMATION FROM "SITE LOCATION PLAN" PREPARED BY DRE ENVIRONMENTAL, INC., DATED 11/01/2016.
 - THIS PLAN IS FOR TEMPORARY EROSION AND SEDIMENT CONTROL INFORMATION ONLY.
 - ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED PER NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL, DATED NOVEMBER 2016.
 - PRIOR TO BEGINNING ANY CLEARING, GRUBBING OR EXCAVATION, ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH ALL THE PLANS AND SPECIFICATIONS. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED UNTIL THE SITE IS STABILIZED. FINAL STABILIZATION OF LANDSCAPED AREAS SHALL BE IN ACCORDANCE WITH THE LANDSCAPE PLAN.
 - THE CONTRACTOR SHALL INSPECT AND MAINTAIN ON-SITE EROSION AND SEDIMENT CONTROL MEASURES ON A DAILY BASIS. ALL COLLECTED SEDIMENT WITHIN SEDIMENT BARRIERS SHALL BE REMOVED PERIODICALLY AS REQUIRED TO MAINTAIN THE FUNCTION OF THE SEDIMENT BARRIERS. ALL SEDIMENT COLLECTED SHALL BE RESPONDED ON-SITE WITHIN STABILIZED AREAS AS DIRECTED BY THE OWNERS REPRESENTATIVE.
 - THE CONTRACTOR SHALL INSPECT DOWNSTREAM CONDITIONS FOR EVIDENCE OF SEDIMENTATION ON A WEEKLY BASIS. AFTER EACH DISTURBANCE, AND AS MAY BE REQUIRED OR DIRECTED BY ALL APPLICABLE APPROVALS AND PERMITS, THE CONTRACTOR SHALL IMMEDIATELY PROVIDE A WRITTEN REPORT ON FINDINGS OF SEDIMENT IN DOWNSTREAM AREAS TO ALL AUTHORITIES HAVING JURISDICTION AND MAKE REPAIRS AS REQUIRED OR DIRECTED.
 - ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED BY THE CONTRACTOR AS REQUIRED/WARRANTED BY FIELD CONDITIONS AND AS DIRECTED BY THE OWNERS REPRESENTATIVE, JMC, AND/OR ANY AUTHORITY HAVING JURISDICTION.
 - STOCKPILES OF CONSTRUCTION MATERIAL SHALL BE PLACED ON-SITE IN THE AREA DESIGNATED ON THIS PLAN OR AS APPROVED BY THE OWNERS REPRESENTATIVE. STOCKPILED EXCAVATED MATERIAL SHALL HAVE TWO ROWS OF SILT FENCE LOCATED AROUND ITS PERIMETER. ALL STOCKPILED MATERIAL SHALL BE MAINTAINED IN AN ORDERLY MANNER SO AS NOT TO IMPEDE ON PEDESTRIAN AND/OR VEHICULAR TRAFFIC CIRCULATION ROUTES.
 - DUST SHALL BE CONTROLLED BY SPRINKLING OR OTHER APPROVED METHODS AS NECESSARY, OR AS DIRECTED BY THE OWNERS REPRESENTATIVE.
 - ALL STORMWATER MANAGEMENT PRACTICES SHALL REMAIN UNDISTURBED AND BE PROTECTED FROM HEAVY MACHINERY TRAFFIC DURING CONSTRUCTION. HOWEVER DURING CONSTRUCTION OF THE PRACTICE THE CONTRACTOR SHALL MINIMIZE AND AVOID HEAVY MACHINERY TRAFFIC TO THE MAXIMUM EXTENT PRACTICABLE. THERE SHALL BE NO STORAGE OF MATERIALS WITHIN AREAS TO BE USED FOR STORMWATER MANAGEMENT PRACTICES. THE CONTRACTOR SHALL INSTALL CONSTRUCTION FENCE AROUND THE PRACTICE TO DISCOURAGE VEHICLE TRAFFIC.
 - ANY IMPORTED TOPSOIL SHALL COMPLY WITH ALL FEDERAL, STATE, AND LOCAL REQUIREMENTS FOR QUALITY AND USE.
 - OFF-SITE DISPOSAL OF EXCESS CUT SHALL BE IN ACCORDANCE WITH ALL FEDERAL, STATE, AND LOCAL REQUIREMENTS.
 - SITE STABILIZATION (BOX UNIFORM DENSITY OF PERMANENT VEGETATION OR PERMANENT MULCH/STONE) MUST BE ACHIEVED PRIOR TO REMOVING TEMPORARY EROSION CONTROL MEASURES.
 - ALL SEEDED AREAS SHALL BE FERTILIZED, RESEEDED, AND MULCHED AS NECESSARY TO MAINTAIN VIGOROUS, DENSE VEGETATIVE COVER.
 - TEMPORARY SEED MIXTURES SHALL NOT BE PLACED ON AREAS WHERE FINAL GRADE HAS BEEN ESTABLISHED AND TOPSOIL HAS BEEN PLACED UNLESS OTHERWISE DIRECTED BY THE PROJECT LANDSCAPE ARCHITECT.
 - THE LIMITS OF DISTURBANCE WILL BE STAKED FOR REVIEW BY THE BUILDING DEPARTMENT AND THE VILLAGE'S ENGINEERING CONSULTANT, PRIOR TO START OF CONSTRUCTION.

APPLICANT/OWNER:
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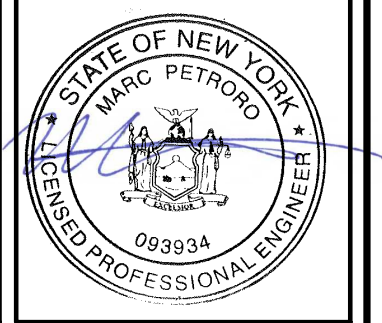
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JMC

EROSION AND SEDIMENT CONTROL PLAN

GAS STATION / CONVENIENCE MARKET
657 SAW MILL RIVER ROAD
VILLAGE OF ARDSLEY, NEW YORK

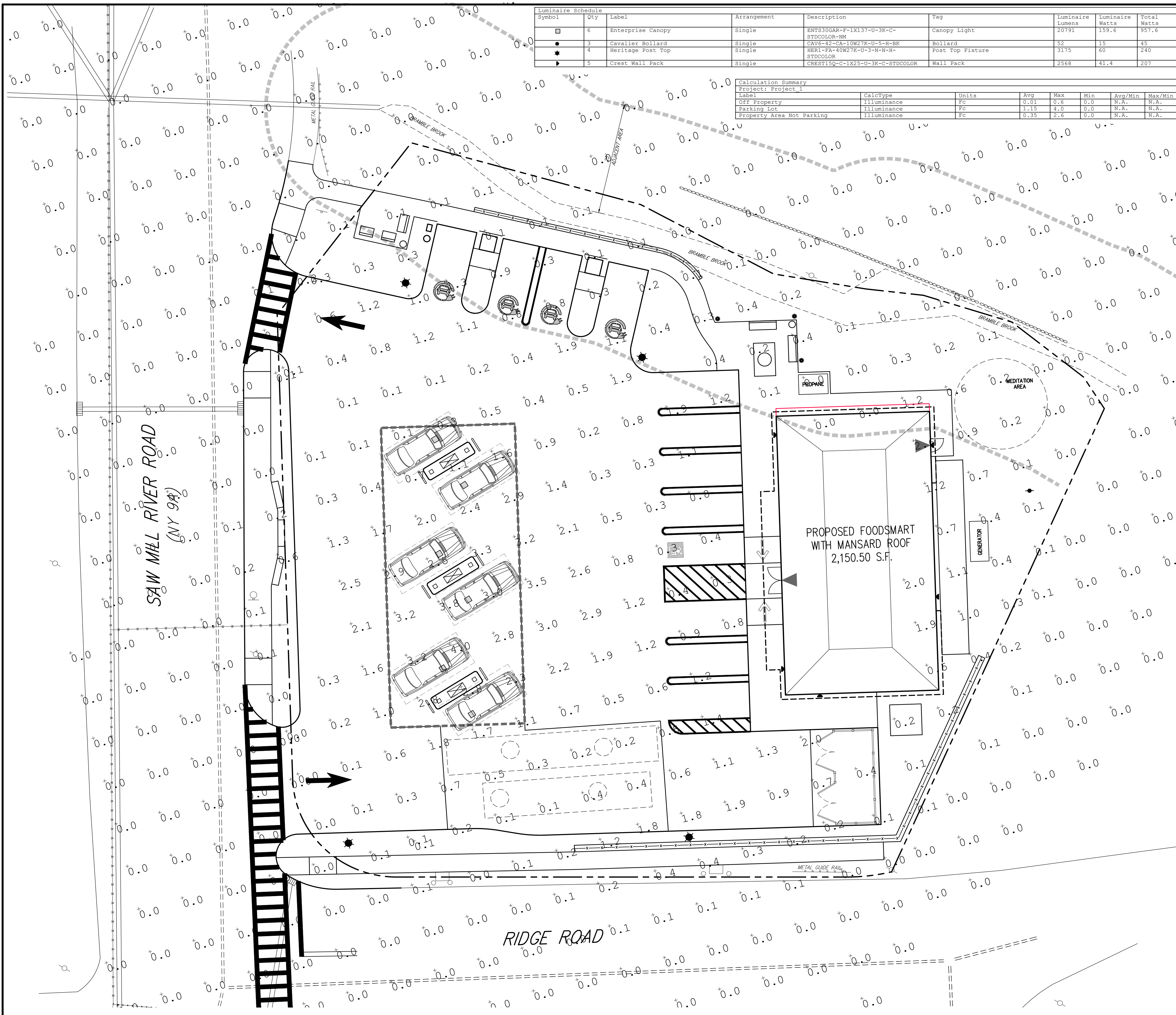


No.	Revision	Date	By
1.	REVISED PER TOWN COMMENTS	01/13/2022	CDF
2.	REVISED PER BOARD OF TRUSTEES COMMENTS	12/01/2023	SMN
3.	REVISED PER BOARD OF TRUSTEES COMMENTS	01/31/2024	RB
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Scale: 1" = 10'
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Project No: 18175
1819-SE C-400-SE SE.ar
Drawing No: **C-400**

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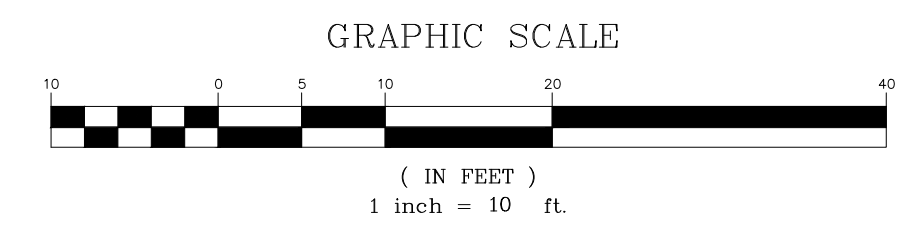
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□	6	Enterprise Canopy	Single	ENTS10GAR-F-1X137-U-3K-C-STD-COLOR-MW	Canopy Light	20791	159.6	957.6
●	3	Cavalier Bollard	Single	CAYE-K2-CR-10W27K-U-5-H-BK	Bollard	52	15	45
★	4	Heritage Post Top	Single	HERI-PA-40W27K-U-3-N-N-H-STD-COLOR	Post Top Fixture	3175	60	240
▶	5	Crest Wall Pack	Single	CRES115G-C-1X25-U-3K-C-STD-COLOR	Wall Pack	2568	41.4	207

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Off Property	Illuminance	Fc	0.31	0.6	0.0	N.A.	N.A.
Parking Lot	Illuminance	Fc	1.15	4.0	0.0	N.A.	N.A.
Property Area Not Parking	Illuminance	Fc	0.35	2.6	0.0	N.A.	N.A.

LIGHTING LEGEND

- EXISTING UTILITY POLE
- EXISTING LIGHT POLE
- GAS CANOPY LIGHTING (DESIGN BY OTHERS)
- ▶ WALL MOUNTED LIGHTING (MOUNTING HT. 12')
- ★ POLE MOUNTED LIGHT
- BOLLARD LIGHTING
- 0.1 NEW ILLUMINANCE IN FOOT-CANDELS

- NOTES:**
- EXISTING CONDITIONS DEPICTED ON THIS PLAN HAVE BEEN TAKEN FROM A SURVEY TITLED, "TOPOGRAPHY OF PROPERTY," PREPARED BY THOMAS C. MERRITTS LAND SURVEYORS, P.C., LAST REVISED 11/17/2020.
 - EXISTING CONDITIONS DEPICTED ON THIS PLAN HAVE BEEN SUPPLEMENTED UTILIZING NEW YORK STATE GIS CLEARHOUSE ORTHOPHOTOGRAPHY. THIS INFORMATION SHOULD BE CONSIDERED APPROXIMATE AND USED FOR PLANNING PURPOSES ONLY.
 - EXISTING CONDITIONS DEPICTED ON THIS PLAN HAVE ALSO BEEN SUPPLEMENTED WITH INFORMATION FROM "SITE LOCATION PLAN" PREPARED BY DRE ENVIRONMENTAL, INC., DATED 11/01/2016.
 - THE LIGHTING DESIGN SHOWN HEREON WAS PROVIDED BY SYNERGY LIGHTING AND DATED 11/10/2023.
 - ALL PROPOSED LIGHTING SHALL BE DARK SKY COMPLIANT.

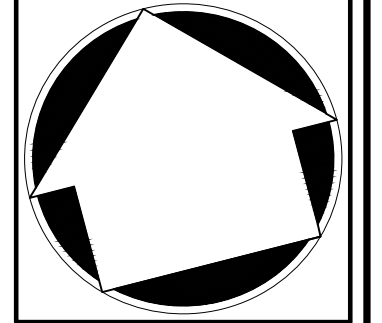
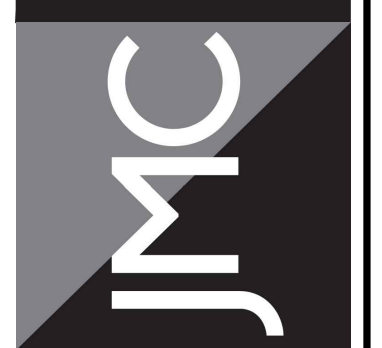


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APPLICANT/OWNER:
THORNWOOD FOUR CORNERS LLC.
 25 SAINT CHARLES STREET
 THORNWOOD, NY 10594

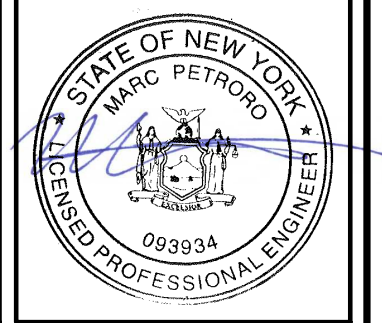
ARCHITECT:
GK+A ARCHITECTS, PC
 36 AMES AVENUE
 RUTHERFORD, NEW JERSEY 07070

JMC Planning, Engineering, Landscape Architecture & Land Surveying, PLLC
 JMC Site Development Consultants, LLC
 John Meyer Consulting, Inc.
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LIGHTING PLAN

GAS STATION / CONVENIENCE MARKET
 657 SAW MILL RIVER ROAD
 VILLAGE OF ARDSLEY, NEW YORK



No.	Revision	Date	By
1.	REVISED PER BOARD OF TRUSTEES COMMENTS	12/01/2023	SMN
2.	LIGHTING REVISIONS	12/13/2023	DK
3.	REVISED PER BOARD OF TRUSTEES COMMENTS	01/31/2024	RB
4.	REVISED PER BOARD OF TRUSTEES COMMENTS	03/22/2024	RB

Drawn: **KRM** Approved: **RJP**
 Scale: **1" = 10'**
 Date: **05/26/2020**
 Project No: **18175**
 18175-SE C-600-LIGHT U2H1.sxd
 Drawing No:
C-600

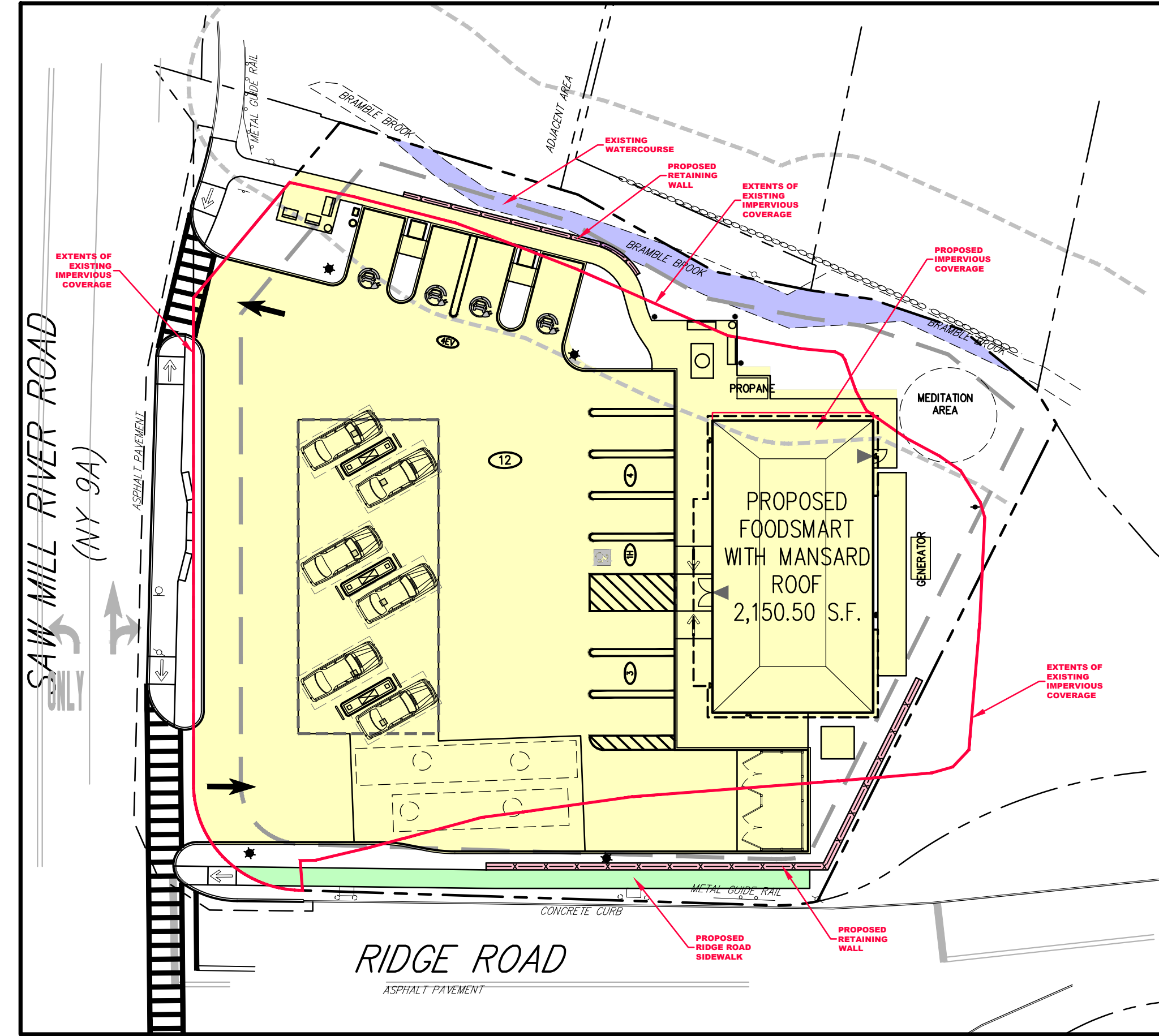
Previous Editions Obsolete

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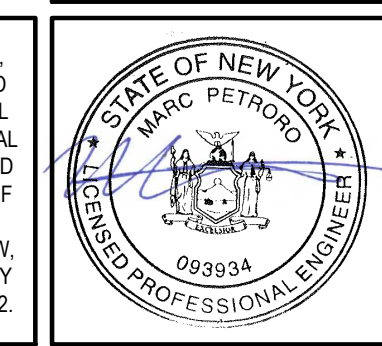


EXISTING CONDITIONS
 IMPERVIOUS COVERAGE BREAKDOWN
 WATERCOURSE — 656 SF
 PAVED SURFACES/BUILDINGS — 18,620 SF
TOTAL IMPERVIOUS COVERAGE — 19,276 SF



PROPOSED CONDITIONS
 IMPERVIOUS COVERAGE BREAKDOWN
 WATERCOURSE — 656 SF
 RETAINING WALL — 228 SF
 RIDGE ROAD SIDEWALK — 474 SF
 CONVENIENCE MART — 2,210 SF
 PAVED SURFACES/SIDEWALKS — 14,911 SF
TOTAL IMPERVIOUS COVERAGE — 18,479 SF
A NET REDUCTION OF 797 SF (4.1%)

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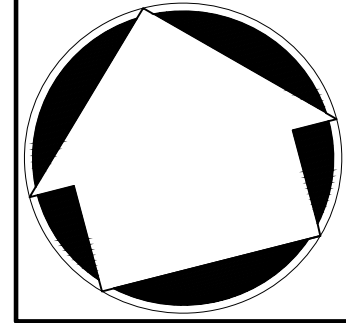
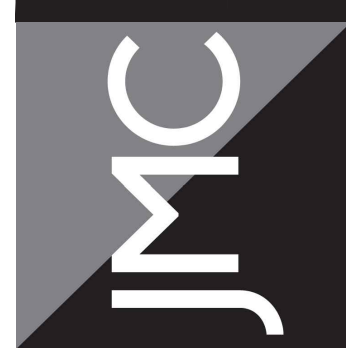


No.	Revision	Date	By
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2.	REVISED PER BOARD OF TRUSTEES COMMENTS	03/22/2024	RB

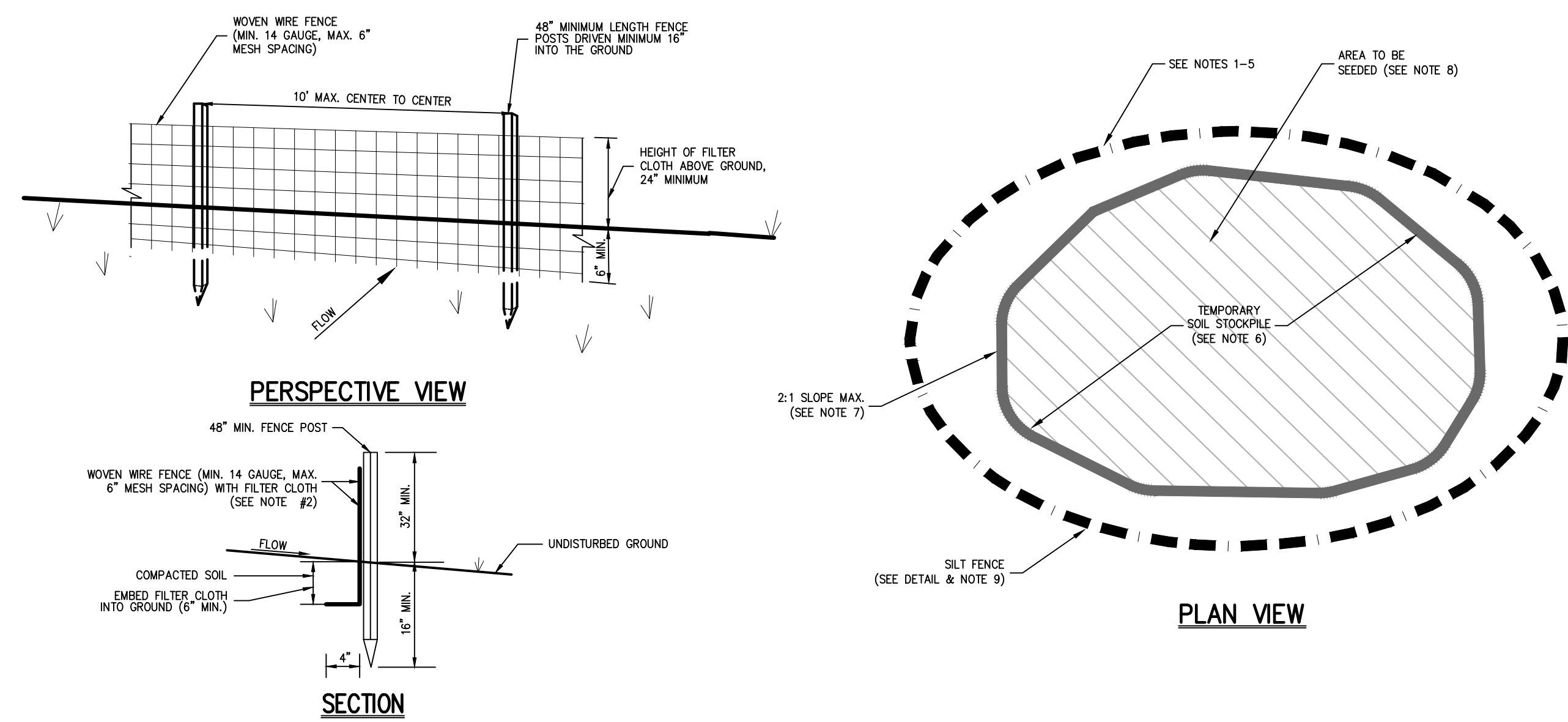
Drawn: **KRM** Approved: **RJP**
 Scale: 1" = 20'
 Date: 01/31/2024
 Project No: 18175
 1875-SE C-700-NP MP:js
 Drawing No:
C-700

APPLICANT/OWNER:
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 25 SAINT CHARLES STREET
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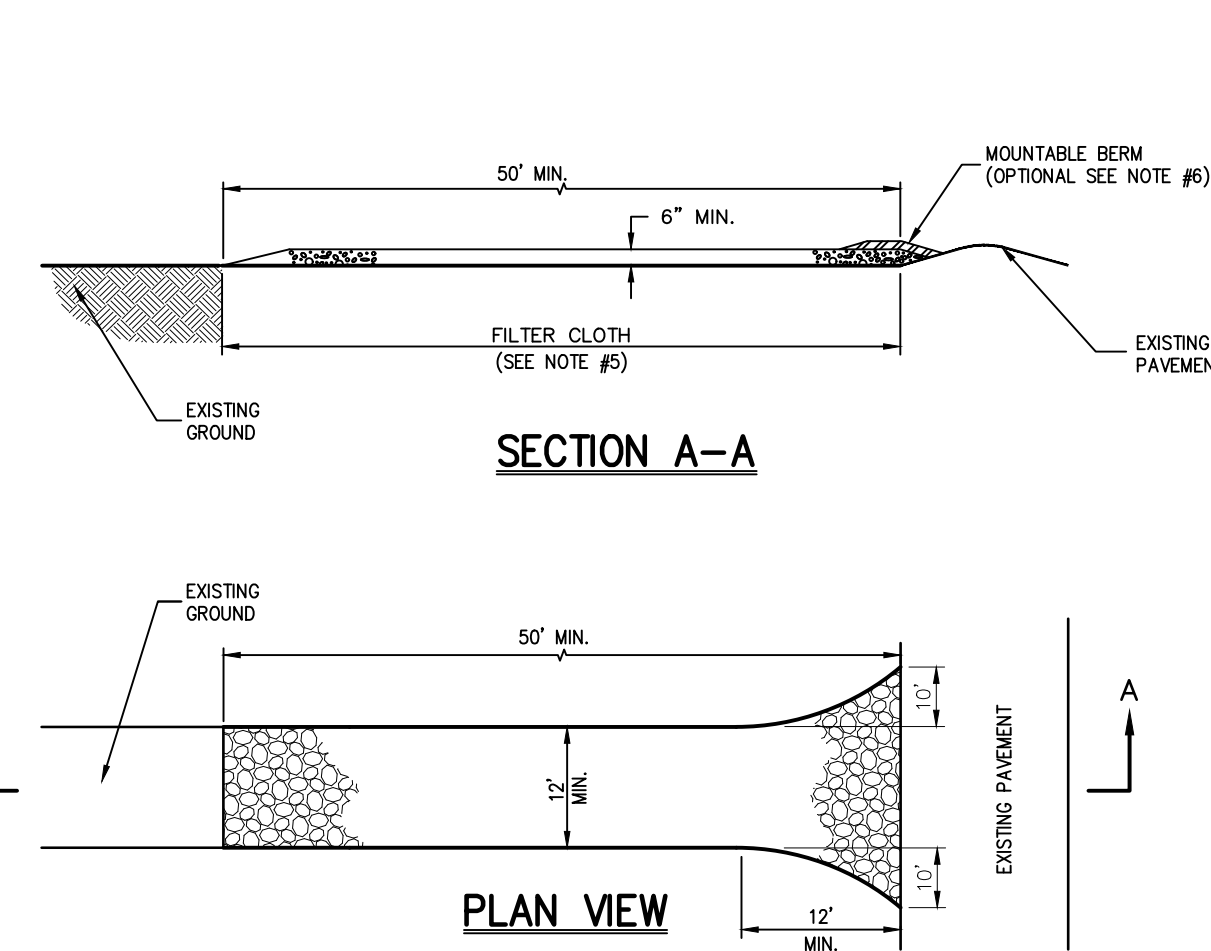
IMPERVIOUS COVERAGE COMPARISON MAP
 GAS STATION / CONVENIENCE MARKET
 657 SAW MILL RIVER ROAD
 VILLAGE OF ARDSLEY, NEW YORK



- NOTES:**
- WOVEN WIRE FENCE SHALL BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. POSTS SHALL BE STEEL, EITHER T OR U TYPE OR HARDWOOD.
 - FILTER CLOTH SHALL BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION. FENCE SHALL BE WOVEN WIRE, 6" MAXIMUM MESH OPENING.
 - WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER, THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTER X, MIRAFI 100X, STABUNKA THORN, OR APPROVED EQUAL.
 - PREFABRICATED UNITS SHALL BE GEOTAB, ENVIROFENCE, OR APPROVED EQUAL.
 - MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED AND REPLACED WHEN "BULGES" DEVELOP IN THE SILT FENCE.
 - THE AREA CHOSEN FOR ALL TEMPORARY SOIL STOCKPILES SHALL BE DRY AND STABLE.
 - ALL STOCKPILED SOIL SHALL NOT CONTAIN SLOPES GREATER THAN 2:1.
 - UPON COMPLETION OF SOIL STOCKPILING, EACH PILE SHALL BE SEEDED WITHIN 24 HOURS. PERENNIAL OR ANNUAL RYEGRASS SHALL BE PLANTED DURING SPRING, SUMMER OR EARLY FALL. WINTER RYE (CERIAL RYE) SHALL BE PLANTED DURING LATE FALL OR EARLY WINTER.
 - ALL STOCKPILES SHALL BE PROTECTED WITH SILT FENCING INSTALLED AROUND THE PERIMETER.

TEMPORARY SOIL STOCKPILE WITH SILT FENCE

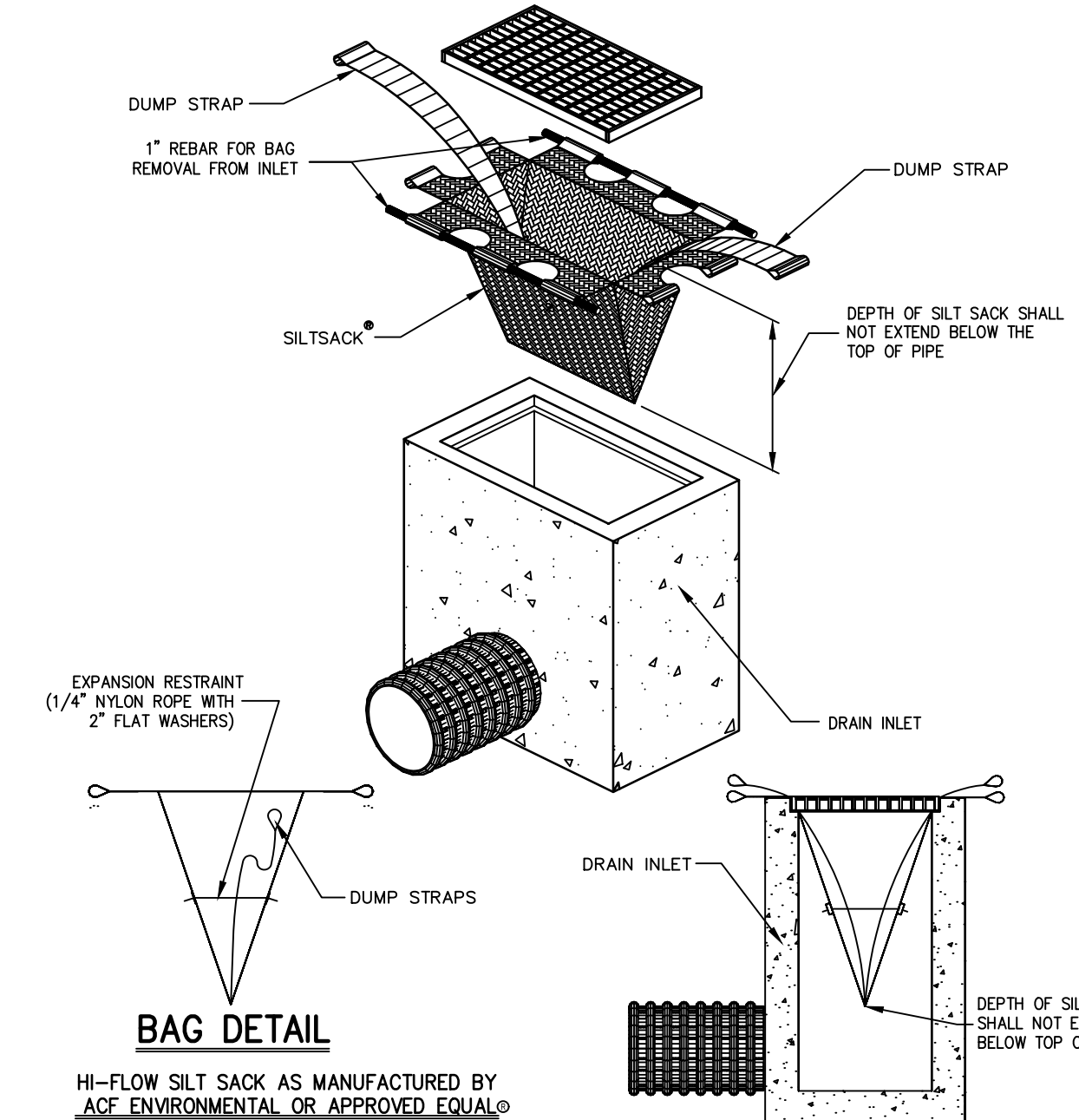
1



- NOTES:**
- STONE SIZE - USE 1" TO 4" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
 - LENGTH - AS REQUIRED, BUT NOT LESS THAN 50 FEET.
 - THICKNESS - NOT LESS THAN SIX (6) INCHES.
 - WIDTH - 12 FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS. 24 FOOT MINIMUM IF SINGLE ENTRANCE TO SITE.
 - FILTER CLOTH TO BE PLACED OVER THE ENTIRE WIDTH AND LENGTH OF AREA PRIOR TO PLACING OF STONE.
 - SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED BENEATH THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
 - MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURE USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
 - WASHING - WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHTS-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
 - PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

STABILIZED CONSTRUCTION ENTRANCE

2



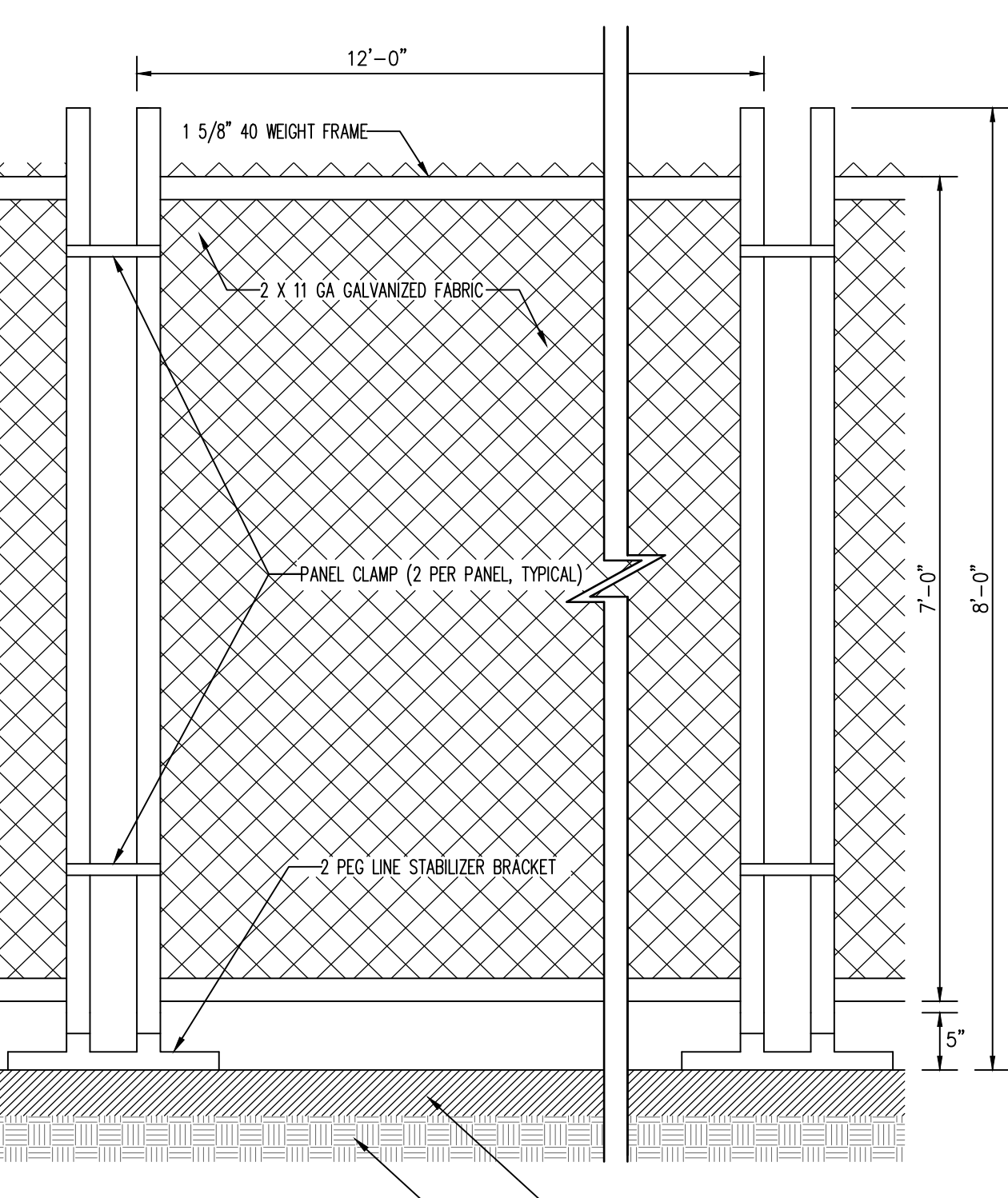
HI-FLOW SILT SACK AS MANUFACTURED BY AC ENVIRONMENTAL OR APPROVED EQUAL
(FOR AREAS OF MODERATE TO HEAVY PRECIPITATION AND RUN-OFF)

PROPERTIES	TEST METHOD	UNITS
GRAB TENSILE STRENGTH	ASTM D-4632	265 LBS
GRAB TENSILE ELONGATION	ASTM D-4632	20 %
PUNCTURE	ASTM D-4633	135 LBS
MULLEN BURST	ASTM D-3796	420 PSI
TRAPEZOID TEAR	ASTM D-4533	45 LBS
UV RESISTANCE	ASTM D-4355	90 %
APPARENT OPENING SIZE	ASTM D-4751	20 US SIEVE
FLOW RATE	ASTM D-4491	200 GAL/MIN/50 FT
PERMITIVITY	ASTM D-4491	1.5 SEC -1

NOTE:
CURB INLETS SHALL BE TYPE B WITH CURB DEFLECTOR.

SILT SACK

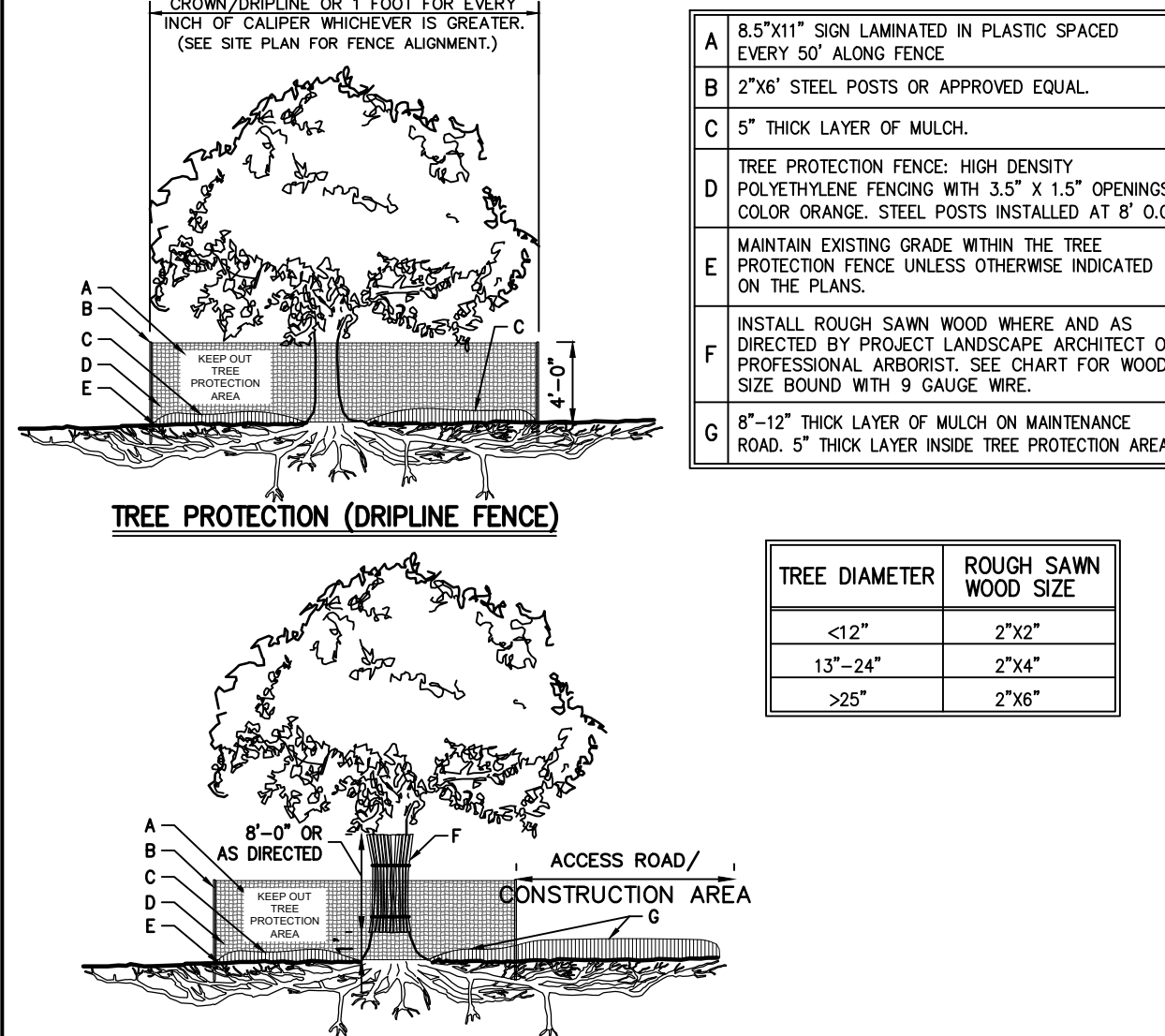
3



NOTE:
STABILIZER BRACKET TO BE HOT DIPPED GALVANIZED STEEL PIPE.

TEMPORARY CHAIN LINK CONSTRUCTION FENCE

4



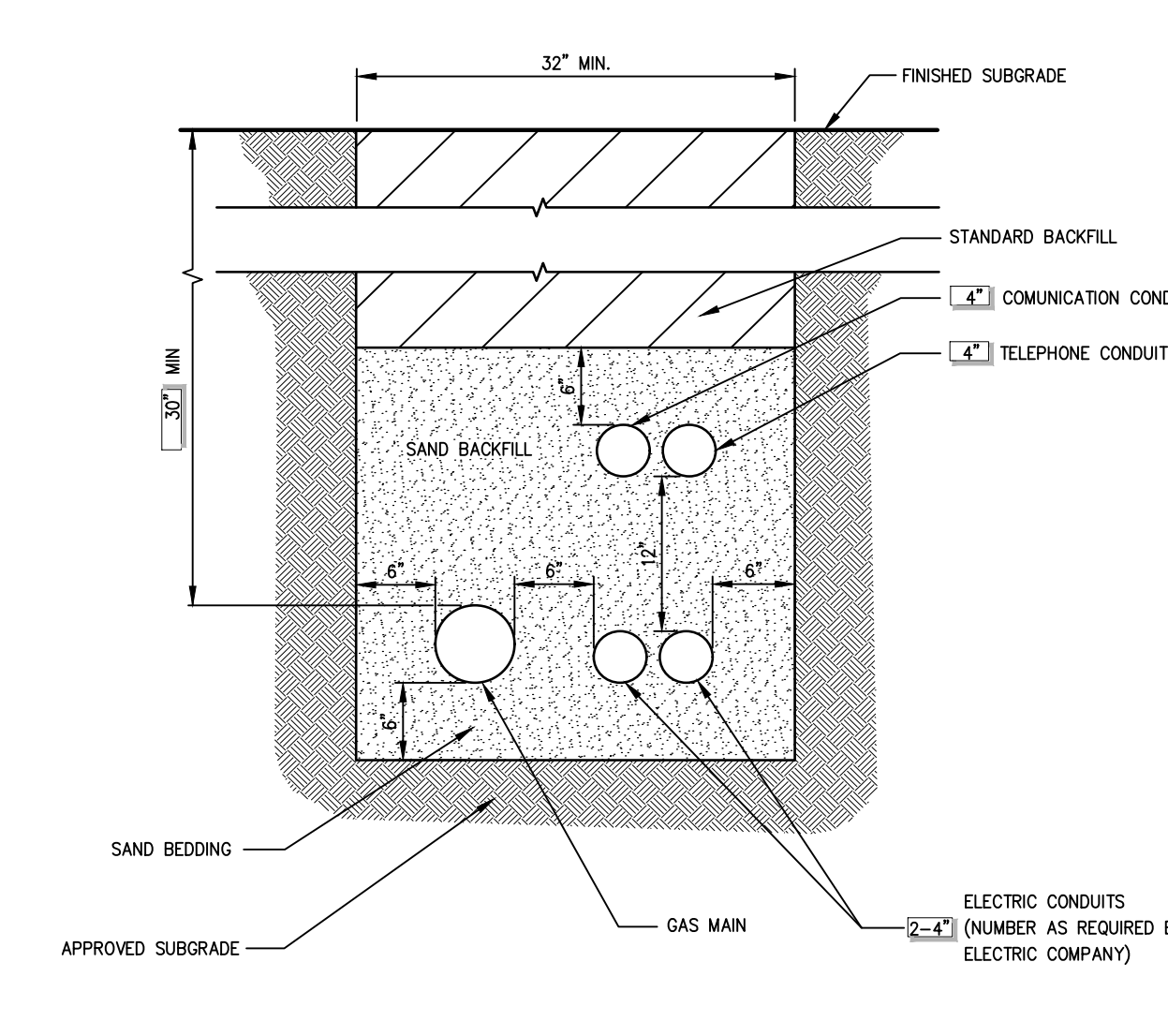
ITEM	DESCRIPTION
A	8.5"x11" SIGN LAMINATED IN PLASTIC SPACED EVERY 50' ALONG FENCE
B	2"x6" STEEL POSTS OR APPROVED EQUAL
C	5" THICK LAYER OF MULCH
D	TREE PROTECTION FENCE: HIGH DENSITY POLYETHYLENE FENCING WITH 3.5" X 1.5" OPENINGS; COLOR ORANGE; STEEL POSTS INSTALLED AT 6' O.C.
E	MAINTAIN EXISTING GRADE WITHIN THE TREE PROTECTION FENCE UNLESS OTHERWISE INDICATED ON THE PLANS.
F	INSTALL ROUGH SAWN WOOD WHERE AND AS DIRECTED BY PROJECT LANDSCAPE ARCHITECT OR PROFESSIONAL ARBORIST. SEE CHART FOR WOOD SIZE BASED ON TREE DIAMETER.
G	8"-12" THICK LAYER OF MULCH ON MAINTENANCE ROAD, 5" THICK LAYER INSIDE TREE PROTECTION AREA.

TREE DIAMETER	ROUGH SAWN WOOD SIZE
<12"	2"x2"
13"-24"	2"x4"
>25"	2"x6"

- NOTES:**
- SEE SPECIFICATIONS FOR ADDITIONAL TREE PROTECTION REQUIREMENTS.
 - IF THERE IS NO EXISTING IRRIGATION, SEE SPECIFICATIONS FOR WATERING REQUIREMENTS.
 - NO PRUNING SHALL BE PERFORMED EXCEPT BY APPROVED ARBORIST.
 - NO EQUIPMENT SHALL OPERATE INSIDE THE PROTECTIVE FENCING INCLUDING DURING FENCE INSTALLATION AND REMOVAL.
 - SEE SITE PLANS FOR IDENTIFICATIONS/LOCATIONS OF INDIVIDUAL TREES TO BE PROTECTED.
 - ALL EXCAVATION WITHIN THE CROWN/DRIPLINE OF ANY TREE SHALL BE PERFORMED UNDER THE DIRECT SUPERVISION OF THE PROJECT LANDSCAPE ARCHITECT OR PROFESSIONAL ARBORIST. SPECIAL MEASURES, SUCH AS THE USE OF AN AIR SPADE MAY BE REQUIRED.
 - THE CONTRACTOR MAY PROPOSE THE USE OF ENGINEERED MATTING OR OTHER ENGINEERED PRODUCTS IN LIEU OF MULCH, WHICH SHALL BE SUBJECT TO THE REVIEW AND APPROVAL OF ALL AUTHORITIES HAVING JURISDICTION.

TREE PROTECTION

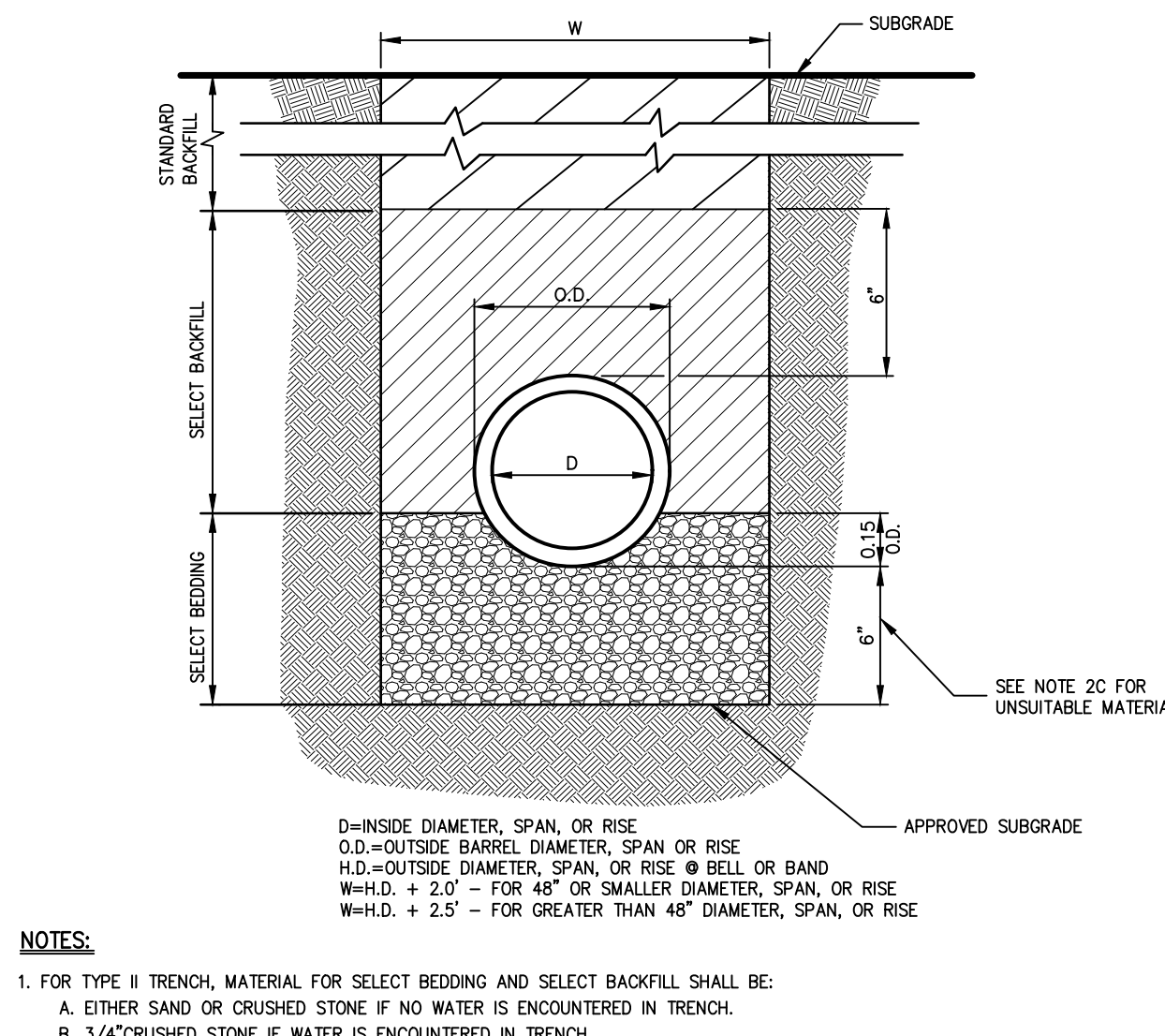
5



- NOTES:**
- UTILITIES TO BE INSTALLED IN ACCORDANCE WITH THE REGULATIONS AND REQUIREMENTS OF THE UTILITY COMPANY HAVING JURISDICTION.
 - BACKFILL FOR PIPE AND CONDUIT SHALL BE PLACED EVENLY AND CAREFULLY AROUND AND OVER THE PIPE OR CONDUIT IN SIX (6) INCH MAXIMUM LAYERS. EACH LAYER SHALL BE THOROUGHLY AND CAREFULLY COMPACTED UNTIL TWELVE (12) INCHES OF COVER EXISTS OVER THE PIPE OR CONDUIT. THE REMAINDER OF THE BACKFILL MAY THEN BE PLACED AND COMPACTED IN A MAXIMUM OF TWELVE (12) INCH LAYERS. EACH LAYER SHALL BE COMPACTED BY APPROVED MECHANICAL TAMPING MACHINES. UNLESS OTHERWISE SPECIFIED BACKFILL SHALL BE COMPACTED TO NOT LESS THAN [REDACTED] MAXIMUM MODIFIED DENSITY IN ACCORDANCE WITH ASTM DESIGNATION D-1557 IN THE MANNER HEREIN DESCRIBED. BACKFILL SHALL PROCEED UP TO THE LINES AND GRADES AS SHOWN ON THE DRAWINGS.

UTILITY TRENCH DETAIL

6



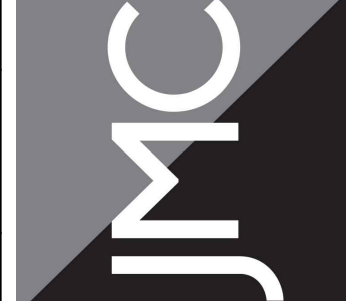
- NOTES:**
- FOR TYPE II TRENCH, MATERIAL FOR SELECT BEDDING AND SELECT BACKFILL SHALL BE:
 - EITHER SAND OR CRUSHED STONE IF NO WATER IS ENCOUNTERED IN TRENCH.
 - 3/4" CRUSHED STONE IF WATER IS ENCOUNTERED IN TRENCH.
 - TYPE II TRENCH SHALL BE USED IN ALL OF THE FOLLOWING CASES:
 - FOR ALL CORRUGATED POLYETHYLENE DRAIN PIPE (CPDP) AND PVC PIPE AND CONDUIT INSTALLATION.
 - WHEN ROCK OR HARDPAN IS ENCOUNTERED IN BOTTOM OF TRENCH.
 - WHEN UNSUITABLE MATERIAL IS ENCOUNTERED IN BOTTOM OF TRENCH. IN SUCH CASE DEPTH OF UNDERCUTTING SHALL BE AS DIRECTED BY THE ENGINEER WITH 6" MINIMUM.
 - FOR ALL TRENCH EXCAVATION IN FILL AREAS, ALL EMBANKMENTS SHALL BE CONSTRUCTED TO A MINIMUM OF 2 FEET ABOVE THE OUTSIDE TOP (AT THE BELL) OF THE PIPE PRIOR TO BEGINNING ANY TRENCH EXCAVATION.
 - BACKFILL FOR PIPE AND CONDUIT SHALL BE PLACED EVENLY AND CAREFULLY AROUND AND OVER THE PIPE OR CONDUIT IN SIX (6) INCH MAXIMUM LAYERS. EACH LAYER SHALL BE THOROUGHLY AND CAREFULLY COMPACTED UNTIL TWELVE (12) INCHES OF COVER EXISTS OVER THE PIPE OR CONDUIT. THE REMAINDER OF THE BACKFILL MAY THEN BE PLACED AND COMPACTED IN A MAXIMUM OF TWELVE (12) INCH LAYERS. EACH LAYER SHALL BE COMPACTED BY APPROVED MECHANICAL TAMPING MACHINES. UNLESS OTHERWISE SPECIFIED BACKFILL SHALL BE COMPACTED TO NOT LESS THAN [REDACTED] MAXIMUM MODIFIED DENSITY IN ACCORDANCE WITH ASTM DESIGNATION D-1557 IN THE MANNER HEREIN DESCRIBED. BACKFILL SHALL PROCEED UP TO THE LINES AND GRADES AS SHOWN ON THE DRAWINGS.

TYPE II TRENCH

7

Revision	Date	Comments
1	01/13/2022	REVISED PER TOWN COMMENTS
2	12/01/2023	REVISED PER BOARD OF TRUSTEES COMMENTS
3	01/31/2024	REVISED PER BOARD OF TRUSTEES COMMENTS
4	03/22/2024	REVISED PER BOARD OF TRUSTEES COMMENTS

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SITE DETAILS
GAS STATION / CONVENIENCE MARKET
657 SAW MILL RIVER ROAD
VILLAGE OF ARDSLEY, NEW YORK

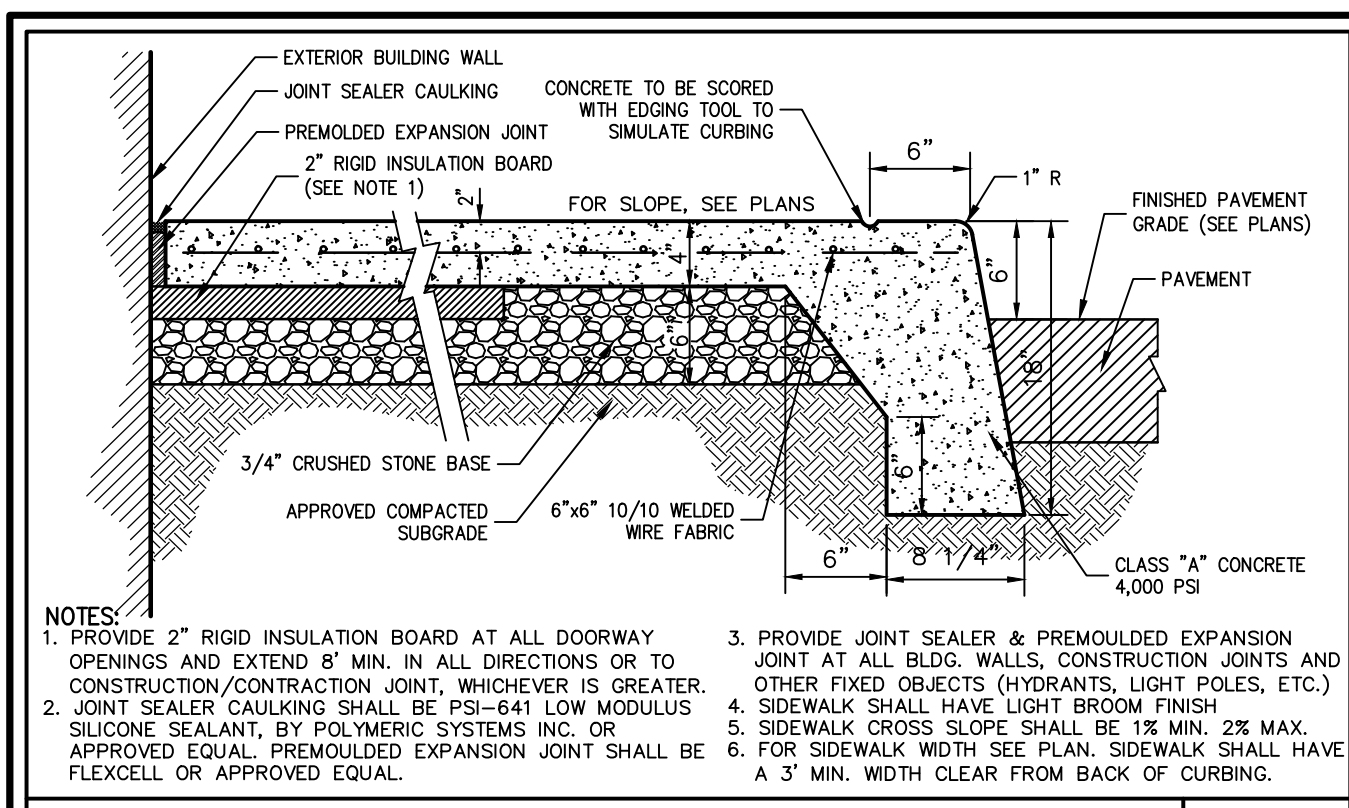
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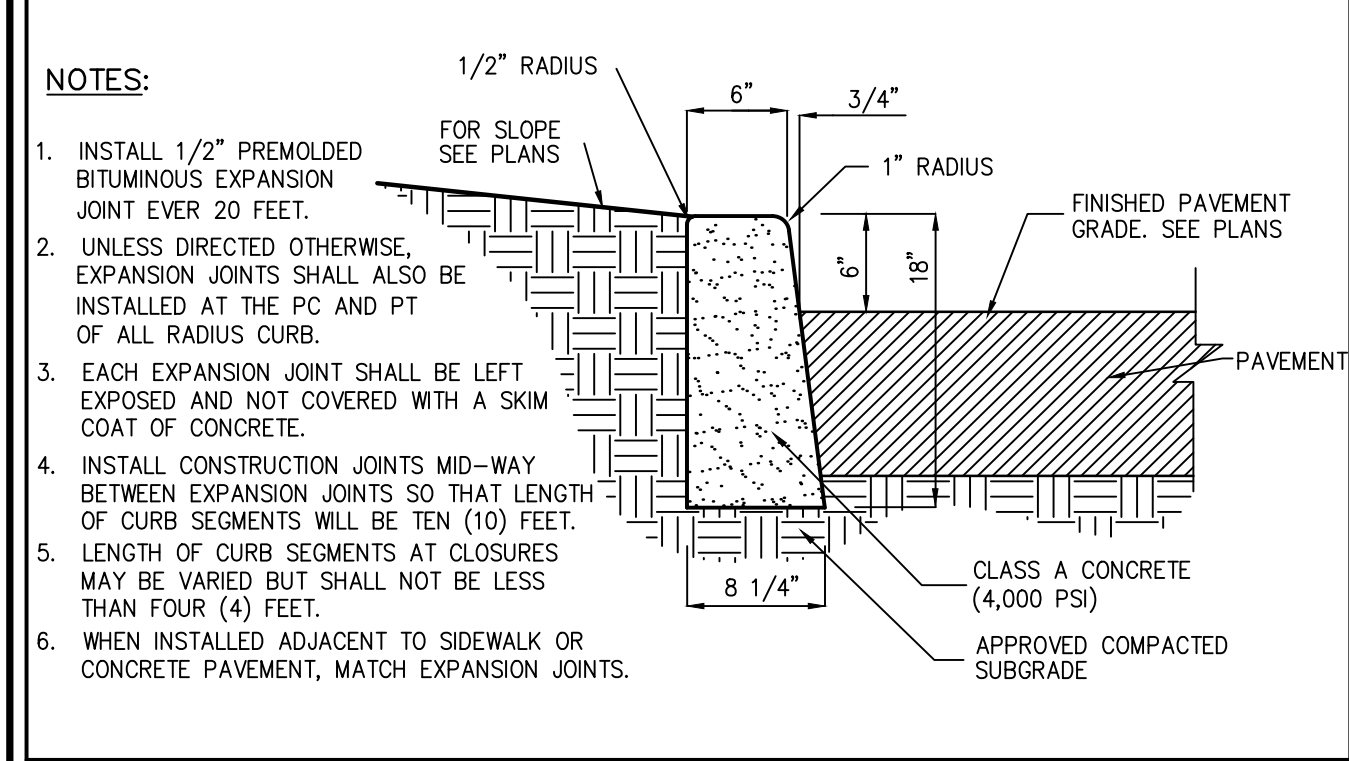
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Scale: NOT TO SCALE
Date: 06/26/2020
Project No: 18175
1815-DRAWING C-900
Drawing No: C-900

C-900

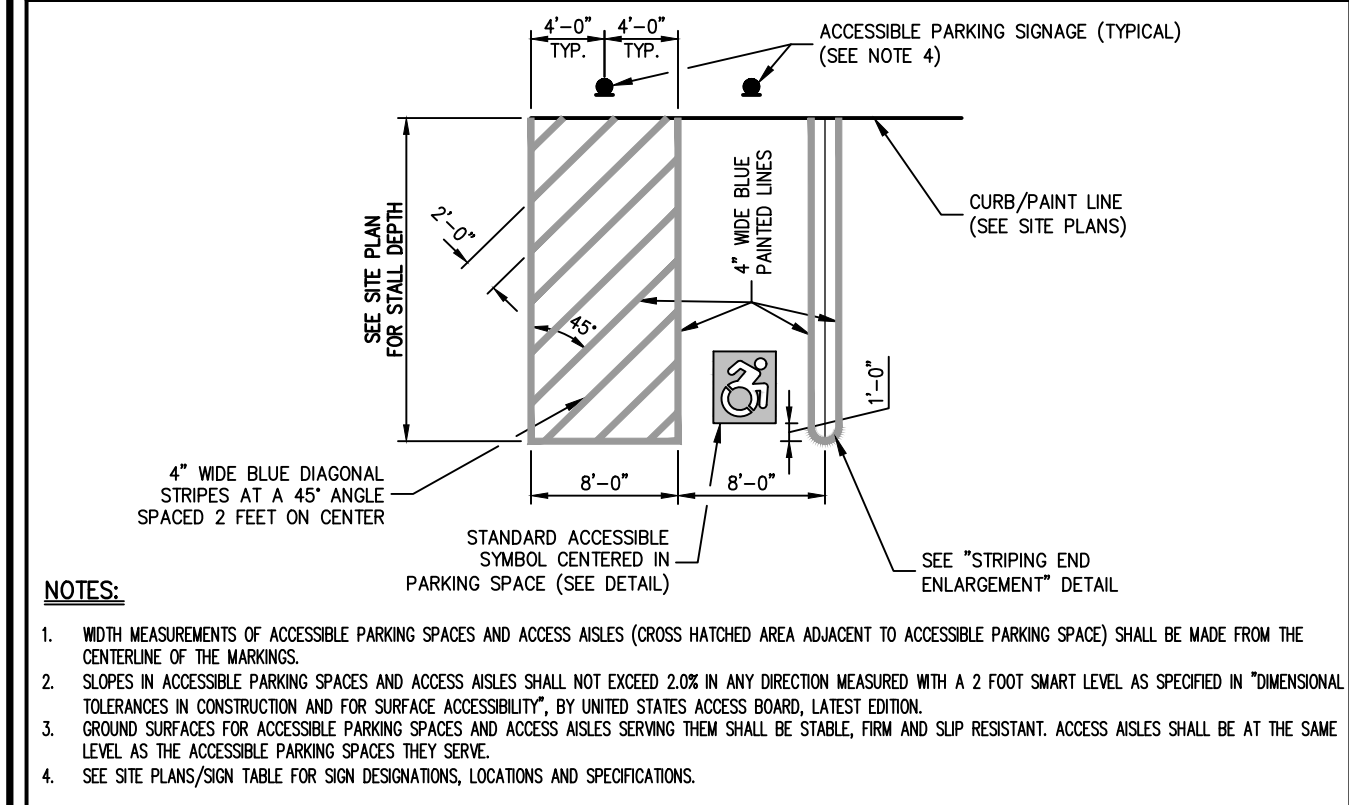
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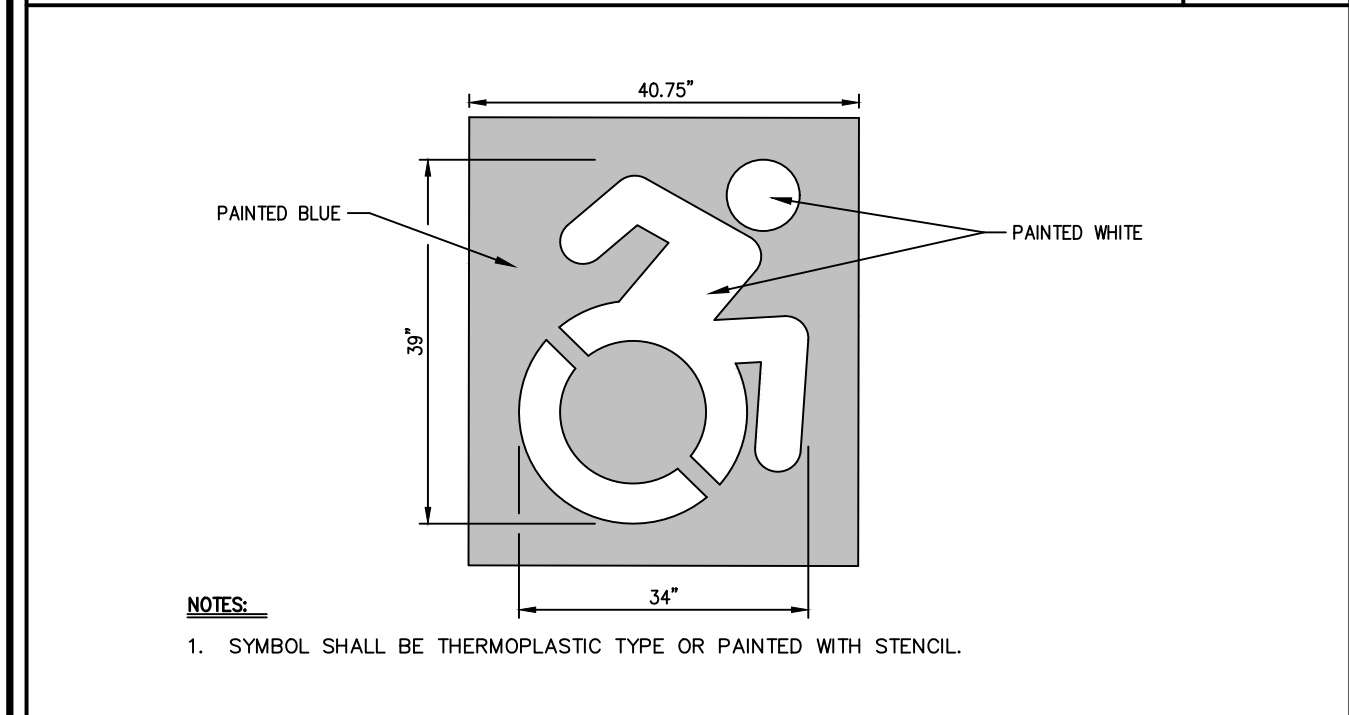
BUILDING PERIMETER MONOLITHIC CURB & SIDEWALK 8



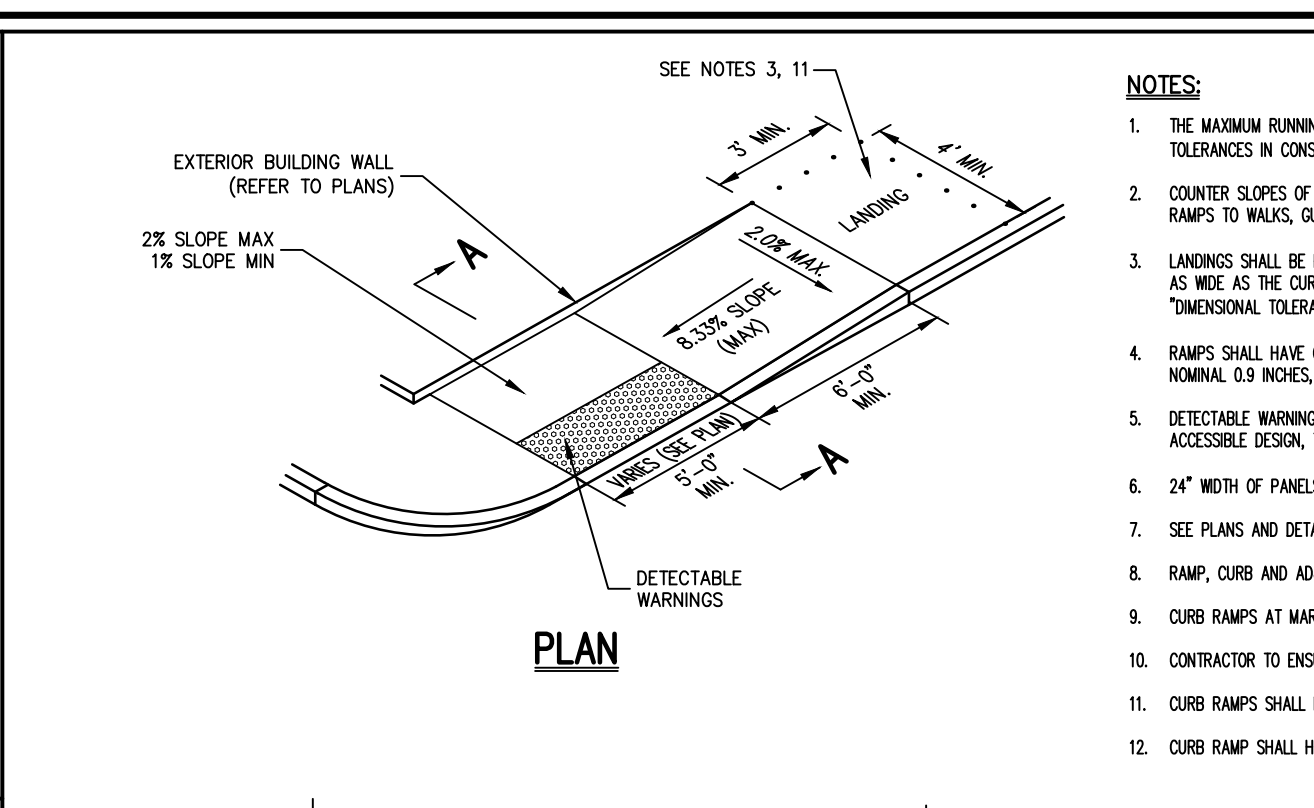
CAST-IN-PLACE CONCRETE CURB 9



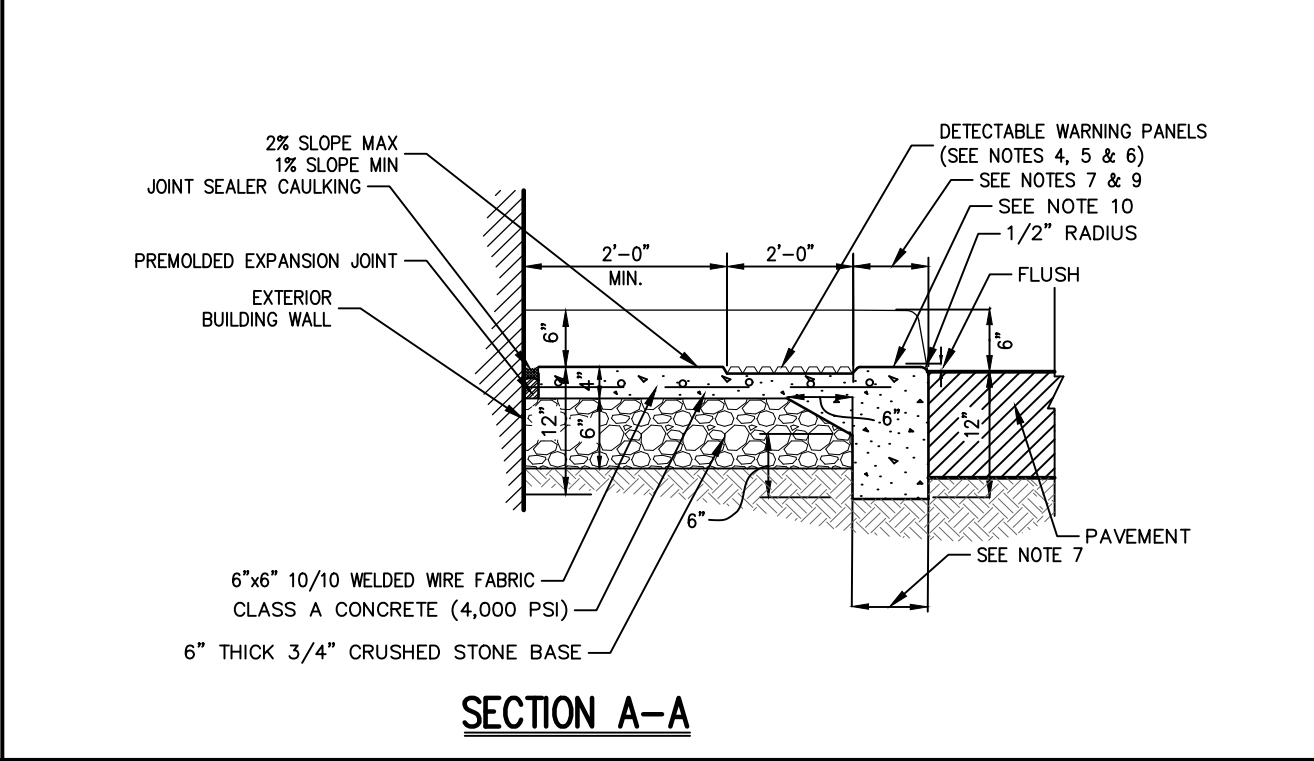
ACCESSIBLE PARKING 13



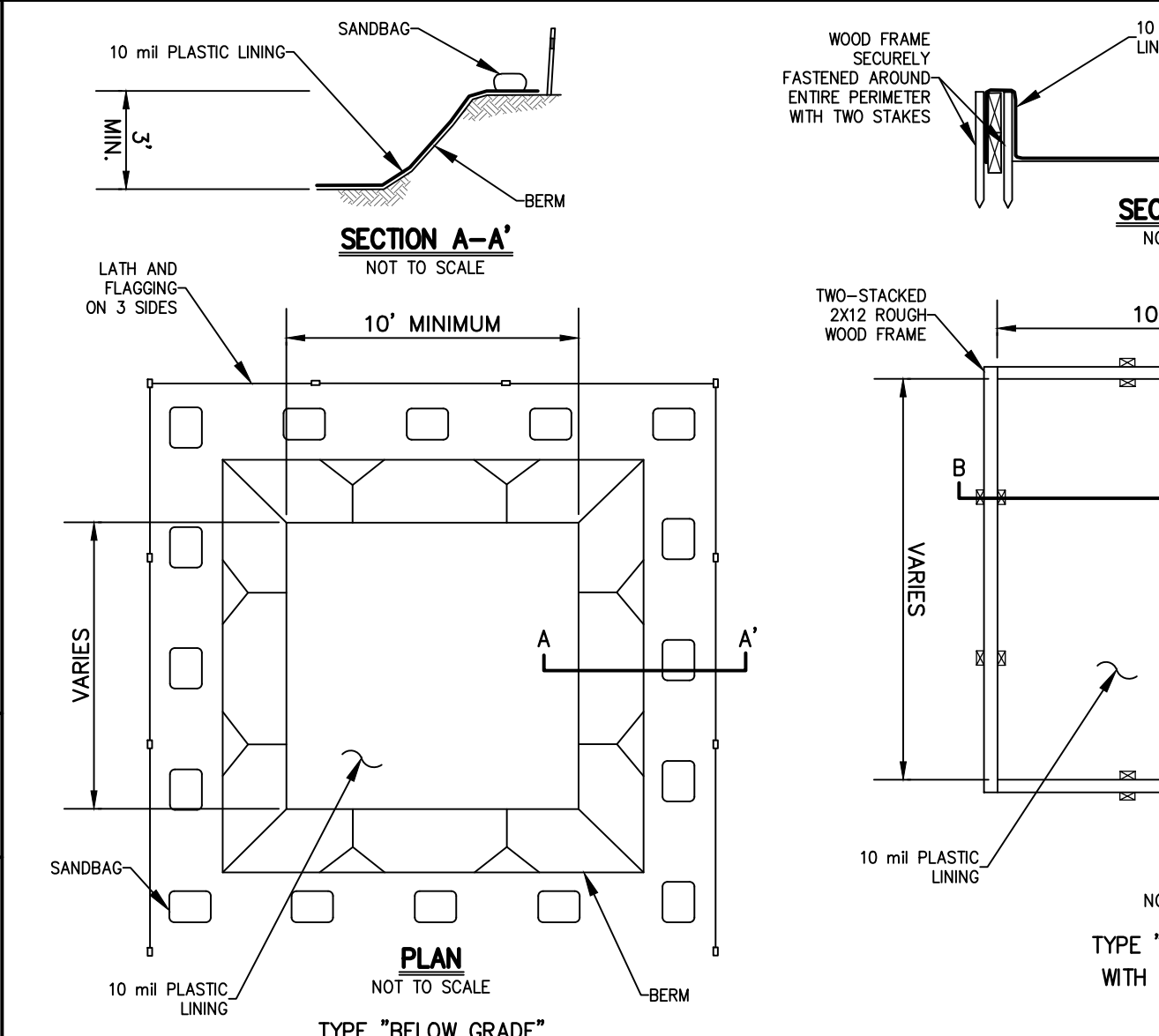
PAINTED ACCESSIBLE SYMBOL 13A



SITE PARALLEL CURB RAMP 10



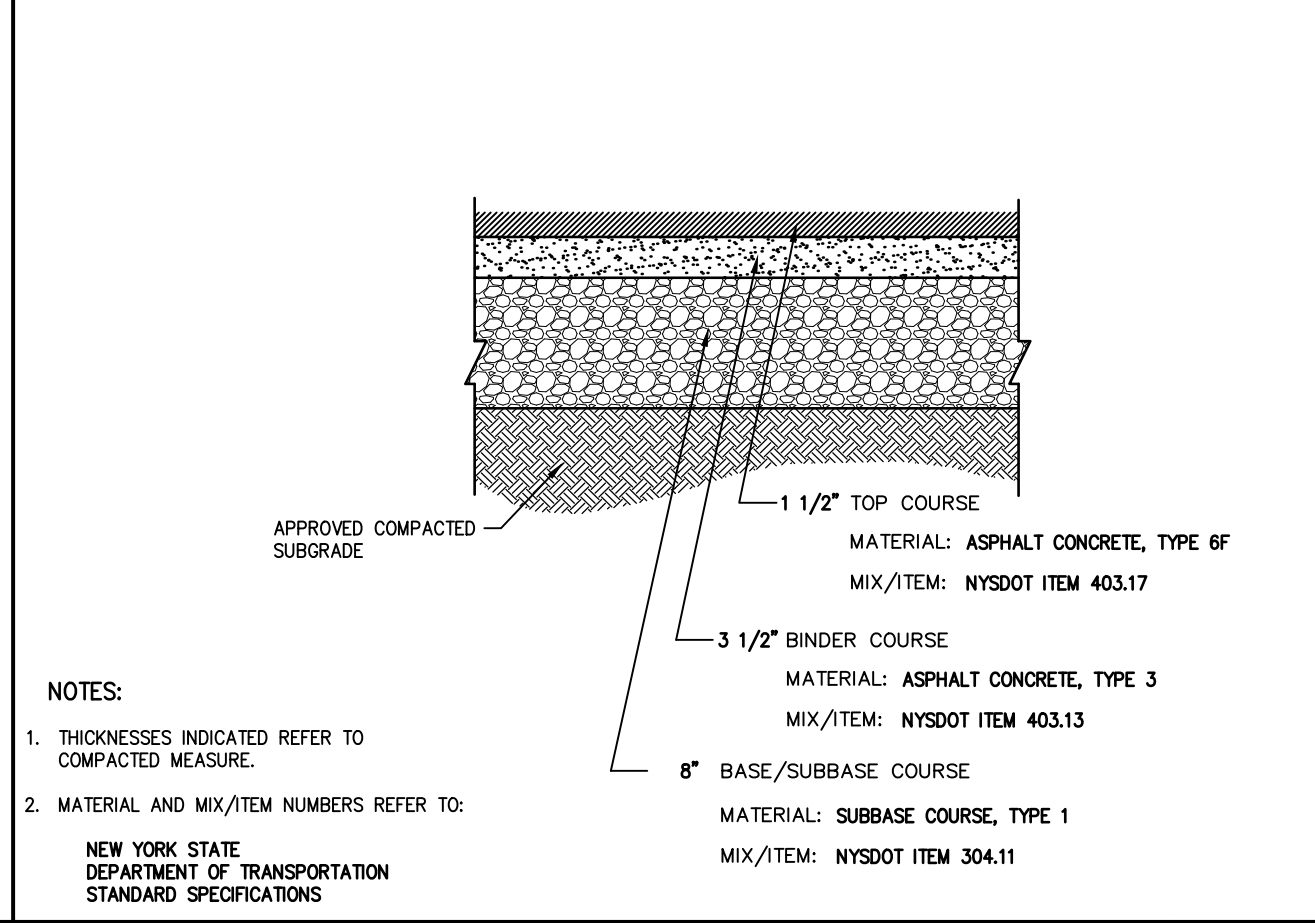
SITE PAVEMENT (HEAVY DUTY) 11



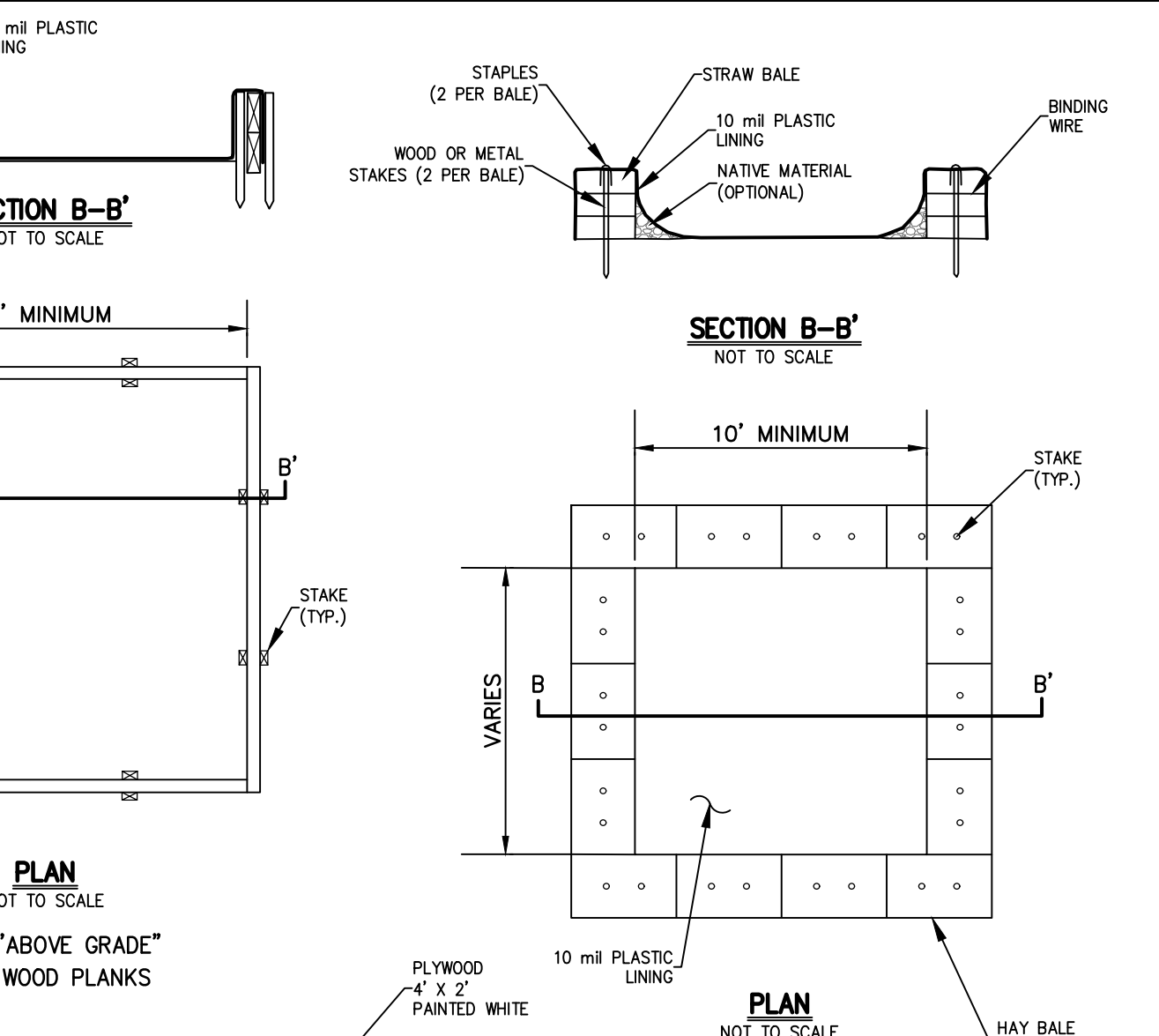
CONCRETE WASHOUT 14

NOTES:

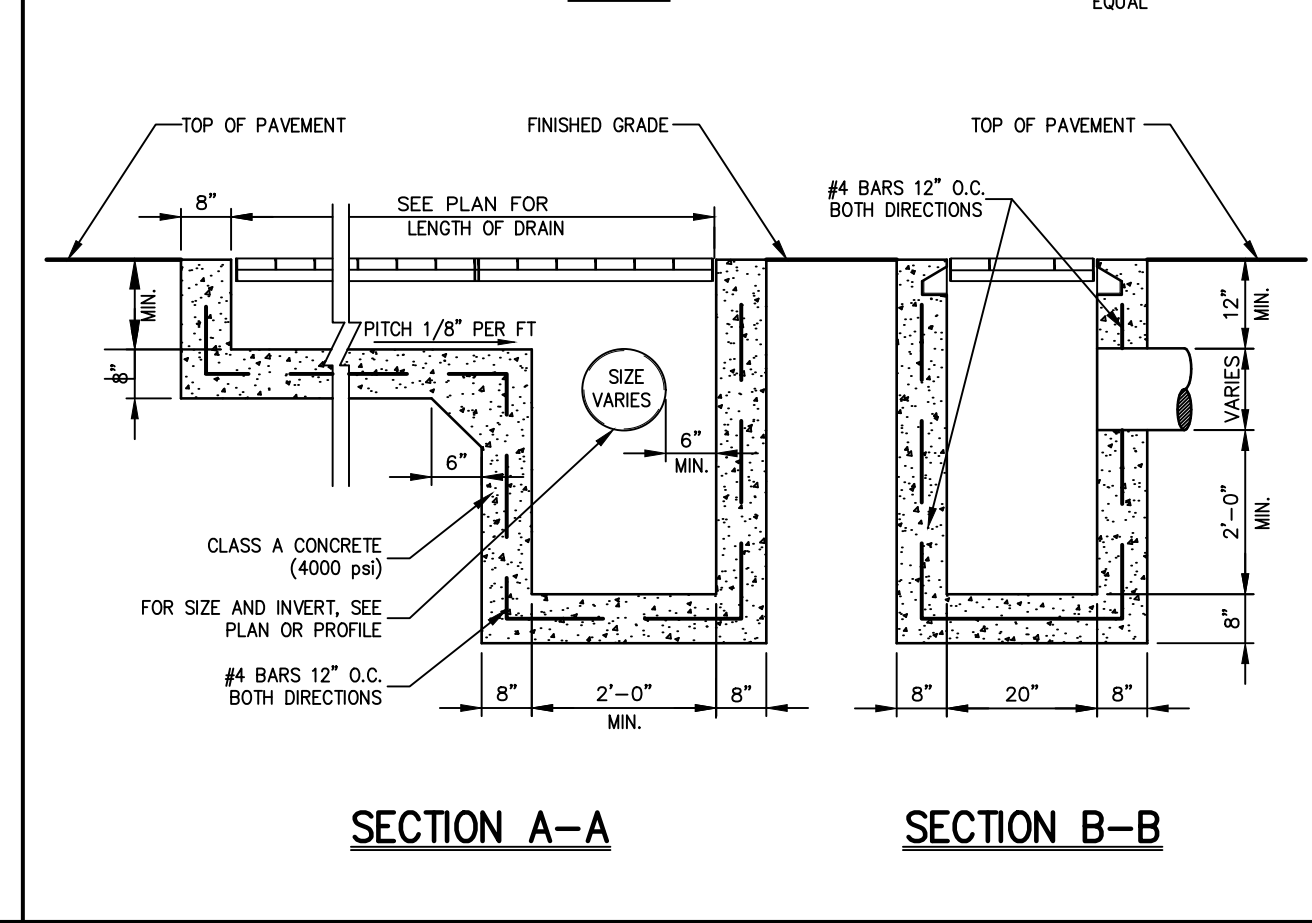
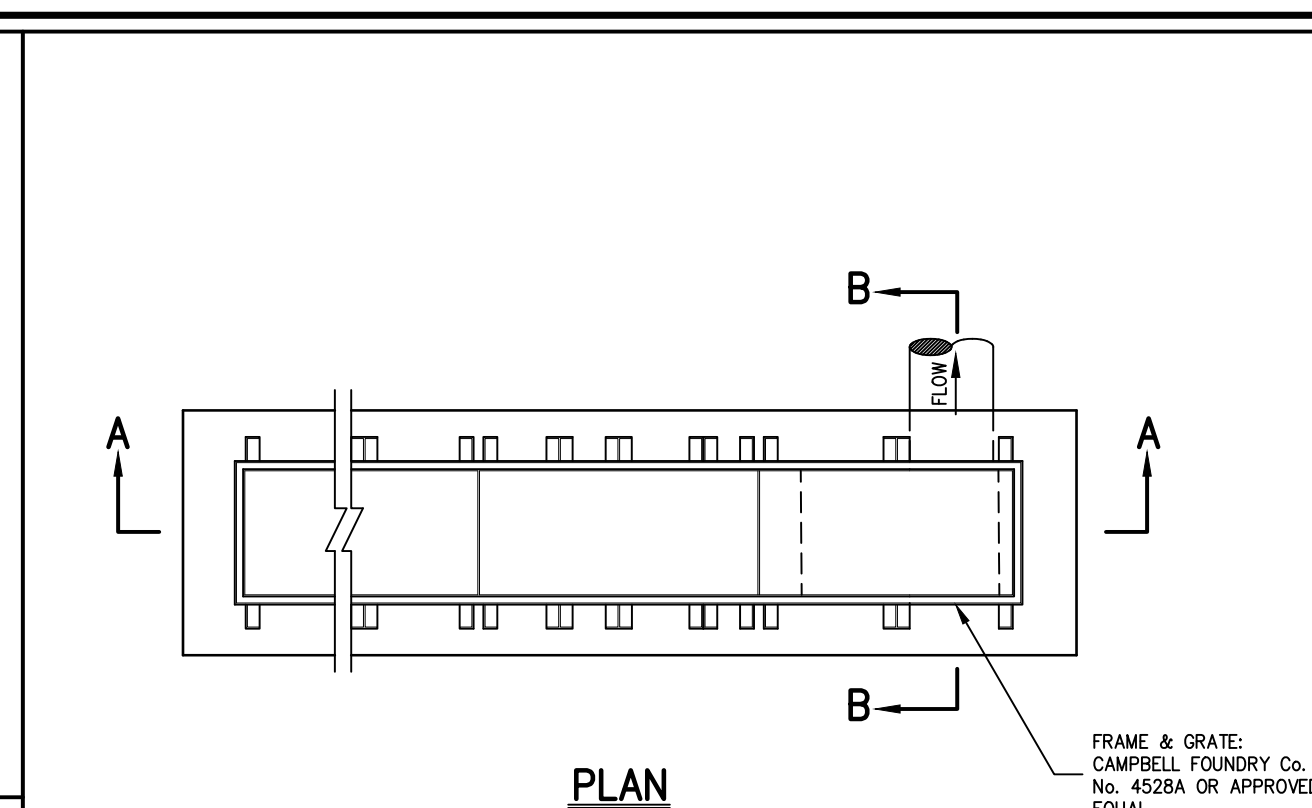
1. THE MAXIMUM RUNNING SLOPE OF A CURB RAMP SHALL BE 8.33% AND THE MAXIMUM CROSS SLOPE SHALL BE 2.0% MEASURED WITH A 2 FOOT SMART LEVEL AS SPECIFIED IN DIMENSIONAL TOLERANCES IN CONSTRUCTION AND FOR SURFACE ACCESSIBILITY, BY UNITED STATES ACCESS BOARD, LATEST EDITION.
2. COUNTER SLOPES OF ADJACENT CURBS AND ROAD SURFACES IMMEDIATELY ADJACENT TO THE CURB RAMP SHALL NOT BE STEEPER THAN 5% THE ADJACENT SURFACES AT TRANSITIONS AT CURB RAMP TO WALKS, CUTTERS AND STREETS SHALL BE AT THE SAME LEVEL.
3. LANDINGS SHALL BE PROVIDED AT THE TOP OF CURB RAMP. THE CLEAR LENGTH OF THE LANDING SHALL BE THIRTY-SIX (36) INCHES MINIMUM. THE CLEAR WIDTH OF THE LANDING SHALL BE AT LEAST AS WIDE AS THE CURB RAMP. LEADING TO THE LANDING, LANDINGS SHALL HAVE A SLOPE NOT STEEPER THAN 2% IN ANY DIRECTION MEASURED WITH A 2 FOOT SMART LEVEL AS SPECIFIED IN DIMENSIONAL TOLERANCES IN CONSTRUCTION AND FOR SURFACE ACCESSIBILITY, BY UNITED STATES ACCESS BOARD, LATEST EDITION.
4. RAMP SHALL HAVE CAST IN PLACE DETECTABLE WARNING SURFACES AS MANUFACTURED BY HOKER-TILE (OR APPROVED EQUAL) AND SHALL CONSIST OF RAZED TRUNCATED DOMES WITH A BASE DIAMETER OF NOMINAL 6/8 INCHES, A HEIGHT OF NOMINAL 1/2 INCHES AND A CENTER TO CENTER SPACING OF NOMINAL 1.6 INCHES.
5. DETECTABLE WARNING SURFACES SHALL CONTRAST VISUALLY WITH ADJACENT WALKING SURFACES, EITHER LIGHT-ON-DARK OR DARK-ON-LIGHT IN ACCORDANCE WITH THE ADA STANDARDS FOR ACCESSIBLE DESIGN, THE BUILDING CODE, AND APPLICABLE LOCAL LAWS AND REGULATIONS, LATEST EDITIONS.
6. 2\"/>



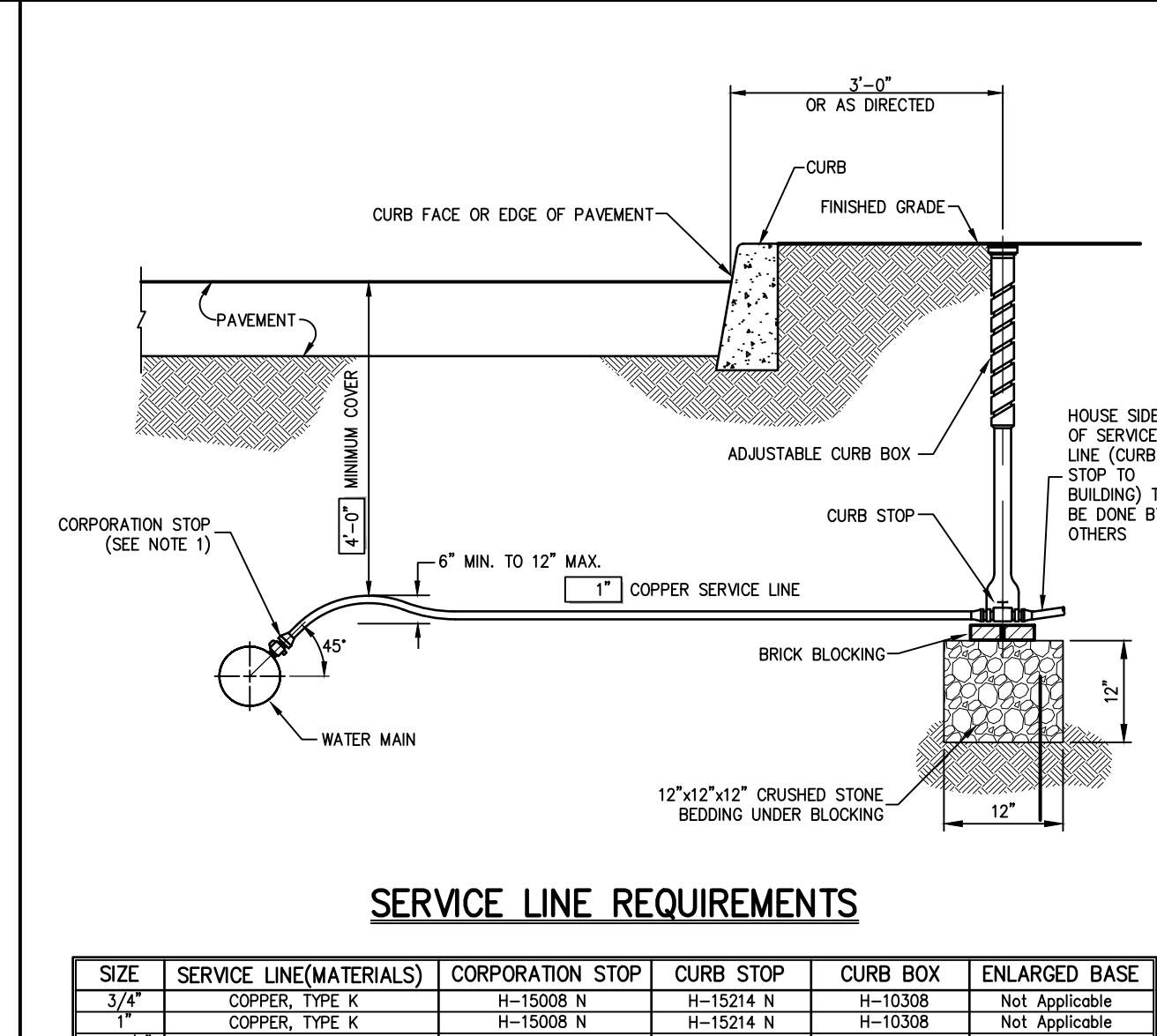
TRENCH DRAIN (END OUTLET) 12



CONCRETE WASHOUT SIGN DETAIL (OR EQUIVALENT) 14



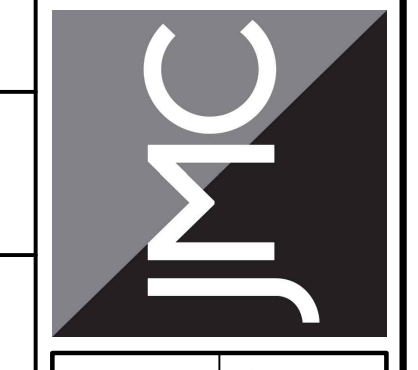
CONCRETE WASHOUT SIGN DETAIL (OR EQUIVALENT) 14



WATER SERVICE CONNECTION 15

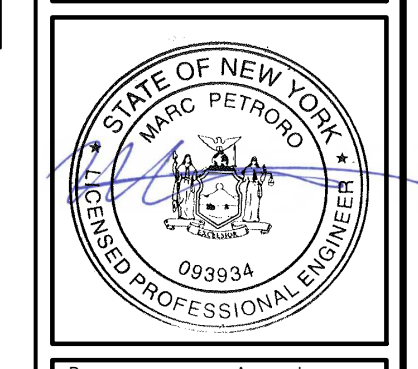
No.	Revision	Date
1.	REVISED PER TOWN COMMENTS	01/13/2022
2.	REVISED PER BOARD OF TRUSTEES COMMENTS	12/01/2023
3.	REVISED PER BOARD OF TRUSTEES COMMENTS	01/31/2024
4.	REVISED PER BOARD OF TRUSTEES COMMENTS	03/22/2024

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 John Meyer Consulting, Inc.
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 voice: 914.273.5225 • fax: 914.273.2102
 www.jmcpic.com



SITE DETAILS
GAS STATION / CONVENIENCE MARKET
 657 SAW MILL RIVER ROAD
 VILLAGE OF ARDSLEY, NEW YORK

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Drawn: **KRM** Approved: **RJP**
 Scale: **NOT TO SCALE**
 Date: **05/26/2020**
 Project No: **18175**
 1815-DRAWING: **C-901**
 Drawing No: **C-901**

NOT FOR CONSTRUCTION

PROJECT INFORMATION

ADS
Advanced Drainage Systems, Inc.

**GAS STATION 657 SAW MILL RIVER ROAD
ARDSLEY, NY**

BAYSAYER BAYFILTER SPECIFICATIONS

BAYFILTER MAINTENANCE

QUALITY CONTROL

SECTION AA
SCALE: 1/4" = 1'-0"

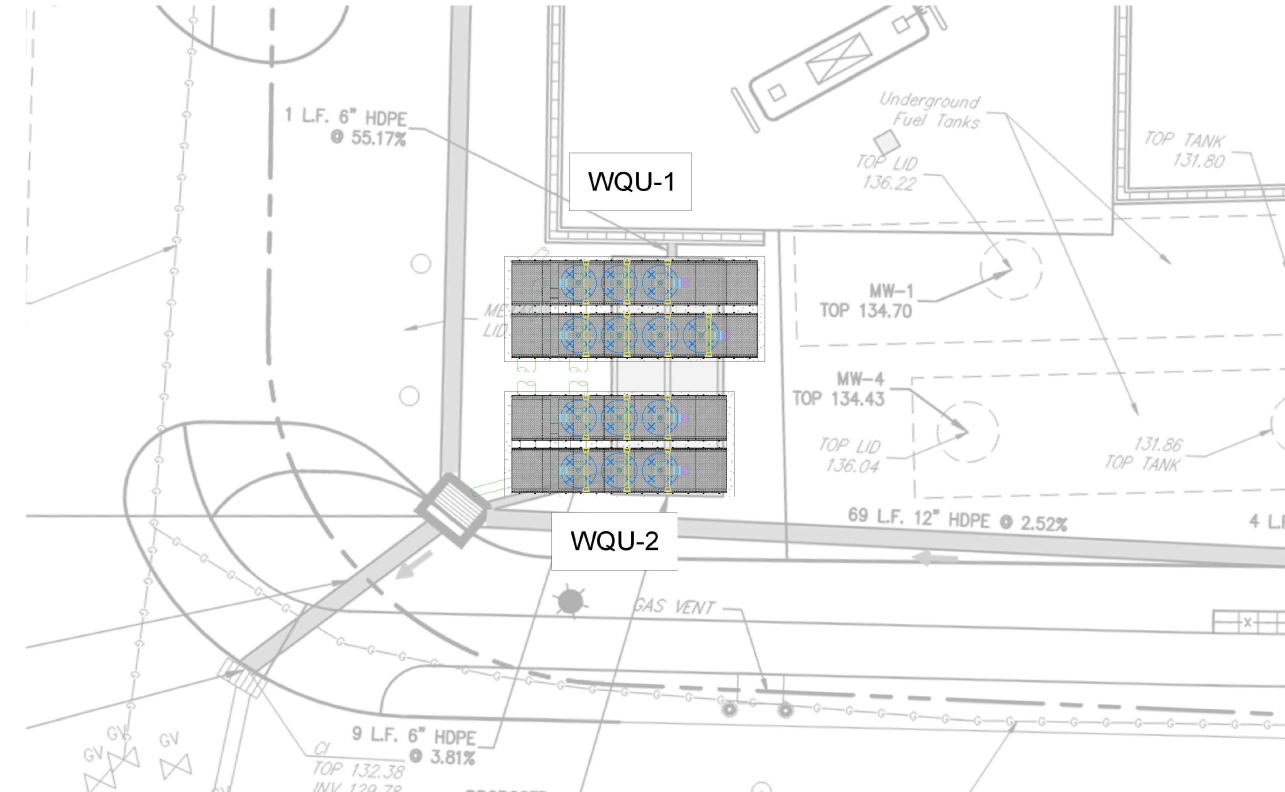
PLAN VIEW

QUALITY CONTROL

SECTION AA
SCALE: 1/4" = 1'-0"

PLAN VIEW

QUALITY CONTROL



1.	REVISED PER TOWN COMMENTS	01/13/2022
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Previous Editions Obsolete

ADS SAND FILTER

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CASCADE SEPARATOR DESIGN NOTES

THE STANDARD CS-4 CONFIGURATION IS SHOWN. ALTERNATE CONFIGURATIONS ARE AVAILABLE AND ARE LISTED BELOW. SOME CONFIGURATIONS MAY BE COMBINED TO SUIT SITE REQUIREMENTS.

CONFIGURATION DESCRIPTION

GRATED INLET ONLY (NO INLET PIPE)

GRATED INLET WITH INLET PIPE OR PIPES

CURB INLET ONLY (NO INLET PIPE)

CURB INLET WITH INLET PIPE OR PIPES

SITE SPECIFIC DATA REQUIREMENTS

STRUCTURE ID	WATER QUALITY	FLOW RATE (G/L/S)	PEAK FLOW RATE (G/L/S)	RETURN PERIOD OF PEAK FLOW (YRS)	RIM ELEVATION

GENERAL NOTES

1. CONTRACTOR TO PROVIDE ALL MATERIALS UNLESS NOTED OTHERWISE.

2. FOR SITE SPECIFIC DRAWINGS WITH DETAILED STRUCTURE DIMENSIONS AND WEIGHT, PLEASE CONTACT YOUR CONTECH ENGINEERED SOLUTIONS LLC REPRESENTATIVE. www.conteches.com

3. CASCADE SEPARATOR WATER QUALITY STRUCTURE SHALL BE IN ACCORDANCE WITH ALL DESIGN DATA AND INFORMATION CONTAINED IN THIS DRAWING. CONTRACTOR TO CONFIRM STRUCTURE MEETS REQUIREMENTS OF PROJECT.

4. CASCADE SEPARATOR STRUCTURE SHALL MEET AASHTO H20-10-44 LOAD RATING, ASSUMING EARTH COVER OF 0'-2" (0.10) AND GROUNDWATER ELEVATION AT, OR BELOW, THE OUTLET PIPE INVERT ELEVATION. ENGINEER OF RECORD TO CONFIRM ACTUAL GROUNDWATER ELEVATION. CASTINGS SHALL MEET AASHTO M240 AND BE CAST WITH THE CONTECH LOG.

5. CASCADE SEPARATOR STRUCTURE SHALL BE PRECAST CONCRETE CONFORMING TO ASTM C478 AND AASHTO LOAD FACTOR DESIGN METHOD.

6. ALTERNATE UNITS ARE SHOWN IN MILLIMETERS [mm].

INSTALLATION NOTES

A. ANY SUBBASE, BACKFILL, DEPTH, AND/OR ANTI-FLOTATION PROVISIONS ARE SITE-SPECIFIC DESIGN CONSIDERATIONS AND SHALL BE SPECIFIED BY ENGINEER OF RECORD.

B. CONTRACTOR TO PROVIDE EQUIPMENT WITH SUFFICIENT LIFTING AND REACH CAPACITY TO LIFT AND SET THE CASCADE SEPARATOR MANHOLE STRUCTURE.

C. CONTRACTOR TO PROVIDE JOINT SEALANT BETWEEN ALL STRUCTURE SECTIONS AND ASSEMBLE STRUCTURE.

D. CONTRACTOR TO PROVIDE, INSTALL, AND GROUT INLET AND OUTLET PIPES. MATCH PIPE INVERTS WITH ELEVATIONS SHOWN. ALL PIPE CENTERLINES TO MATCH PIPE OPENING CENTERLINES.

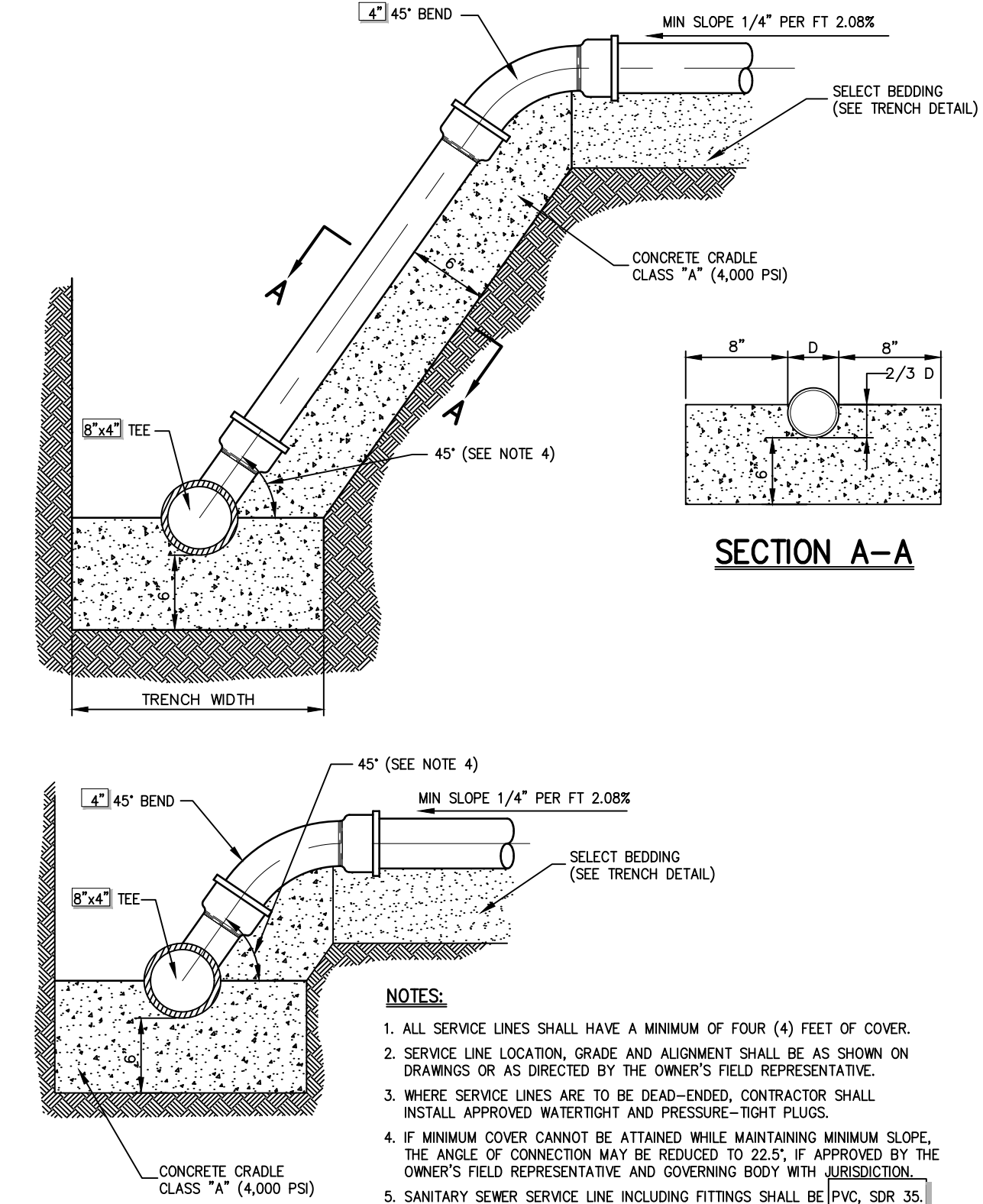
E. CONTRACTOR TO TAKE APPROPRIATE MEASURES TO ASSURE UNIT IS WATER TIGHT, HOLDING WATER TO FLOWLINE INVERT MINIMUM. IT IS SUGGESTED THAT ALL JOINTS BELOW PIPE INVERTS ARE GROUTED.

CONTECH ENGINEERED SOLUTIONS LLC
www.conteches.com
4000 Colton Parkway • Suite 400 • Dallas, TX 75241 • Phone: 972.484.4600 • Fax: 972.484.4601

CS-4 CASCADE SEPARATOR STANDARD DETAIL

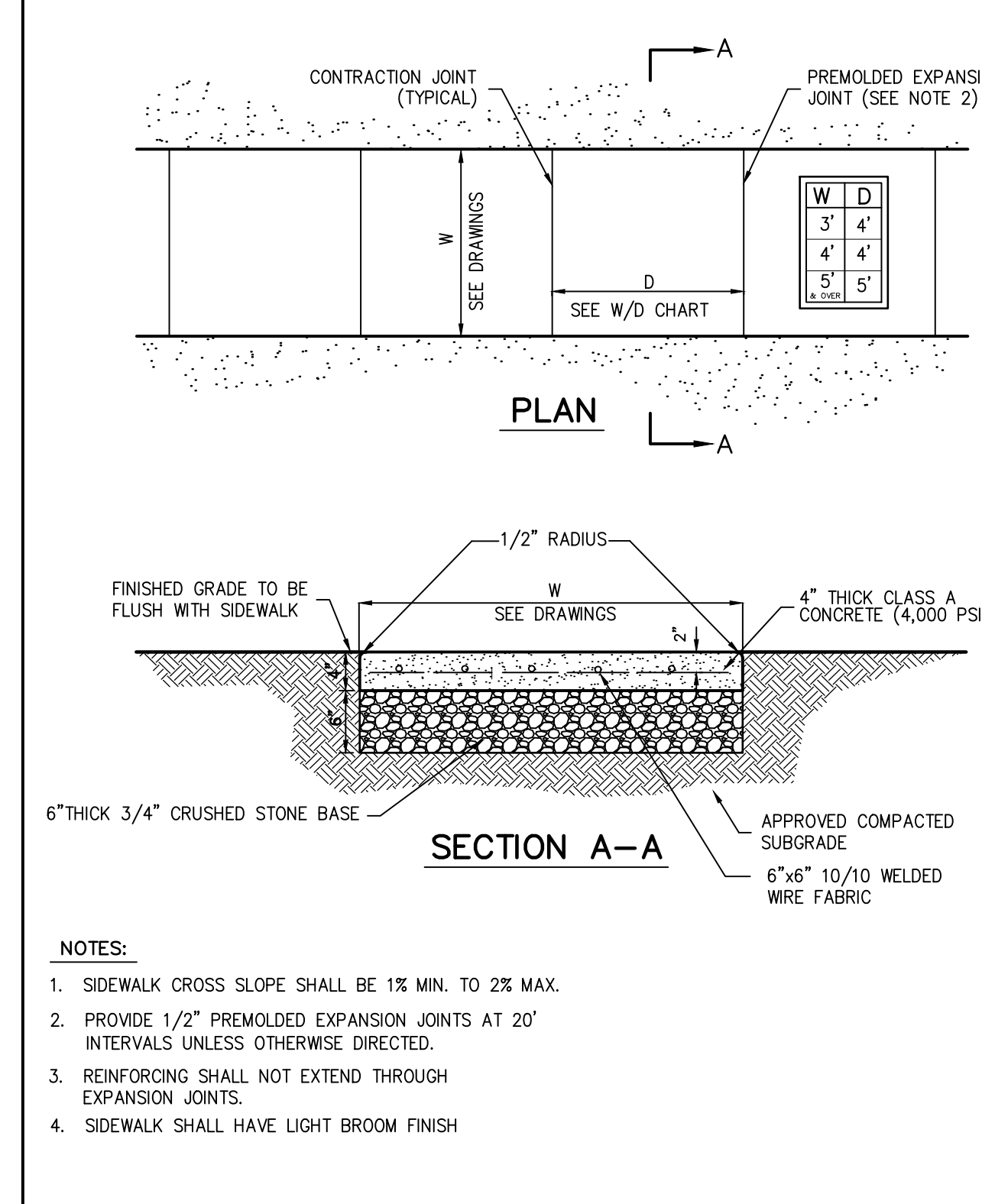
CASCADE SEPARATOR - CS-4

17



SANITARY SEWER SERVICE CONNECTION

18



CONCRETE SIDEWALK

19

JMC

SITE DETAILS

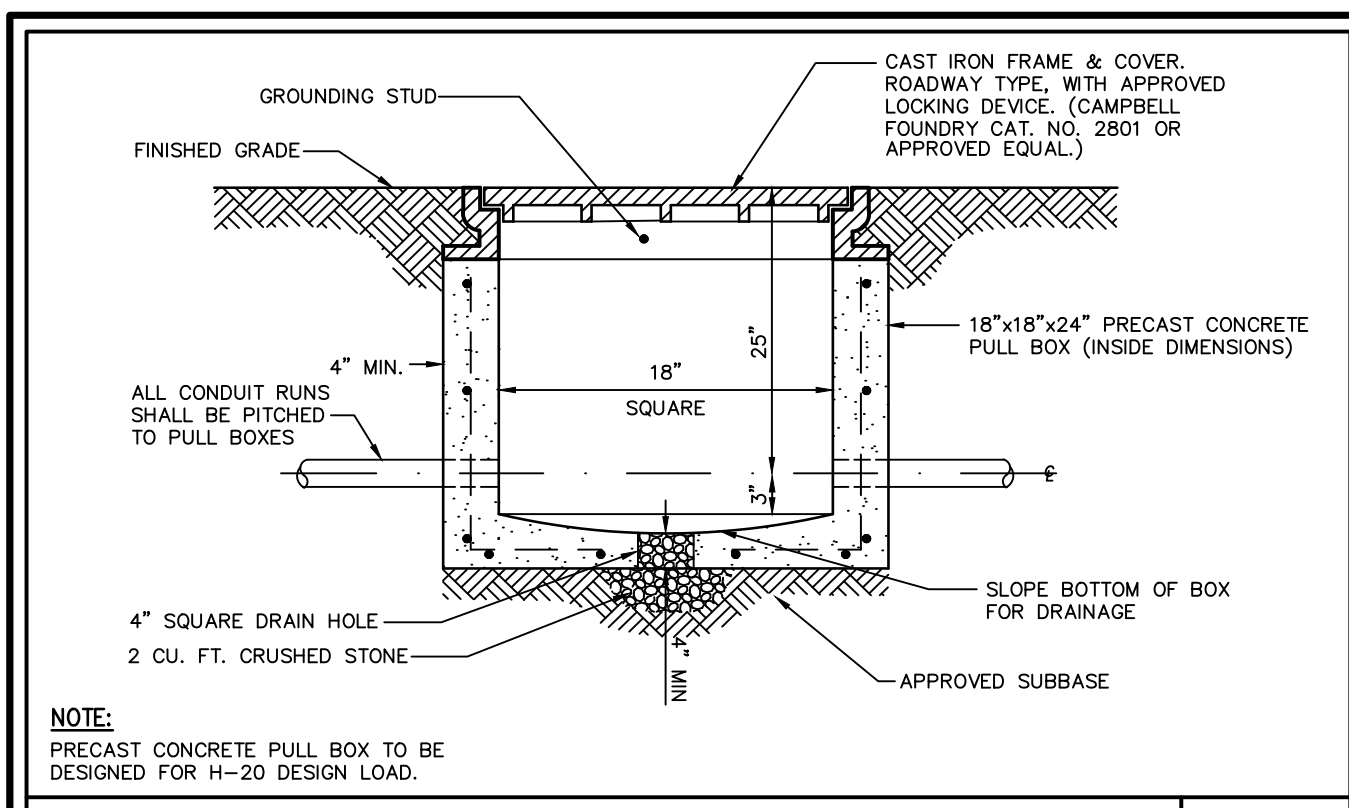
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VILLAGE OF ARDSLEY, NEW YORK

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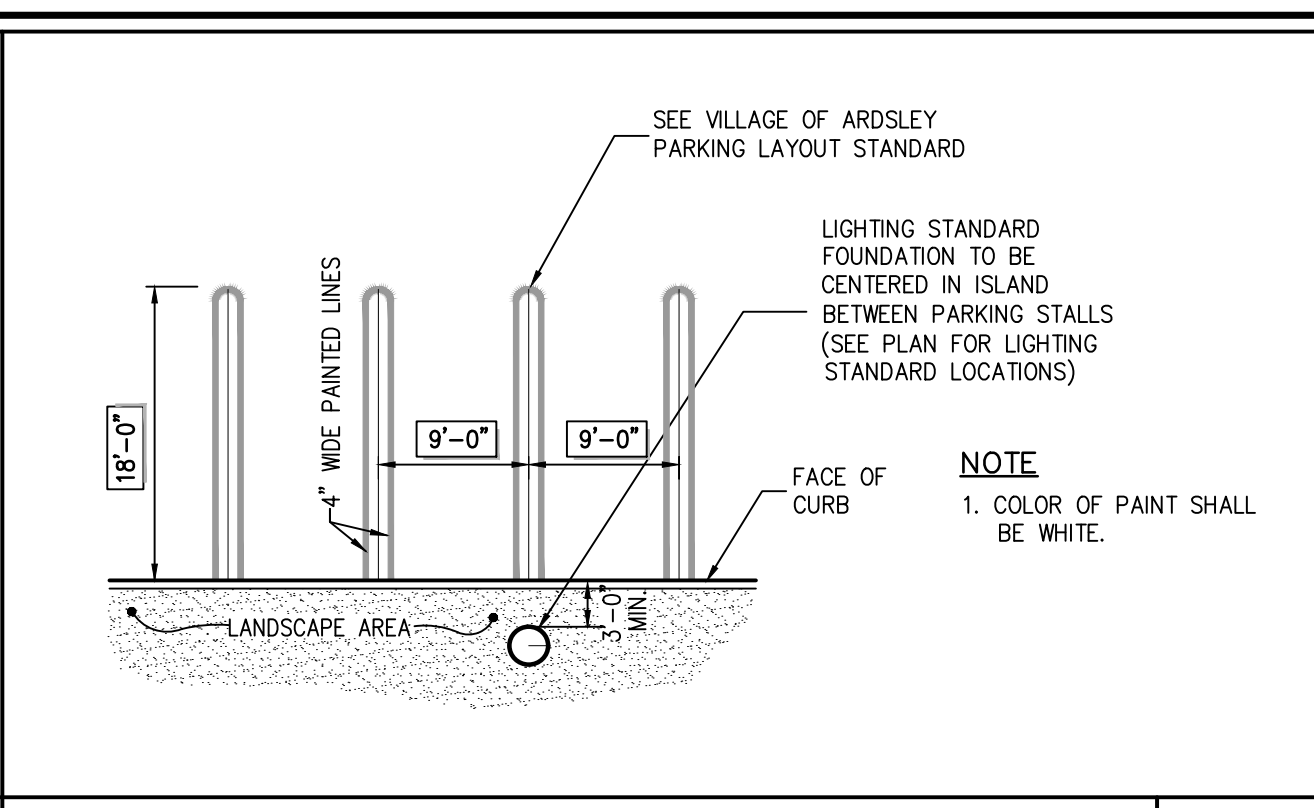
STATE OF NEW YORK
JAMES P. PETRO
093904
REGISTERED PROFESSIONAL ENGINEER

Drawn: **KRM** Approved: **RJP**
Scale: **NOT TO SCALE**
Date: **05/26/2020**
Project No: **18175**
18175-DETAILS C-902
Drawing No: **C-902**

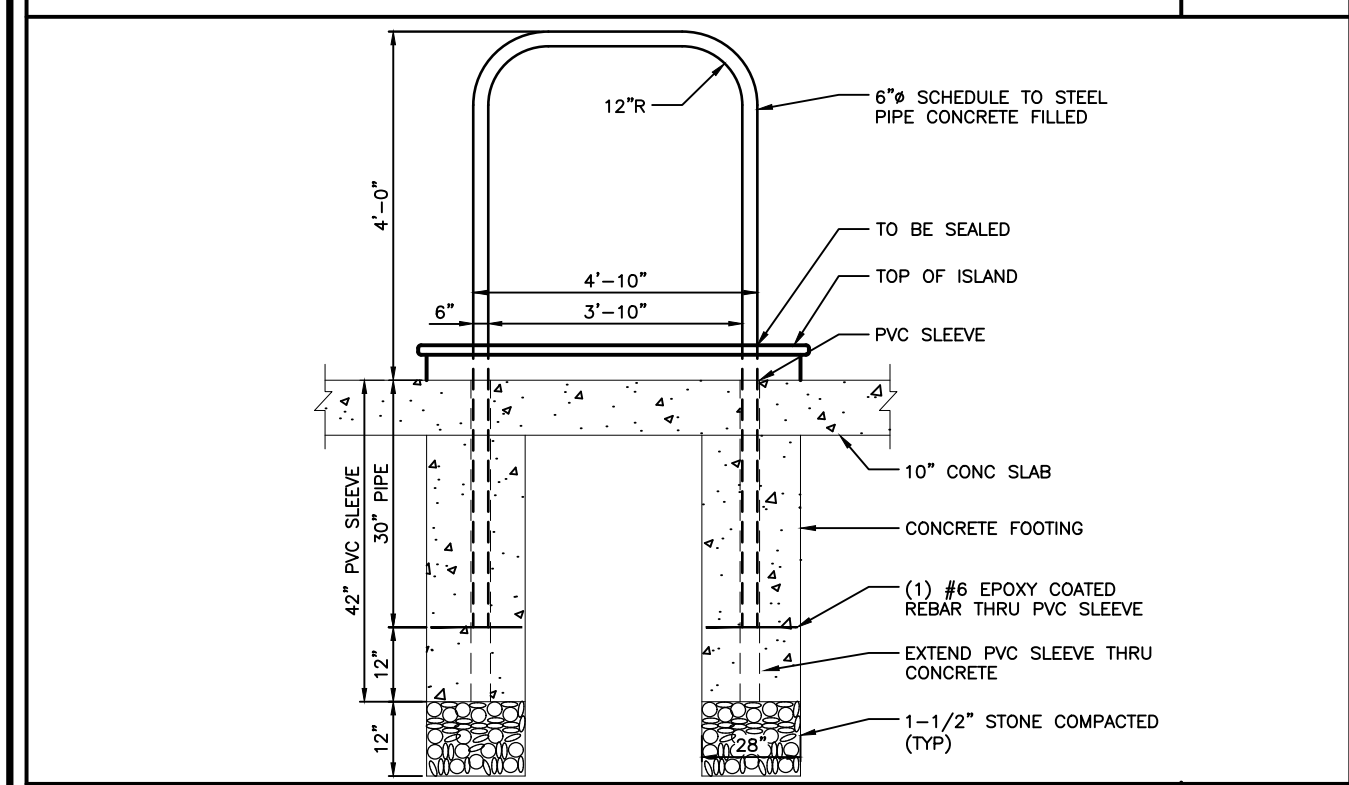
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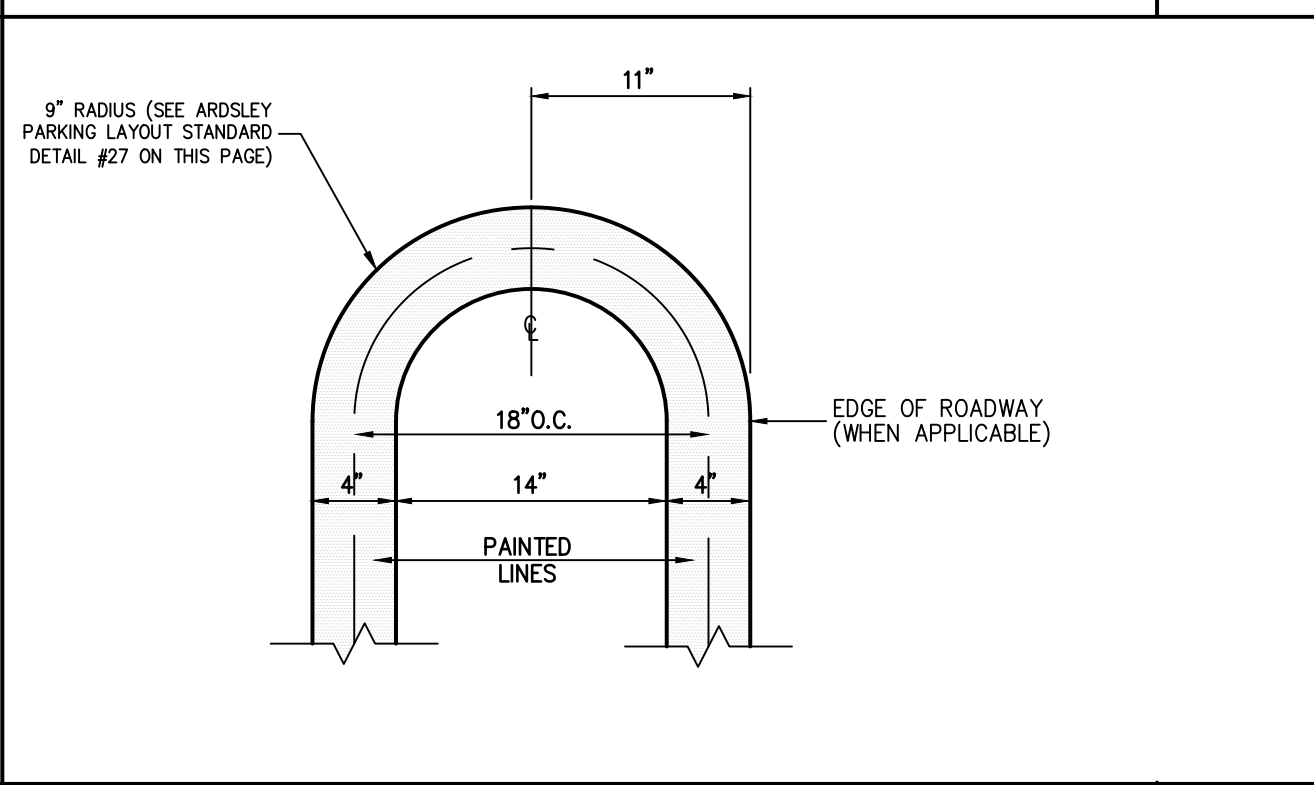
ELECTRICAL PULL BOX 20



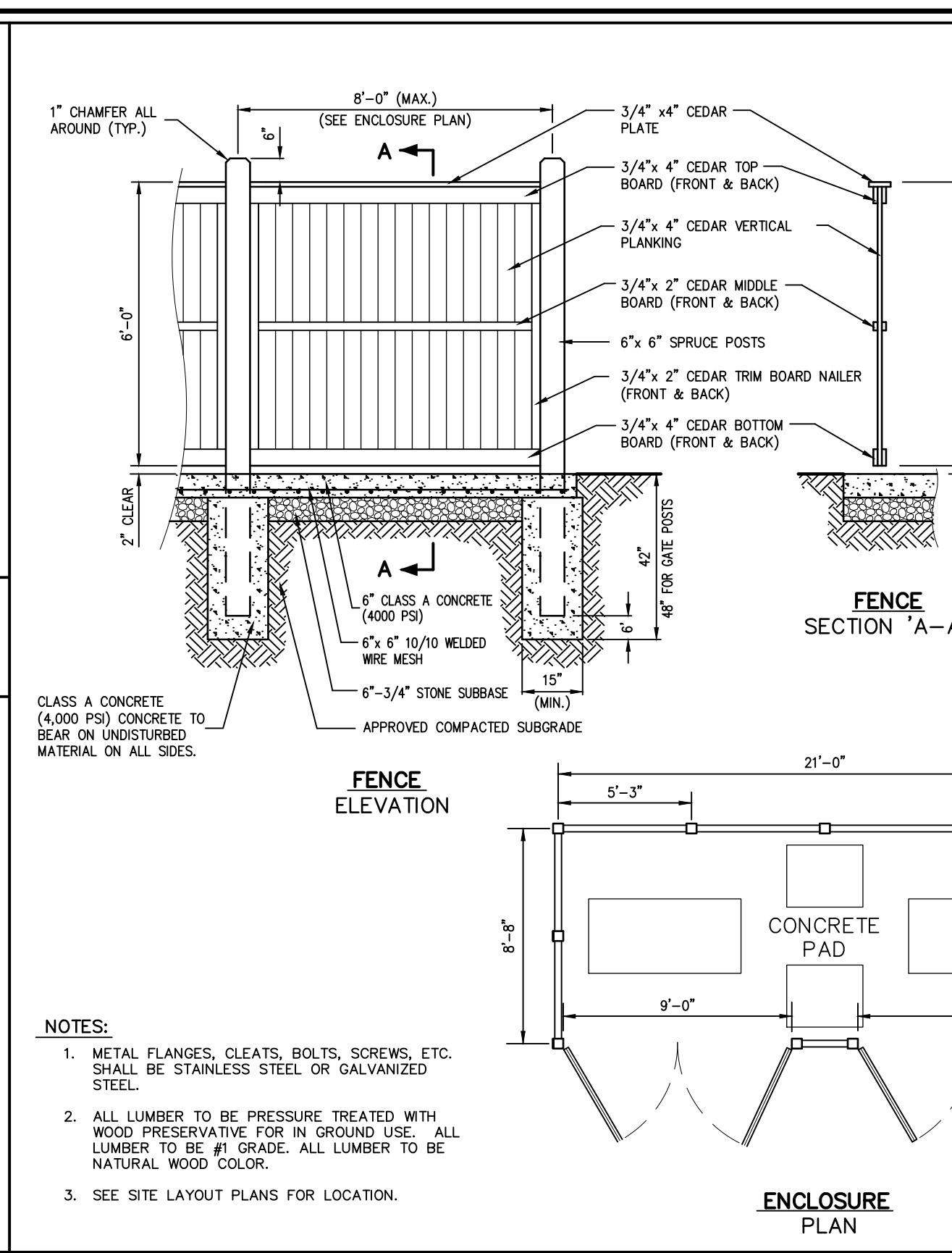
90° PARKING
(DOUBLE STRIPING - CURBED PERIMETER) 22



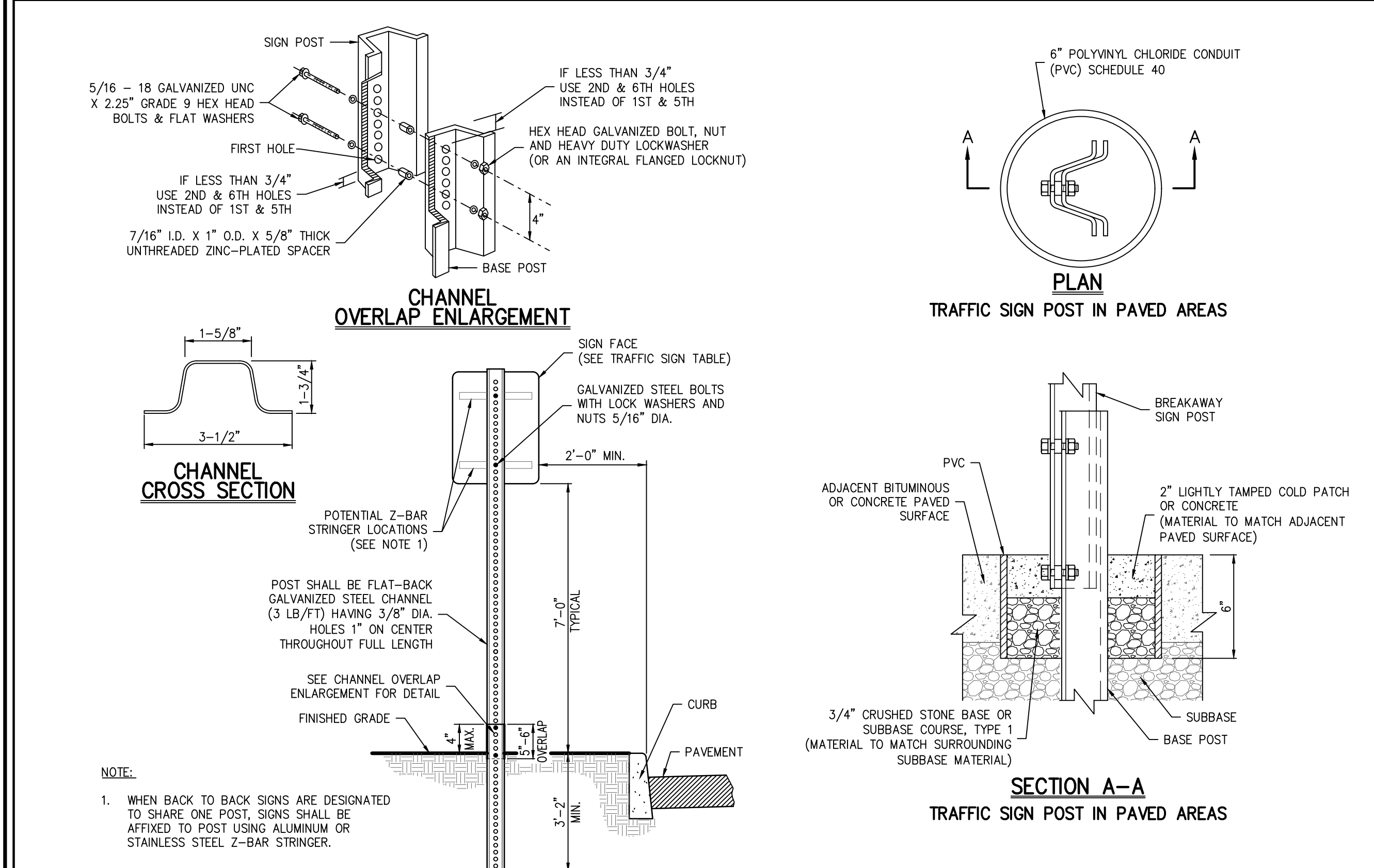
"U" TYPE BOLLARDS 21



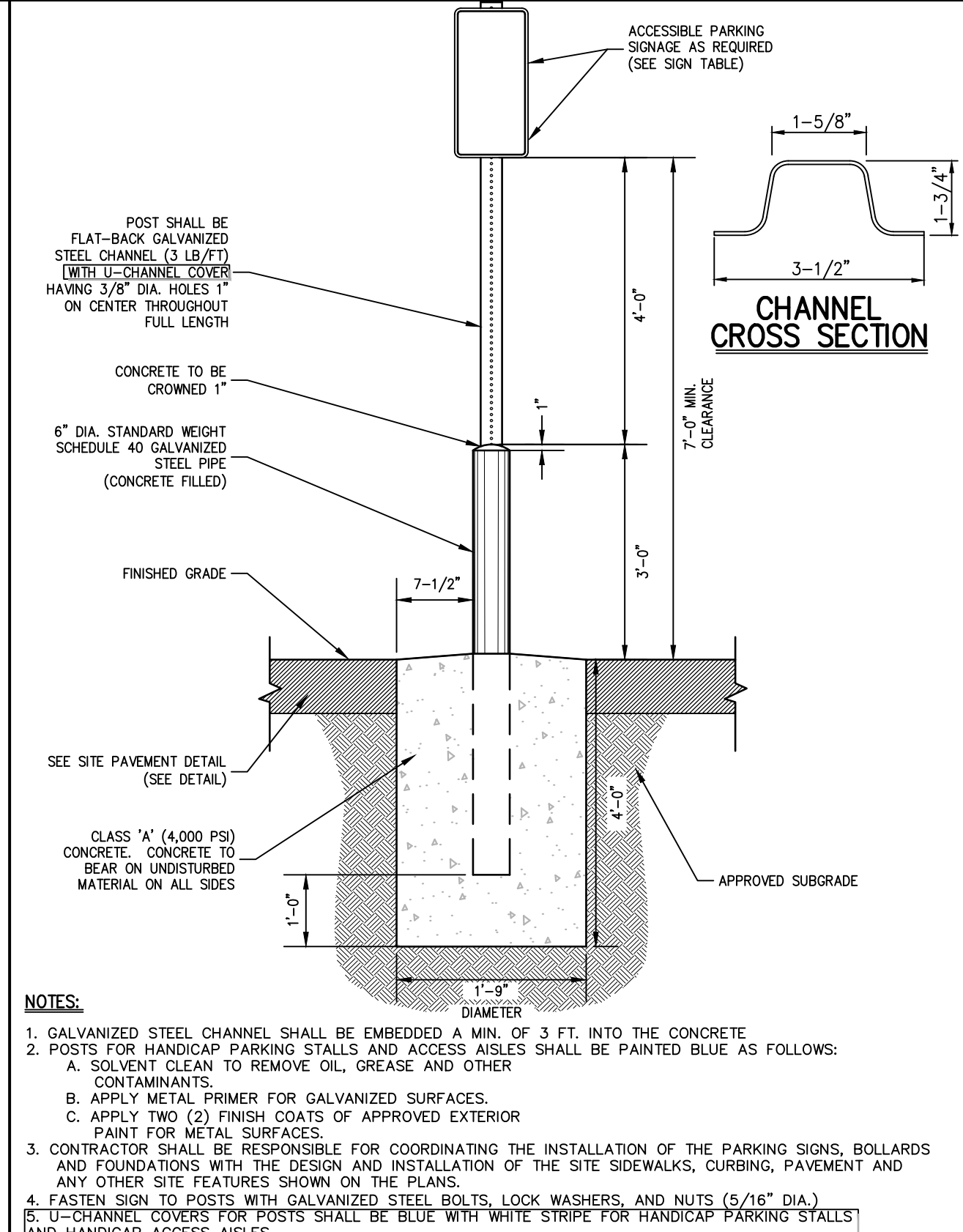
STRIPING END ENLARGEMENT 23



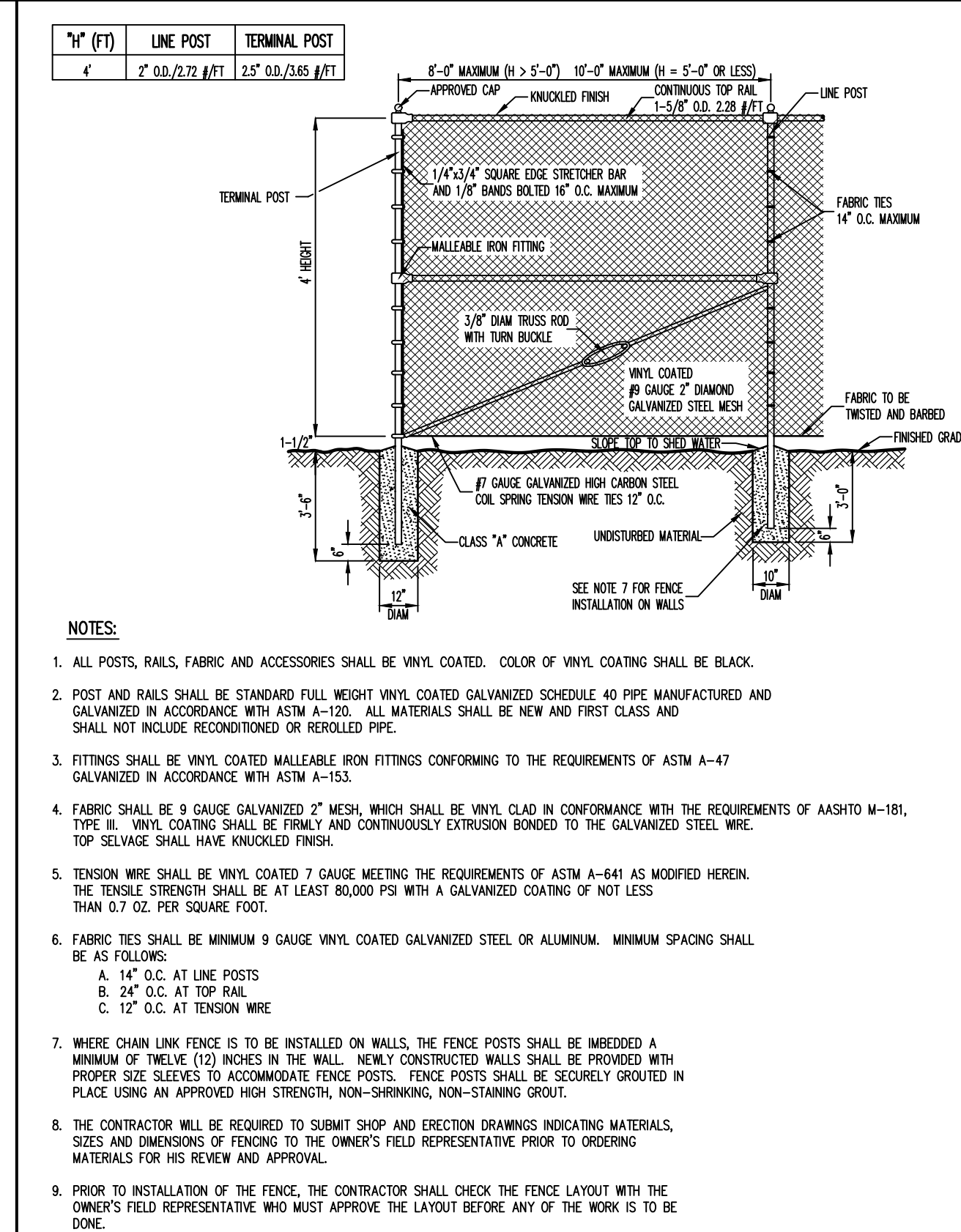
TRASH ENCLOSURE WITH CONCRETE PAD
(WOOD) 24



TRAFFIC SIGN POST
(BREAKAWAY STEEL CHANNEL) 25



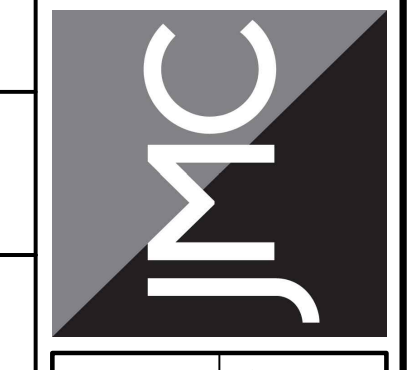
ACCESSIBLE PARKING SIGN DETAIL 26



CHAIN LINK FENCE
(VINYL COATED) 27

No.	Revision	Date
1.	REVISED PER TOWN COMMENTS	01/13/2022
2.	REVISED PER BOARD OF TRUSTEES COMMENTS	12/01/2023
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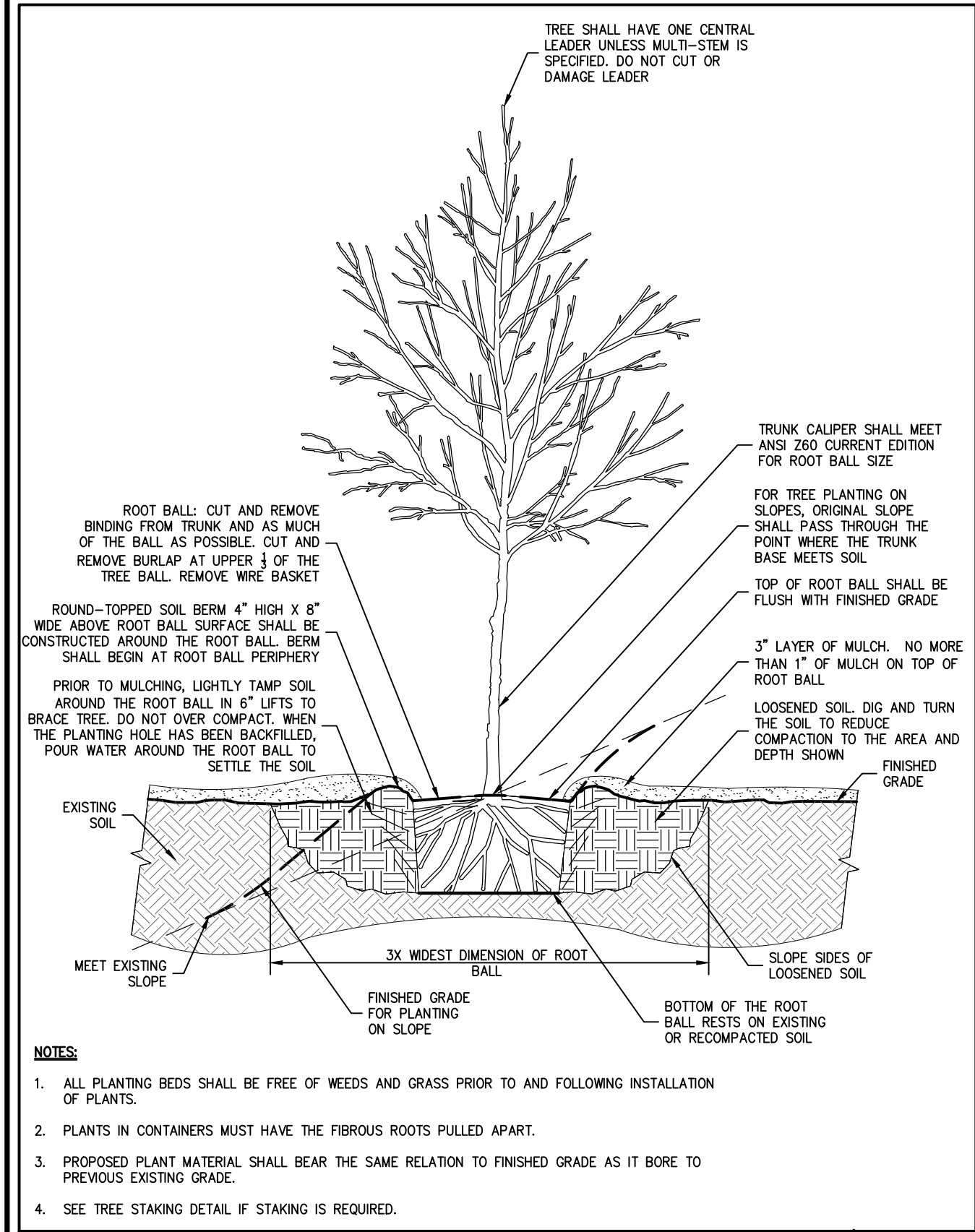


SITE DETAILS
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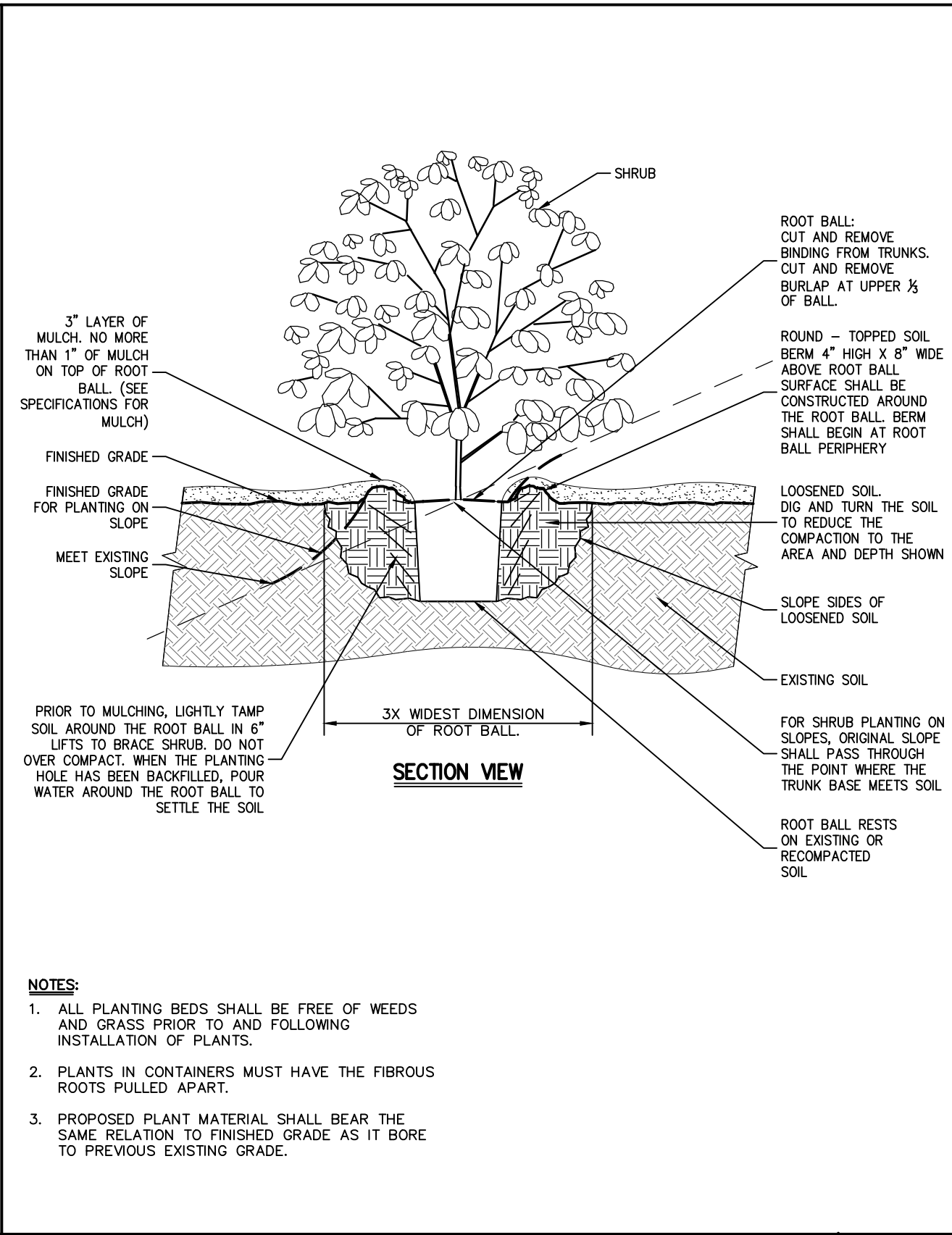
STATE OF NEW YORK
 SEAL OF PROFESSIONAL ENGINEER
 09934
 Drawn: KRM Approved: RJP
 Scale: NOT TO SCALE
 Date: 06/26/2020
 Project No: 18175
 1815-DRAWING C-903
 Drawing No: C-903

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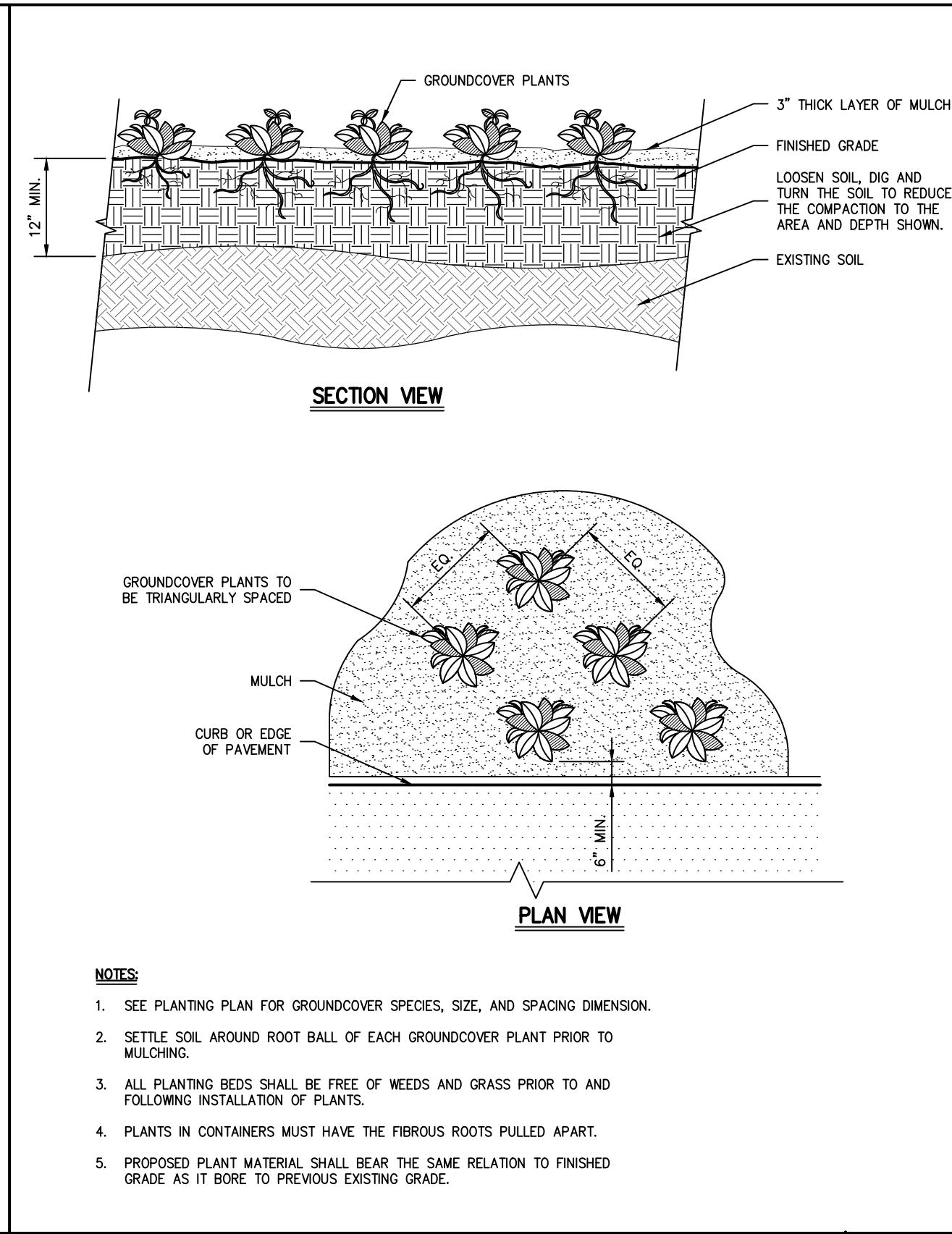
TREE PLANTING
(DECIDUOUS AND EVERGREEN)

28



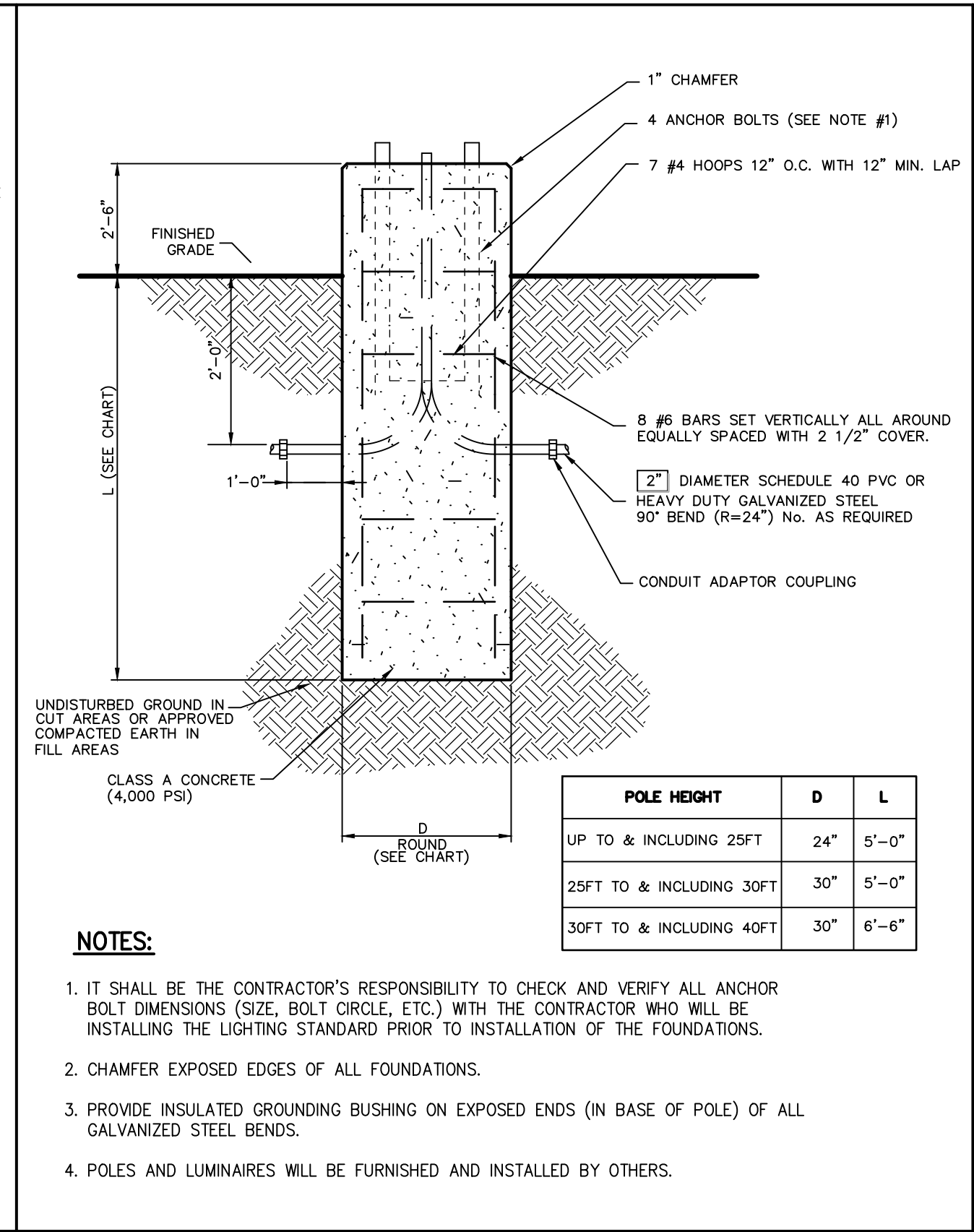
SHRUB PLANTING

29



GROUND COVER

30



LIGHTING STANDARD FOUNDATION
(ROUND)

31

HERITAGE 1
RADIANT™ LED POST TOPS

Model	Height	Beam Spread	Light Output (lm)
HT1-10	10	30°	10,000
HT1-15	15	30°	15,000
HT1-20	20	30°	20,000

POST TOP LIGHT

32

Cavalier 6
BOLLARD LIGHTING

Model	Height	Beam Spread	Light Output (lm)
CB6-10	10	30°	10,000
CB6-15	15	30°	15,000
CB6-20	20	30°	20,000

BOLLARD WITH LIGHT

33

Crest 15
WALL PACK

Model	Height	Beam Spread	Light Output (lm)
CP15-10	10	30°	15,000
CP15-15	15	30°	22,500
CP15-20	20	30°	30,000

WALL MOUNTED LIGHT
(BUILDING)

34

ENTERPRISE 30GAR
Square Garage Lighting

Model	Height	Beam Spread	Light Output (lm)
EP30-10	10	30°	30,000
EP30-15	15	30°	45,000
EP30-20	20	30°	60,000

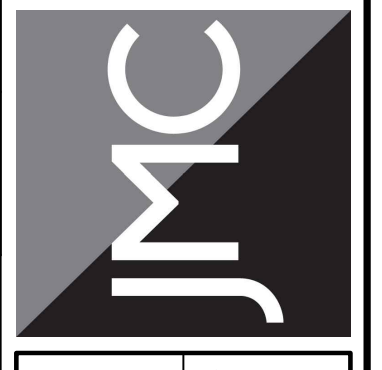
CANOPY LIGHT

35

Revision

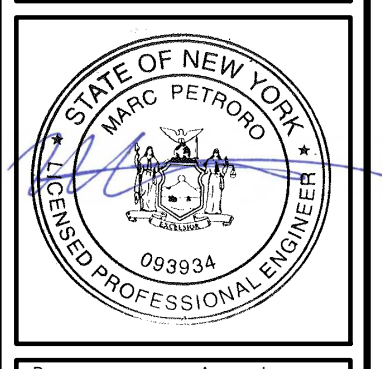
No.	REVISION	Date
1.	REVISED PER BOARD OF TRUSTEES COMMENTS	12/01/2023
2.	LIGHTING REVISIONS	12/13/2023
3.	REVISED PER BOARD OF TRUSTEES COMMENTS	01/31/2024
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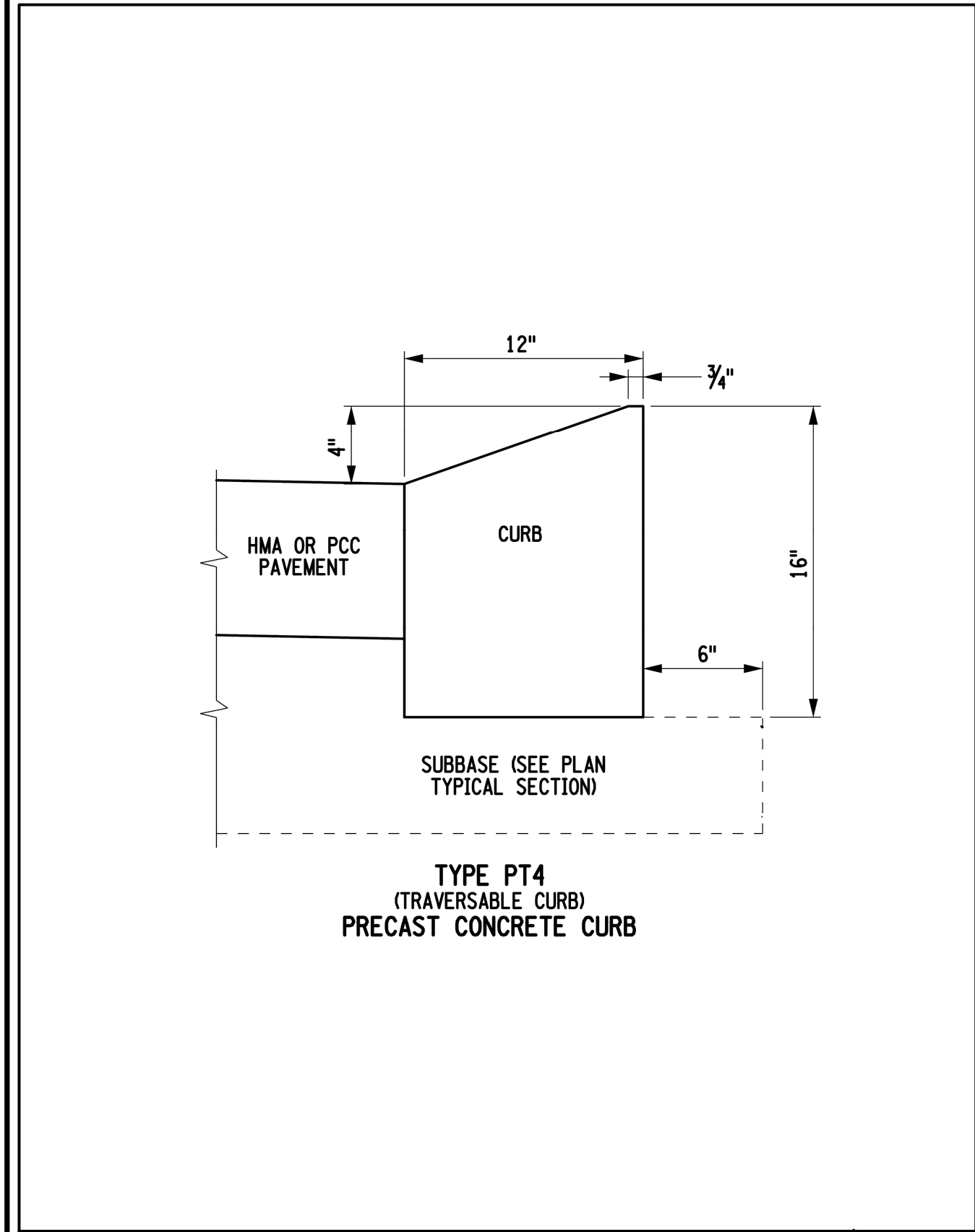


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Date: 05/26/2020
Project No: 18175
1815-DRAW C-904
Drawing No: C-904

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NYSDOT STANDARD T4 MOUNTABLE CURB 43

MINI-CRETA 3" ARCHITECTURAL
DESCRIPTION: Wall double-sided TEXTURE: Split face with straight edged corners

PALLET OVERVIEW

Specifications per pallet	Imperial	Metric
Cubing	24 ft ³	2.23 m ³
Approx. Weight	95.01 lin. ft	28.96 lin. m
Minimum radius	2.465 lbs	1.118 kg
Number of rows	7 ft	2.1 m
Coverage per row	8	
Linear coverage per row	3 ft ²	0.28 m ²
	11.58 lin. ft	3.62 lin. m

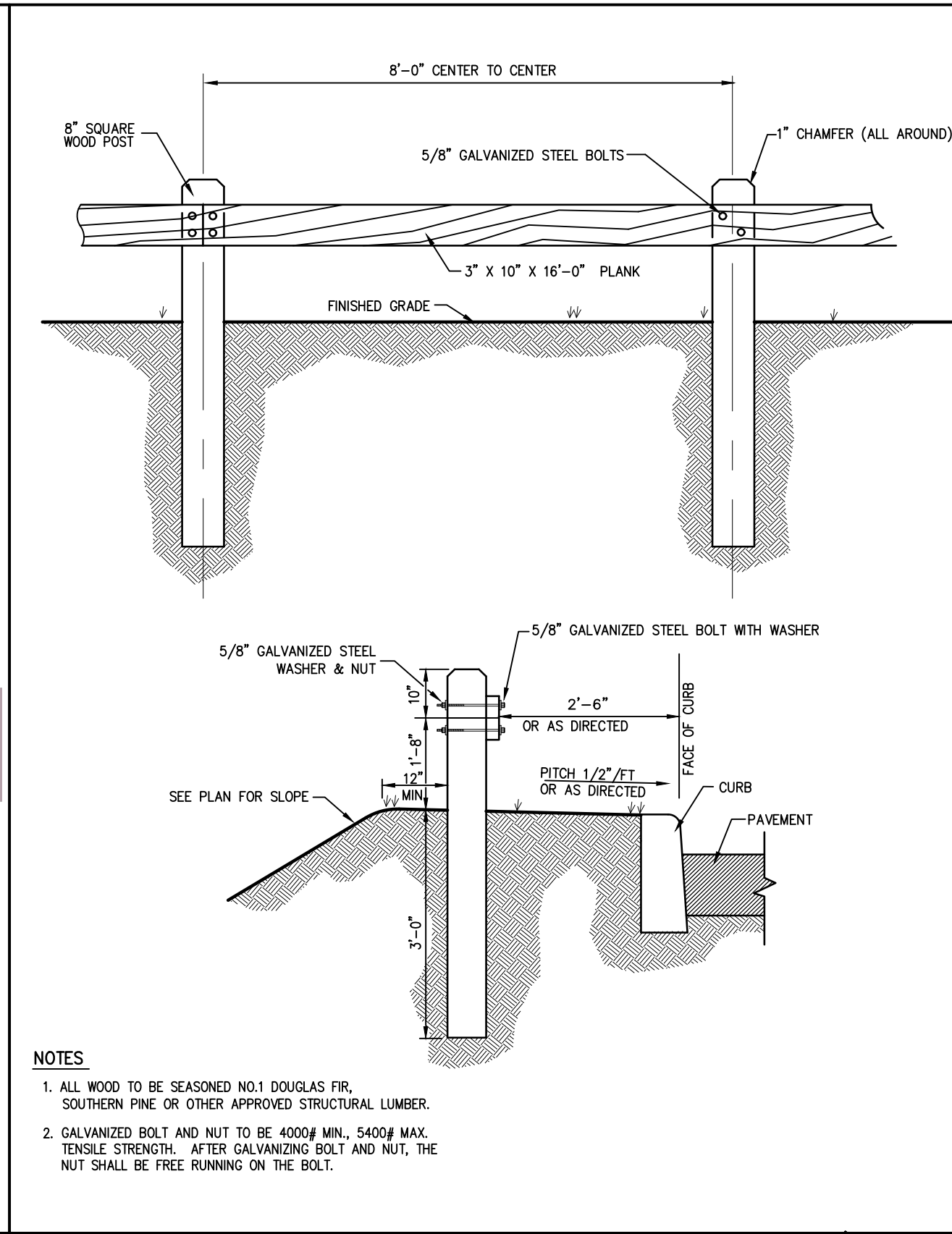
COMPATIBLE CAPS
See page 140 for product compatibility.

NOTES
When building a double-sided wall one pallet will cover an average of 31.76 ft².
Units can be used as a regular or vertical unit.
See page 135 to 156 for more technical information.

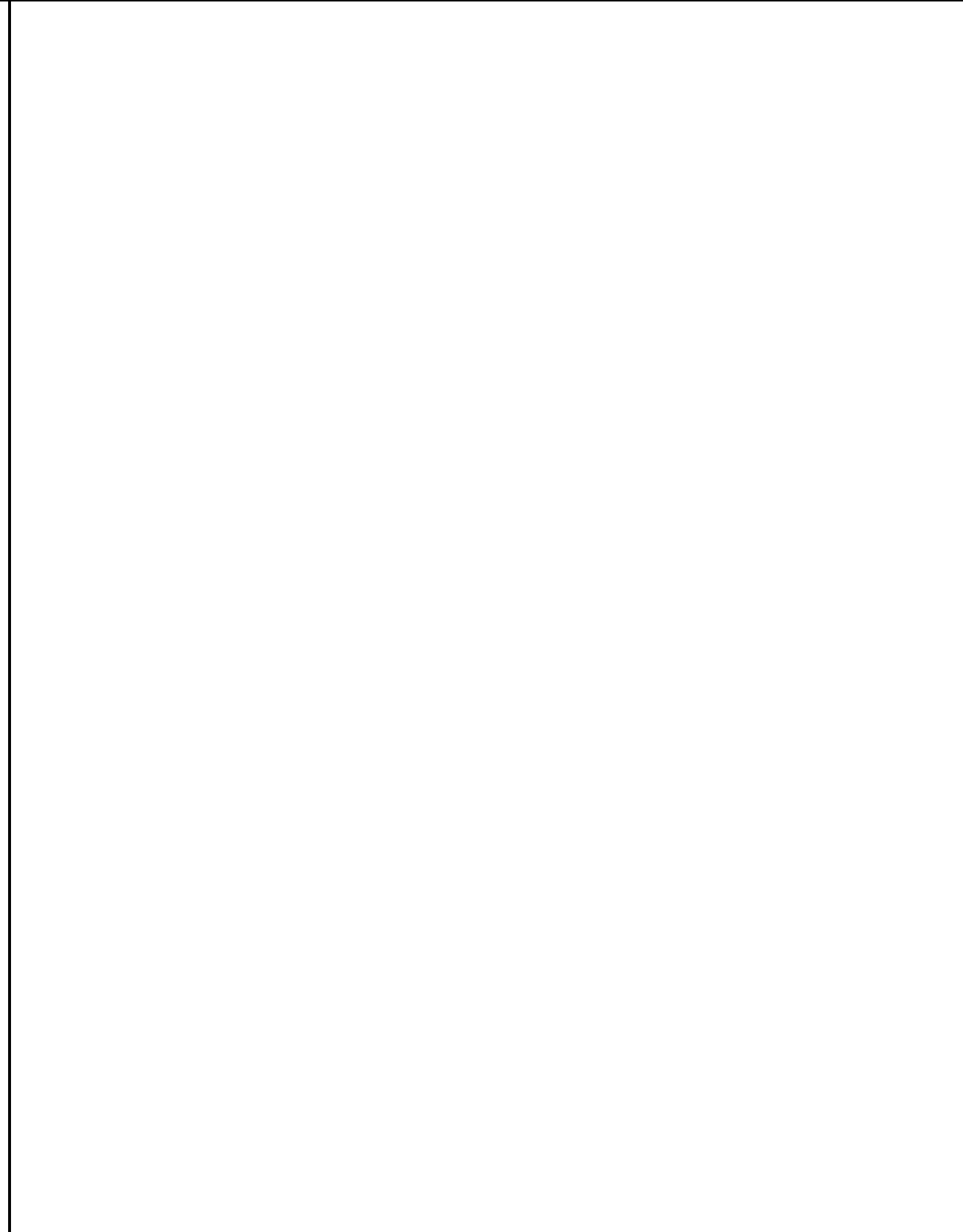
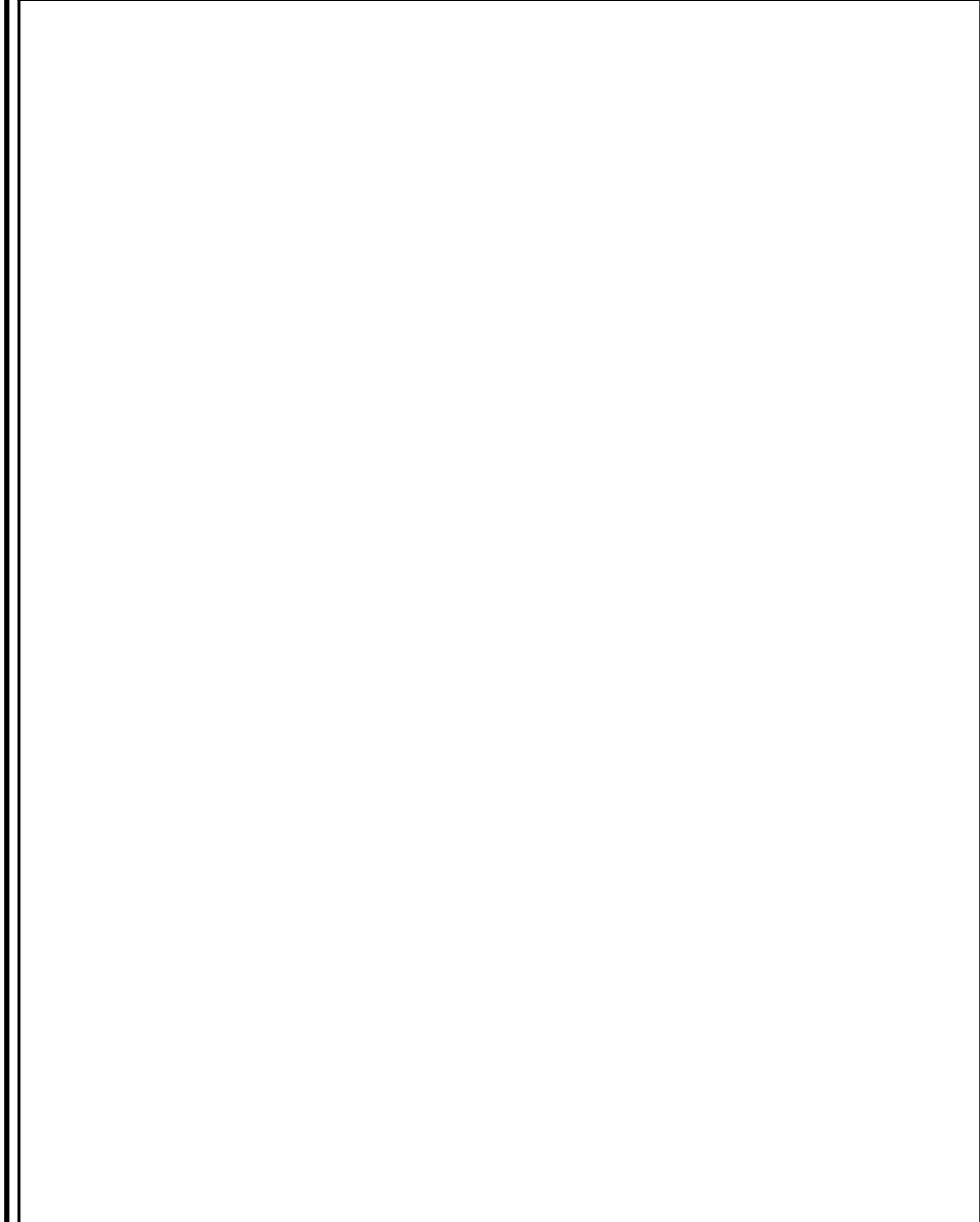
Unit dimensions	in	mm	Units/pallet
Height	2 1/4	75	32 units
Depth	9 1/4	250	
Length 1	9 1/4	250	
Length 2	7 1/4	180	
Height	2 1/4	75	24 units
Depth	9 1/4	250	
Length 1	11 1/4	300	
Length 2	9 1/4	250	
Height	2 1/4	75	8 units
Depth	9 1/4	250	
Length 1	11 1/4	300	
Length 2	11 1/4	300	
Height	2 1/4	75	16 units
Depth	9 1/4	250	
Length 1	14 1/2	375	
Length 2	12 1/4	325	
Height	2 1/4	75	16 units
Depth	9 1/4	250	
Length 1	14 1/2	375	8 right corners
Length 2	13 1/2	350	8 left corners

Color: Brown, Charcoal, Sandstone, Charcoal Grey, Dark Grey, Opa Blue

TECHO BLOC WALL 44



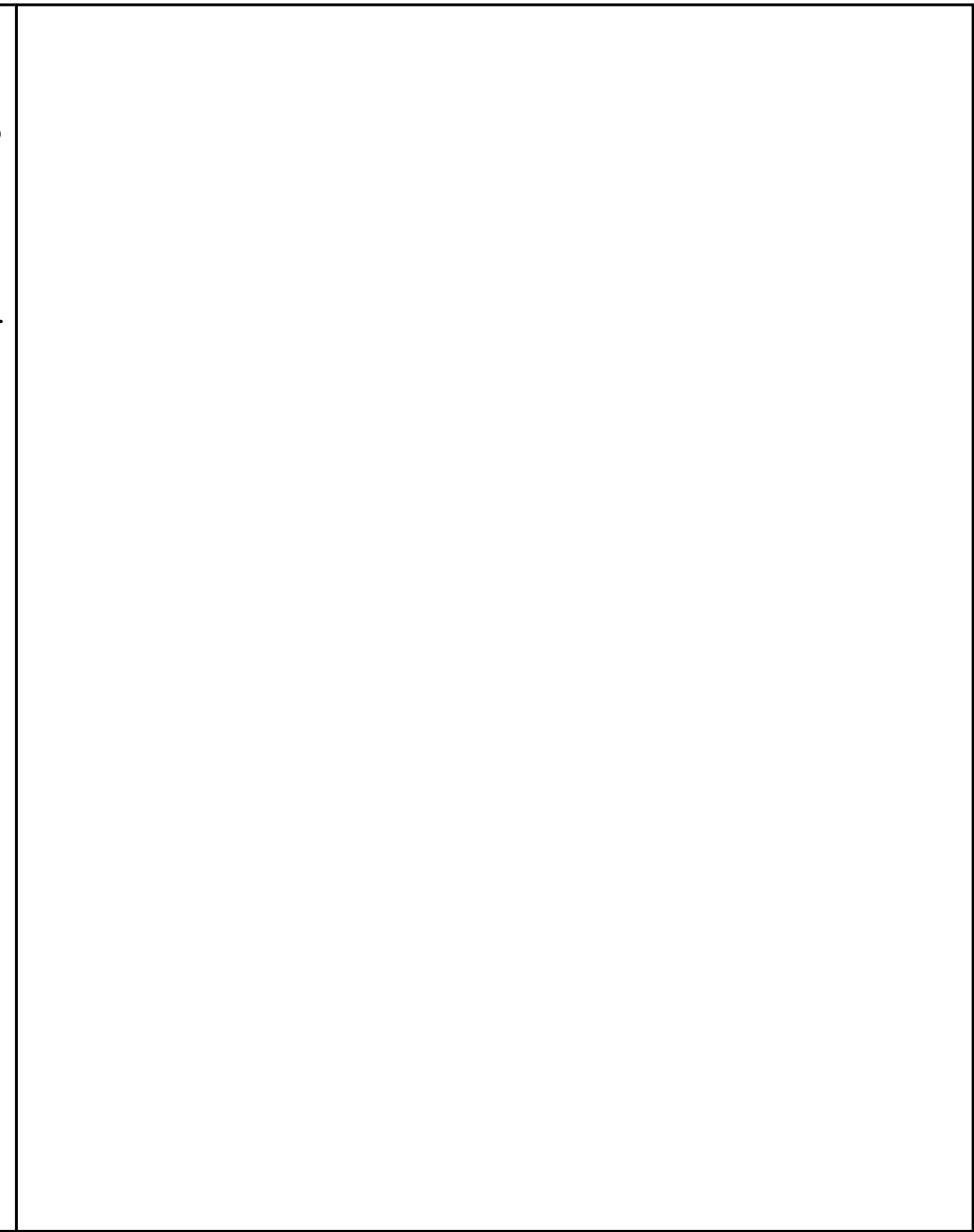
WOOD GUIDE RAIL 45



X

X

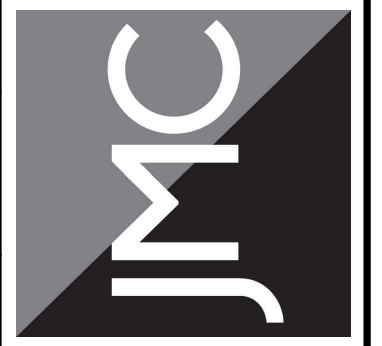
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DOT SITE DETAILS
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VILLAGE OF ARDSLEY, NEW YORK

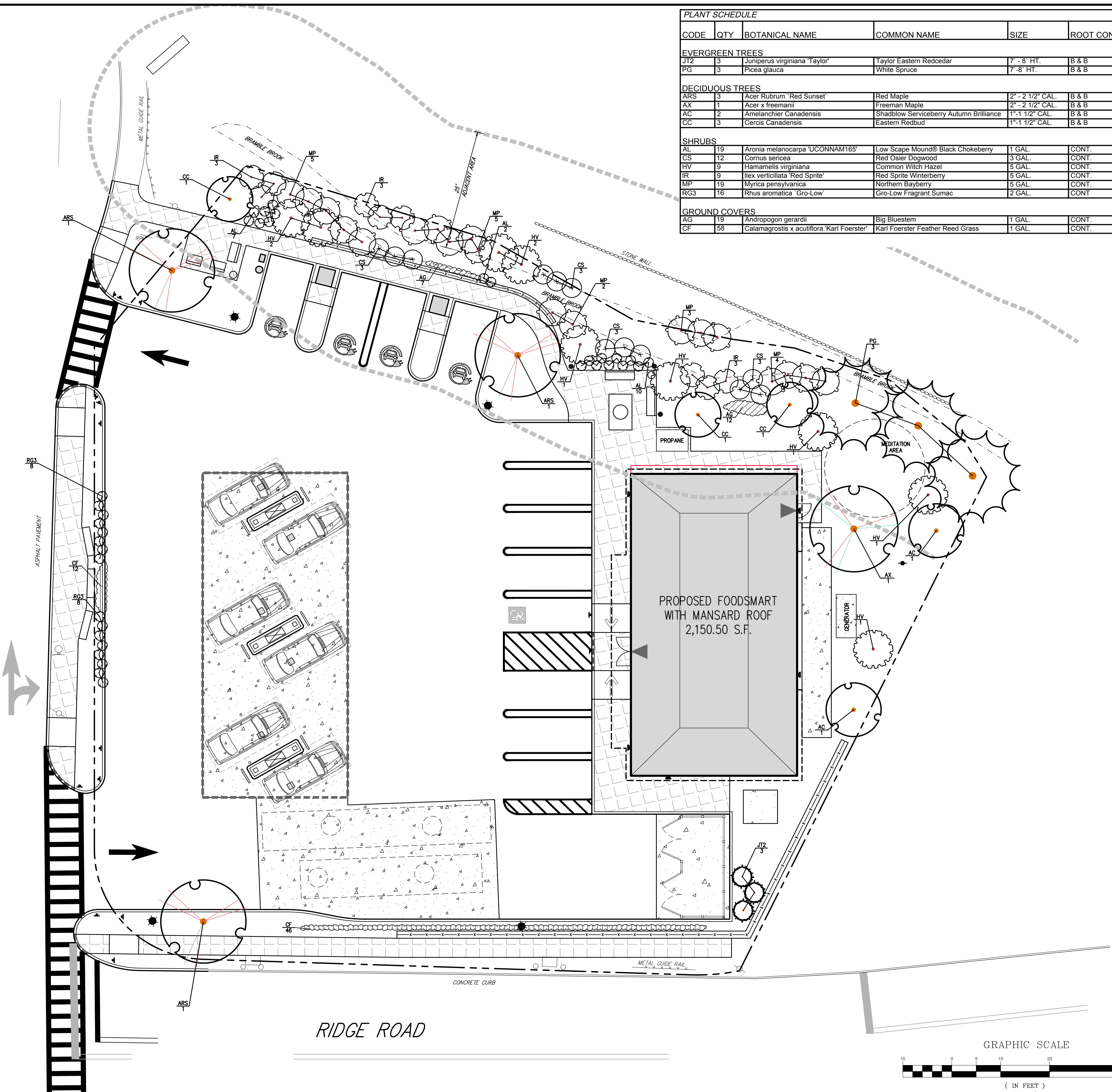
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18175-DETAILS C-906
Drawing No: C-906

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SAW MILL RIVER ROAD
(NY 9A)
ONLY

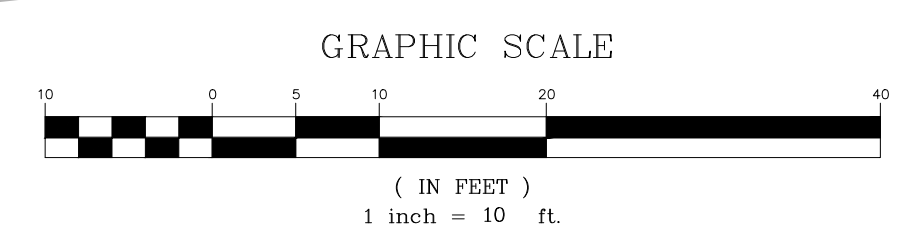


PLANT SCHEDULE						
CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT COND.	REMARKS
EVERGREEN TREES						
JT2	3	Juniperus virginiana 'Taylor'	Taylor Eastern Redcedar	7' - 8' HT.	B & B	
PG	3	Picea glauca	White Spruce	7' - 8' HT.	B & B	
DECIDUOUS TREES						
ARS	3	Acer Rubrum 'Red Sunset'	Red Maple	2" - 2 1/2" CAL.	B & B	
AX	1	Acer x freemanii	Freeman Maple	2" - 2 1/2" CAL.	B & B	
CC	2	Amelanchier Canadensis	Shadblow Serviceberry Autumn Brilliance	1" - 1 1/2" CAL.	B & B	
CC	3	Cercis Canadensis	Eastern Redbud	1" - 1 1/2" CAL.	B & B	
SHRUBS						
AL	19	Aronia melanocarpa 'UCONNAM185'	Low Scape Mound® Black Chokeberry	1 GAL.	CONT.	
CS	12	Cornus sericea	Red Osier Dogwood	3 GAL.	CONT.	
HV	9	Hamelis virginiana	Common Witch Hazel	5 GAL.	CONT.	
IR	9	Ilex verticillata 'Red Sprite'	Red Sprite Winterberry	5 GAL.	CONT.	
MP	19	Myrica pensylvanica	Northern Bayberry	5 GAL.	CONT.	
RG3	16	Rhus aromatica 'Gro-Low'	Gro-Low Fragrant Sumac	2 GAL.	CONT.	
GROUND COVERS						
AG	19	Andropogon gerardii	Big Bluestem	1 GAL.	CONT.	
CF	58	Calamagrostis x acutiflora 'Karl Foerster'	Karl Foerster Feather Reed Grass	1 GAL.	CONT.	

LEGEND	
	EXISTING PROPERTY LINE
	ADJACENT PROPERTY LINE
	EXISTING SETBACK LINE
	EXISTING BUILDING OVERHANG
	EXISTING BUILDING EDGE
	EXISTING PAVEMENT EDGE
	EXISTING CURB LINE
	EXISTING STONE WALL
	EXISTING RETAINING WALL
	EXISTING GUIDE RAIL
	EXISTING TREE AND DESIGNATION
	EXISTING DIRECTIONAL ARROWS
	EXISTING PAINT
	EXISTING UTILITY POLE
	EXISTING LIGHT POLE
	EXISTING SIGN
	PROPOSED BUILDING LINE
	PROPOSED CONCRETE CURB
	PROPOSED ACCESSIBLE PARKING SPACES
	PROPOSED PARKING SPACES
	PROPOSED HEAVY DUTY PAVEMENT
	PROPOSED PERVIOUS PAVEMENT
	PROPOSED CONCRETE APRON
	PROPOSED RETAINING WALL (DESIGN BY OTHERS)
	PROPOSED SHADE TREE
	PROPOSED FLOWERING TREE
	PROPOSED CONIFEROUS TREE
	PROPOSED SHRUBS
	PROPOSED SHRUB MASSING

- NOTES:**
1. ALL PLANT MATERIAL SHALL BE FIRST QUALITY STOCK, PLANTED MATERIAL AND METHODS OF INSTALLATION SHALL CONFORM TO THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION, AMERICAN STANDARD FOR NURSERY STOCK, LATEST EDITION.
 2. ALL AREAS OF THE SITE NOT OCCUPIED BY BUILDING OR PAVEMENT AND NOT SPECIFIED AS BEING PLANTED WITH TREES, SHRUBS OR GROUND COVER SHALL BE LAWN.
 3. ALL PLANTING BEDS SHALL BE MULCHED WITH 3" OF BROWN MULCH. MULCH SHALL BE CLEAN, NON-DYED, TOXIC FREE, SHREDDED HARDWOOD.
 4. PLANT MATERIALS AS SPECIFIED ON THE DRAWINGS AND DELIVERED TO THE SITE SHALL BE NURSERY GROWN AND CERTIFIED TRUE TO THEIR GENUS, SPECIES AND VARIETY. SUBSTITUTIONS ARE NOT PERMITTED WITHOUT THE PROJECT LANDSCAPE ARCHITECT'S WRITTEN APPROVAL.
 5. ALL LANDSCAPING SHALL CONTINUE TO BE MAINTAINED IN A HEALTHY GROWING CONDITION THROUGHOUT THE DURATION OF THE PROJECT. ANY PLANTING NOT SO MAINTAINED SHALL BE REPLACED WITH NEW PLANTS AT THE BEGINNING OF THE NEXT, IMMEDIATELY FOLLOWING, GROWING SEASON.
 6. ALL TREES AND SHRUBS SHALL BE PRUNED AND SHAPED AND BE SUBJECT TO THE APPROVAL OF THE PROJECT LANDSCAPE ARCHITECT AND GOVERNMENTAL AUTHORITIES HAVING JURISDICTION.
 7. PLANTING STOCK SHALL BE WELL-BRANCHED AND WELL-FORMED, SOUND, VIGOROUS, HEALTHY, FREE FROM DISEASE, SUN-SCALE, WINDBURN, ABRASION, AND HARMFUL INSECTS OR INSECT EGGS; AND SHALL HAVE HEALTHY, NORMAL UNBROKEN ROOT SYSTEMS. DECIDUOUS TREES AND SHRUBS SHALL BE SYMMETRICALLY DEVELOPED, OF UNIFORM HABIT OF GROWTH, WITH STRAIGHT TRUNKS OR STEMS, AND FREE FROM OBJECTIONABLE DISFIGUREMENTS. EVERGREEN TREES AND SHRUBS SHALL HAVE WELL-DEVELOPED SYMMETRICAL TOPS WITH TYPICAL SPREAD OF BRANCHES FOR EACH PARTICULAR SPECIES OR VARIETY. ONLY LINES AND GROUND COVER PLANTS WELL ESTABLISHED IN REMOVAL CONTAINERS, INTEGRAL CONTAINERS, OR FORMED HOMOGENEOUS SOIL SECTIONS SHALL BE USED. PLANTS SHALL BE GROWN UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT.
 8. ALL STOCK SHALL BE BALLED AND BURLAPPED OR CONTAINER GROWN STOCK, UNLESS OTHERWISE SPECIFIED. BAREROOT STOCK OF ANY KIND IS UNACCEPTABLE UNLESS SPECIFIED.
 9. ALL PLANTING BEDS, LAWNS AND LANDSCAPED AREAS SHALL RECEIVE A MINIMUM 4" THICK LAYER OF TOPSOIL, UNLESS OTHERWISE SPECIFIED.

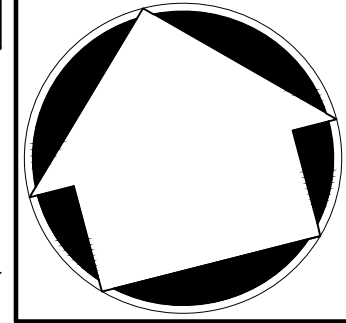
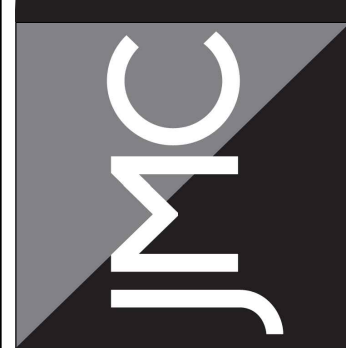
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1.	PLANNING BOARD & BAR SUBMISSION	03/30/2021	MTP
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5.	LIGHTING REVISIONS	12/13/2022	DK
6.	REVISED PER BOARD OF TRUSTEES COMMENTS	01/31/2024	RB
7.	REVISED PER BOARD OF TRUSTEES COMMENTS	03/22/2024	RB

APPLICANT/OWNER
THORNWOOD FOUR CORNERS LLC.
25 SAINT CHARLES STREET
THORNWOOD, NY 10594

JMC Planning, Engineering, Landscape Architecture & Land Surveying, PLLC
JMC Site Development Consultants, LLC
John Meyer Consulting, Inc.
120 BEDFORD ROAD • ARMONK, NY 10504
voice 914.273.5225 • fax 914.273.2102
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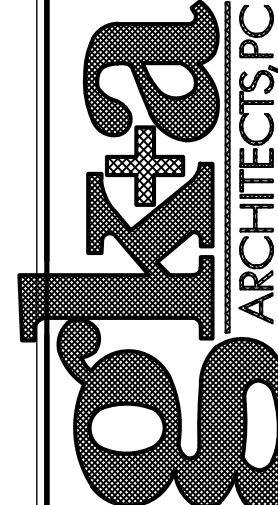
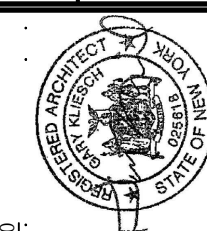
LANDSCAPING PLAN
GAS STATION / CONVENIENCE MARKET
657 SAW MILL RIVER ROAD
VILLAGE OF ARDSLEY, NEW YORK



Drawn: KRM Approved: RJP
Scale: 1" = 10'
Date: 06/26/2020
Project No: 18175
1875-LM L-100-LM0 LAY
Drawing No:
L-100
Previous Editions Obsolete



1 PROPOSED FRONT ELEVATION
NOT TO SCALE

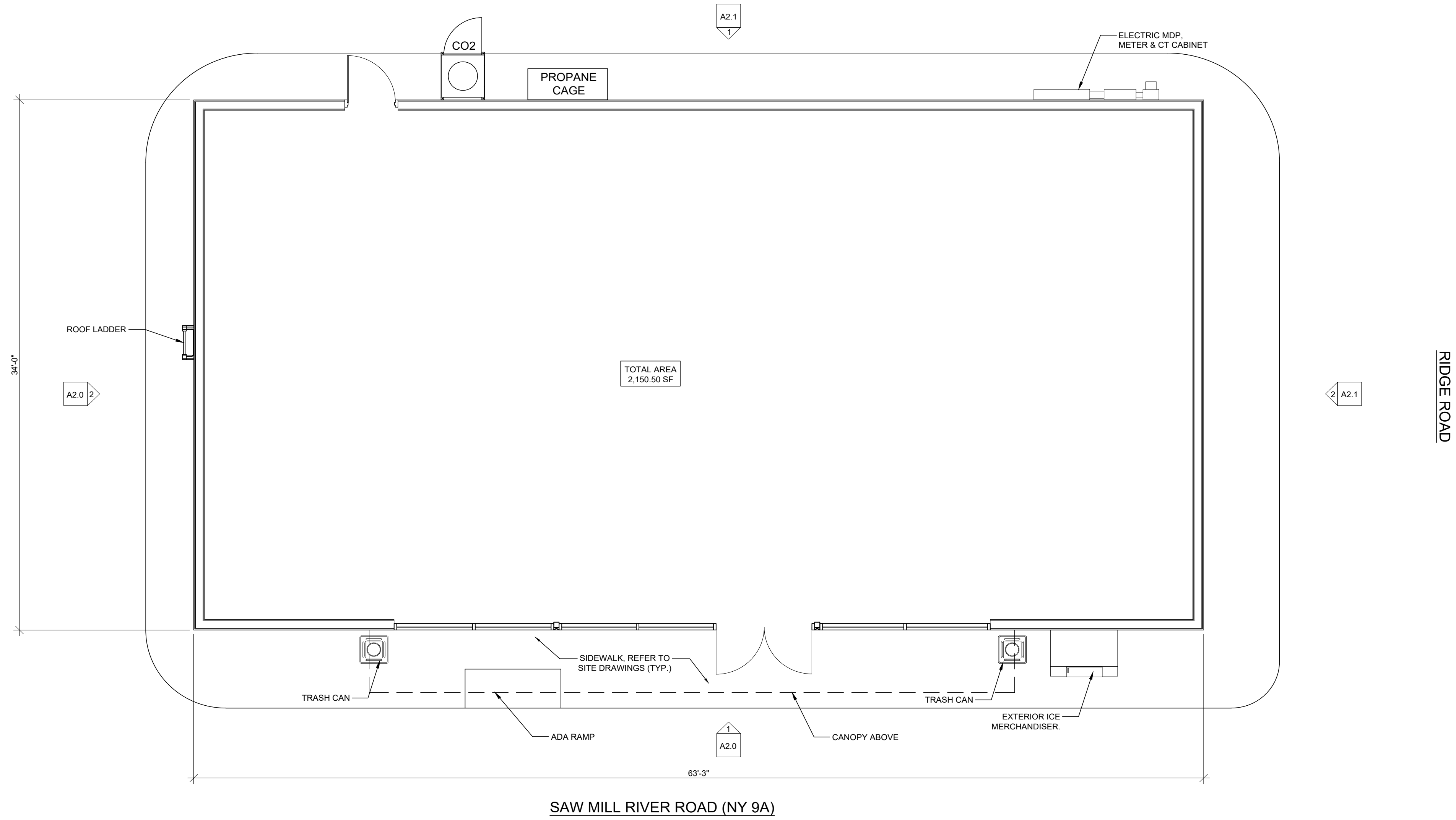
Rev. #	Date	Description
1	03/21/24	Revised Building Size & Elevations
Proto 2022-01		
36 Annex Avenue Rutherford, NJ 07070 Tel: 201.896.0333 Fax: 201.896.9469 E-Mail: EM@gkarch.com		
 Gary Kliesch and Associate Architects		
PROPOSED Fuelco.com 657 SAWMILL RIVER ROAD VILLAGE OF ARDSLEY, NY		
		
Job#:	22-028	Scale: AS NOTED
Date:	09/12/22	Drawn By: N.C.
Checked By:	A.M.	
Drawing Title: COLORED ELEVATION		
Sheet: R1.0		

NJ: A11332 MEID: 2100002500
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 OH: 111903 SD: 14129
 PA: 0000008 VA: 00000000
 GA: SA 013883 MI: 1301044135
 VA: 401016373 IL: 001023886
 NC: 11726 WV: 4560 NH: 44467 A.I.A. NUMBER 5012



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<p>36 Ames Avenue Rutherford, NJ 07070 Tel. 201.896.0333 Fax. 201.896.9469 E-Mail: EM@alkkanda.biz</p> <p>alkkanda ARCHITECTS PC Gary Kliesch and Associate Architects</p>		
<p>PROPOSED</p> <p>Fuelco.com 657 SAWMILL RIVER ROAD VILLAGE OF ARDSLEY, NY</p>		
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1 FLOOR PLAN
1/4" = 1'-0"

Rev. #	Date	Description
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Proto 2022-01

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Kiesch

ARCHITECTS P.C.

Gary Kliesch and Associate Architects

PROPOSED

Fuelco.com
657 SAWMILL RIVER ROAD
VILLAGE OF ARDSLEY, NY

Gary Kliesch
A.S. No. 111726
A.S. No. 111726

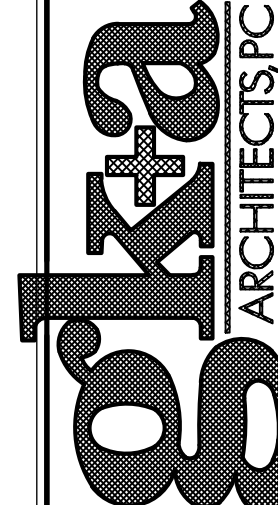
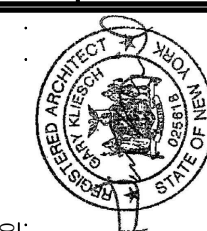
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FLOOR PLAN

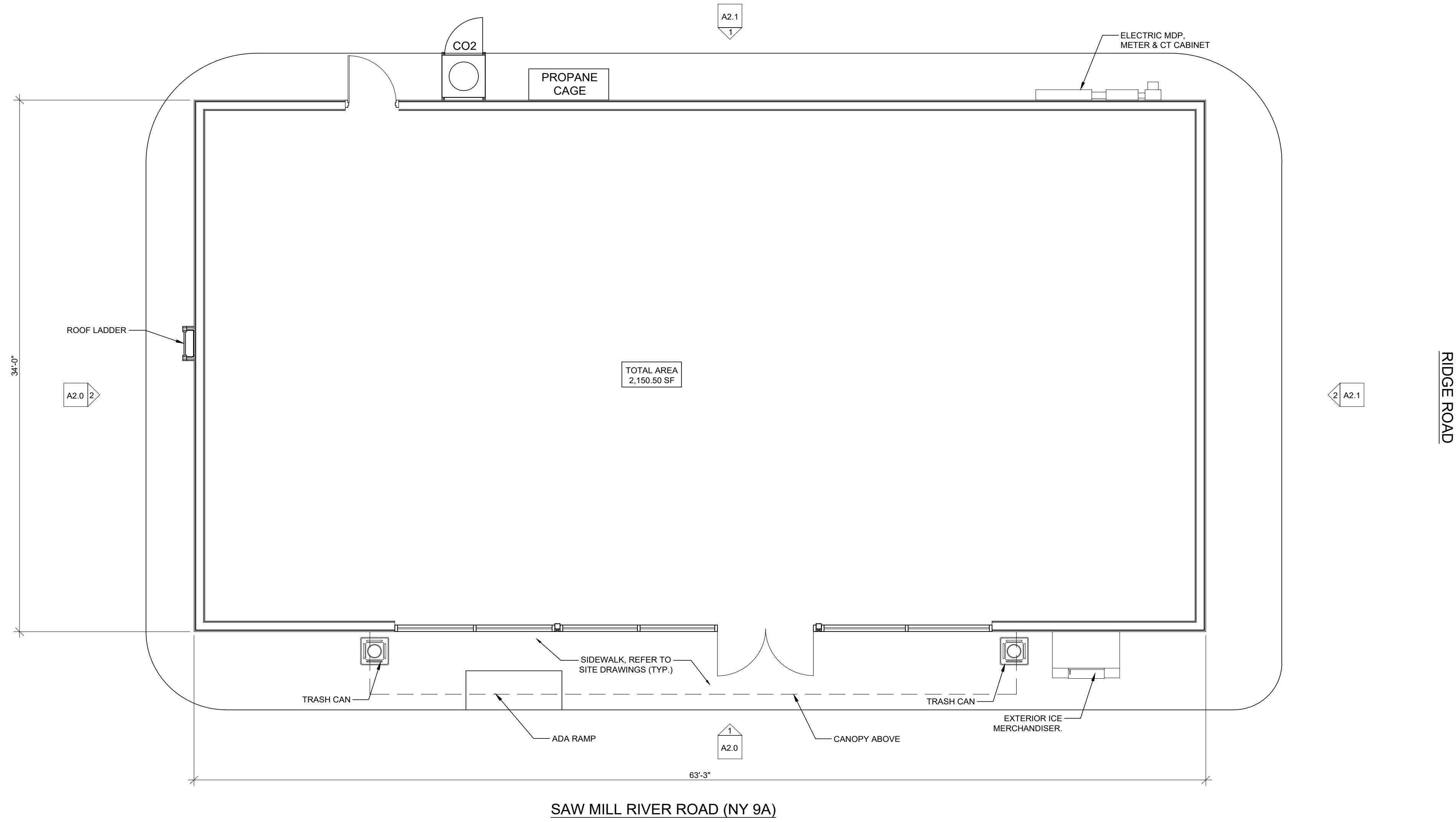
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Tel: 201.890.0339
Fax: 201.890.0339
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skanska

ARCHITECTS P.C.

Gary Kliesch and Associate Architects

PROPOSED

Fuelco.com
657 SAWMILL RIVER ROAD
VILLAGE OF ARDSLEY, NY

Gary Kliesch
A.I.A. No. 0488, N.E.C.D.

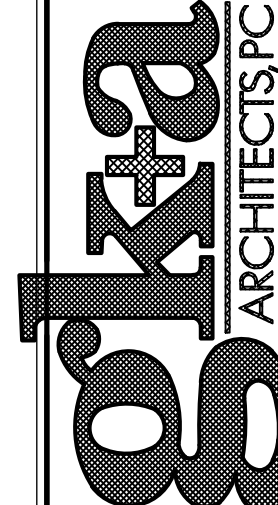
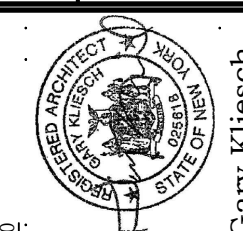
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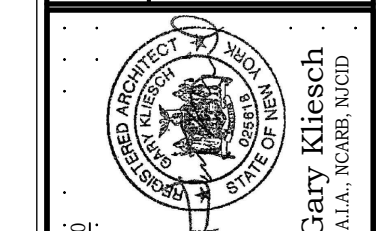
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FLOOR PLAN

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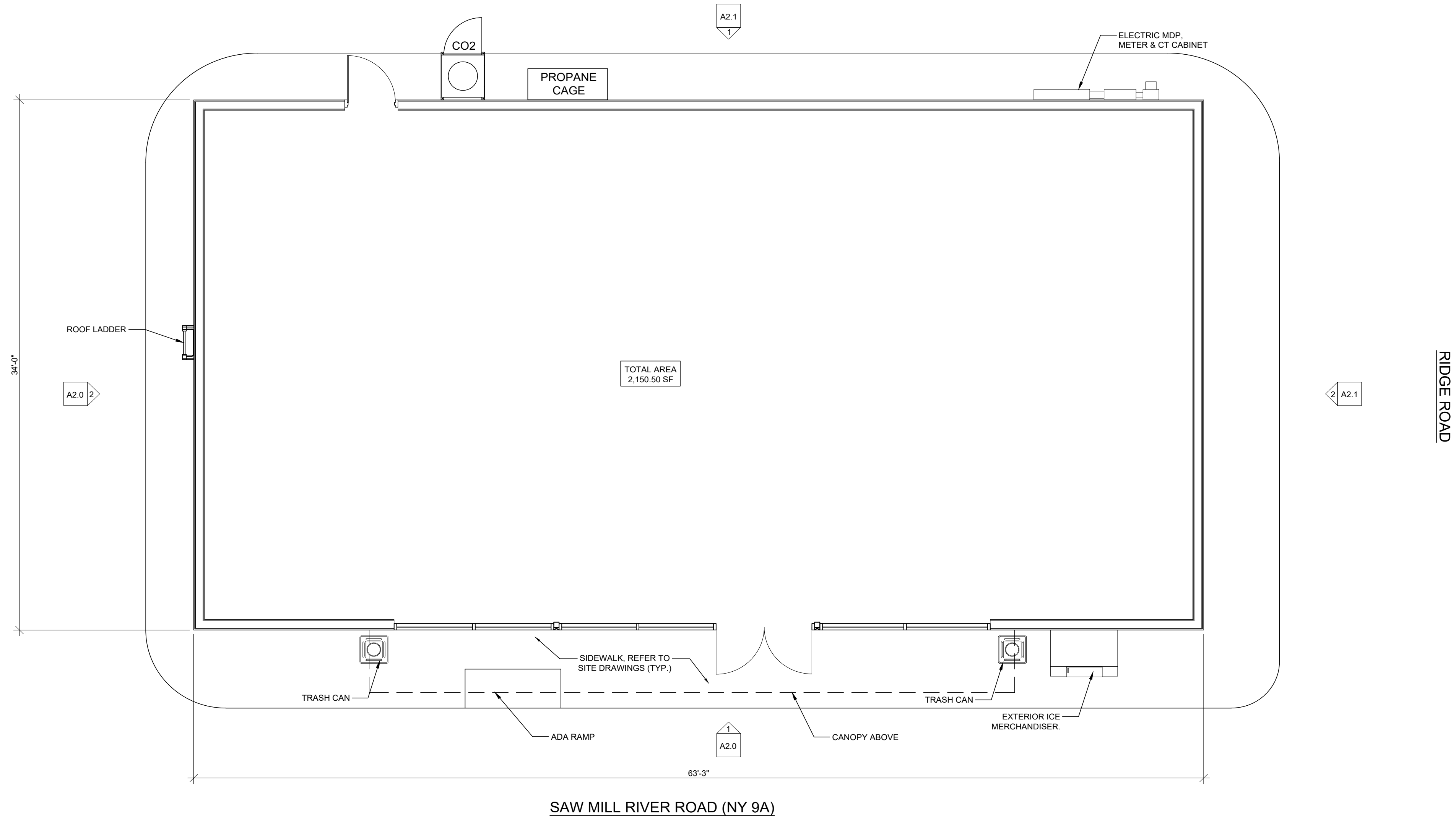


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 NY: 024519
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 DE: 000000
 MD: 000000
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gka		ARCHITECTS PC	
Gary Kliesch and Associate Architects			
PROPOSED		Fuelco.com 657 SAWMILL RIVER ROAD VILLAGE OF ARDSLEY, NY	
Job#:	22-028	Scale:	AS NOTED
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1/4" = 1'-0"

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Proto 2022-01

36 Ames Avenue
Rutherford, NJ 07070
Tel: 201.890.0339
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ARCHITECTS P.C.

Gary Kliesch and Associate Architects

PROPOSED

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657 SAWMILL RIVER ROAD
VILLAGE OF ARDSLEY, NY

Gary Kliesch
A.S. No. 11196-5
C.T. No. 0000000000
DE. No. 0000000000
IL. No. 0000000000
IN. No. 0000000000
IOWA. No. 0000000000
KS. No. 0000000000
KY. No. 0000000000
LA. No. 0000000000
MA. No. 0000000000
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ME. No. 0000000000
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NM. No. 0000000000
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OH. No. 0000000000
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OR. No. 0000000000
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Checked By:	A.M.

Drawing Title:
FLOOR PLAN

Sheet:
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SITE PLAN APPROVAL DRAWINGS

GAS STATION / CONVENIENCE MARKET

TAX MAP SECTION 650 | BLOCK 35 | LOT 10
WESTCHESTER COUNTY
657 SAW MILL RIVER ROAD
VILLAGE OF ARDSLEY, NEW YORK

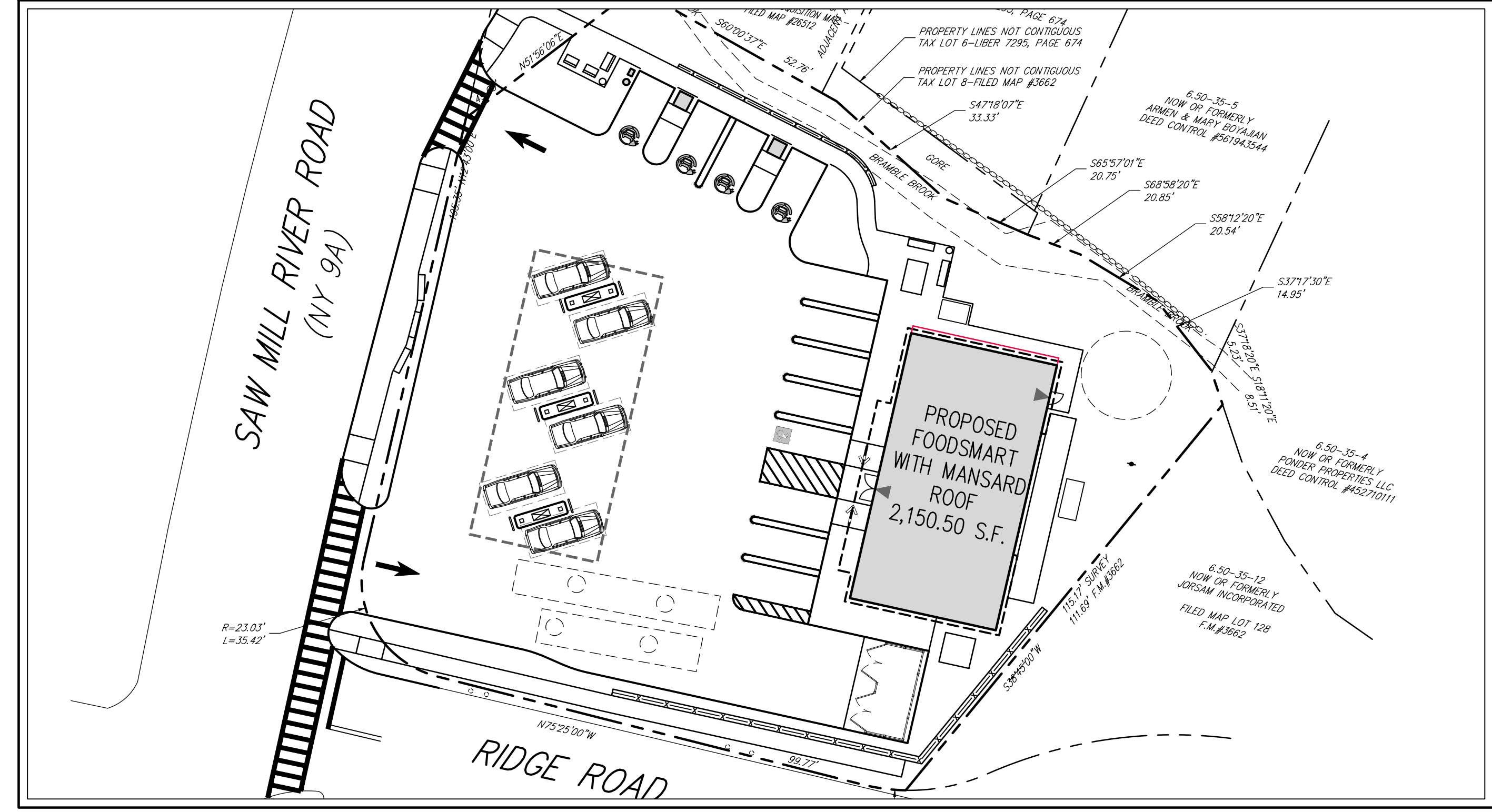
Applicant:
THORNWOOD FOUR CORNERS LLC.
 25 SAINT CHARLES STREET
 THORNWOOD, NY 10594

**Site Planner, Civil & Traffic Engineer
 and Landscape Architect:**
JMC
120 BEDFORD ROAD
ARMONK, NY 10504
(914) 273-5225

Attorney:
 DELBELLO DONNELLAN WEINGARTEN WISE & WIEDERKEHR, LLP
 1 NORTH LEXINGTON AVENUE
 WHITE PLAINS, NEW YORK, 10601
 (914) 681-0200

Surveyor:
THOMAS C. MERRITS LAND SURVEYORS, P.C.
 394 BEDFORD ROAD
 PLEASANTVILLE, NEW YORK, 10570
 (914) 769-8899

Architect:
gk+a Architects, P.C.
 36 AMES AVENUE,
 RUTHERFORD, NJ 07070
 (201) 896-9469

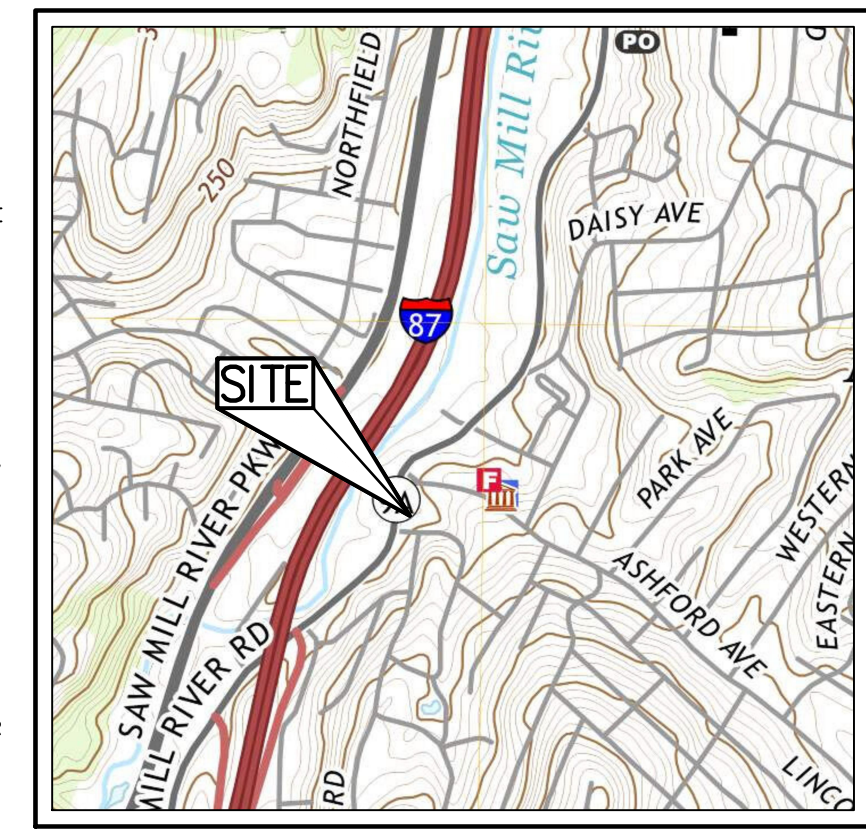


- JMC Drawing List:**
- C-000 COVER SHEET
 - C-010 EXISTING CONDITIONS MAP AND SITE REMOVALS PLAN
 - C-100 LAYOUT PLAN
 - C-110 TURNING ANALYSIS PLAN
 - C-120 TURNING ANALYSIS PLAN
 - C-200 GRADING PLAN
 - C-300 UTILITIES PLAN
 - C-400 EROSION AND SEDIMENT CONTROL PLAN
 - C-600 LIGHTING PLAN
 - C-700 IMPERVIOUS COVERAGE COMPARISON PLAN
 - C-900 SITE DETAILS
 - C-901 SITE DETAILS
 - C-902 SITE DETAILS
 - C-903 SITE DETAILS
 - C-904 SITE DETAILS
 - C-905 SITE DETAILS
 - C-906 SITE DETAILS
 - L-100 LANDSCAPING PLAN

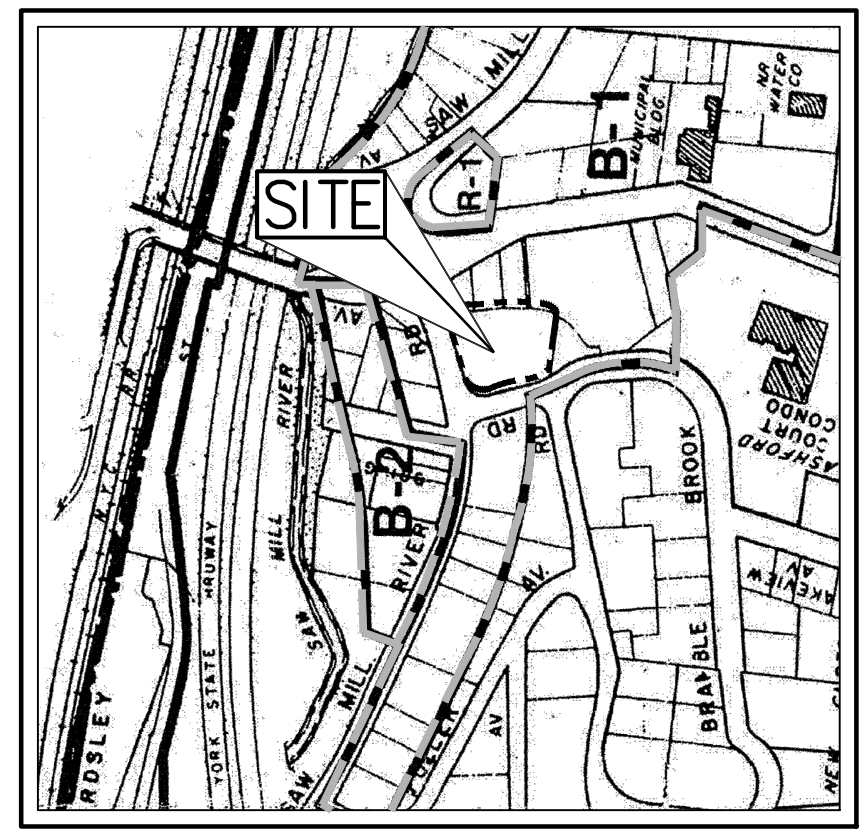
TABLE OF LAND USE			
SECTION 6.50, BLOCK 35, LOT 10 ZONE "B-1" - "GENERAL BUSINESS DISTRICT" PROPOSED USE: GAS STATION WITH CONVENIENCE MARKET FIRE DISTRICT: ARDSLEY FIRE DISTRICT SEWER DISTRICT: SAW MILL SEWER DISTRICT			
DESCRIPTION	REQUIRED	EXISTING	PROPOSED
LOT AREA (SQUARE FEET)	5,000 MIN.	22,732 ⁽⁵⁾	22,732 ⁽⁵⁾
LOT COVERAGE BY BUILDING (PERCENT)	65 MAX.	10.3	18.3
BUILDING HEIGHT (FEET / STORIES)	45/4 MAX.	-/-	21/1 ⁽⁴⁾
YARDS			
FRONT BUILDING SETBACK (FEET)	10 MIN.	±39.6	±22' ⁽⁷⁾
SIDE BUILDING SETBACK (FEET)	0 ⁽⁵⁾	±44.2	±25'
REAR BUILDING SETBACK (FEET)	0 ⁽⁵⁾	±30.7	±6'
PARKING			
TOTAL SPACES	12	-	12 ⁽²⁾⁽⁴⁾
STANDARD SPACES	11	-	11
ACCESSIBLE SPACES	1	-	1

- TABLE OF LAND USE NOTES:**
1. LOT COVERAGE AREA INCLUDES 2,150.50 S.F. PROPOSED CONVENIENCE STORE AND 2,018.50 S.F. PROPOSED GASOLINE PUMP CANOPY.
 2. THE 6 FUELING SPACES LOCATED UNDER THE PROPOSED CANOPY ARE NOT INCLUDED AS PART OF THE 12 SPACES REQUIRED/ PROVIDED.
 3. VILLAGE CODE SECTION 200-70 STATES THAT NO SIDE OR REAR YARD SHALL BE REQUIRED; HOWEVER, IF EITHER IS PROVIDED, ITS LEAST DIMENSION SHALL NOT BE LESS THAN SIX FEET.
 4. THE MAXIMUM ROOF HEIGHT WAS TAKEN FROM FINISHED SIDEWALK TO TOP OF MANSARD PARAPET.
 5. THE LOT AREA WAS CALCULATED BY THE SURVEYED LOT AREA OF 23,224 LESS 75% OF THE WATERCOURSE AREA, 656 S.F. = 22,732.
 6. THE BREAKDOWN OF REQUIRED/ PROVIDED SPACES IS: 1 ACCESSIBLE SPACE, 4 EV CHARGING SPACES & 7 STANDARD SPACES.
 7. MEASURED FROM RIDGE ROAD.

- GENERAL CONSTRUCTION NOTES APPLY TO ALL WORK HEREIN:**
1. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL CALL 811 "DIG SAFELY" (1-800-962-7962) TO HAVE UNDERGROUND UTILITIES LOCATED. EXPLORATORY EXCAVATIONS SHALL COMPLY WITH CODE 753 REQUIREMENTS. NO WORK SHALL COMMENCE UNTIL ALL THE OPERATORS HAVE NOTIFIED THE CONTRACTOR THAT THEIR UTILITIES HAVE BEEN LOCATED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PRESERVATION OF ALL PUBLIC AND PRIVATE UNDERGROUND AND SURFACE UTILITIES AND STRUCTURES AT OR ADJACENT TO THE SITE OF CONSTRUCTION, INsofar AS THEY MAY BE ENDANGERED BY THE CONTRACTOR'S OPERATIONS. THIS SHALL HOLD TRUE WHETHER OR NOT THEY ARE SHOWN ON THE CONTRACT DRAWINGS. IF THEY ARE SHOWN ON THE DRAWINGS, THEIR LOCATIONS ARE NOT GUARANTEED EVEN THOUGH THE INFORMATION WAS OBTAINED FROM THE BEST AVAILABLE SOURCES, AND IN ANY EVENT, OTHER UTILITIES ON THESE PLANS MAY BE ENCOUNTERED IN THE FIELD. THE CONTRACTOR SHALL, AT HIS OWN EXPENSE, IMMEDIATELY REPAIR OR REPLACE ANY STRUCTURES OR UTILITIES THAT HE DAMAGES, AND SHALL CONSTANTLY PROCEED WITH CAUTION TO PREVENT UNDESIRABLE INTERRUPTION OF UTILITY SERVICE.
 2. CONTRACTOR SHALL HAND DIG TEST PITS TO VERIFY THE LOCATION OF ALL EXISTING UNDERGROUND UTILITIES PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR SHALL VERIFY EXISTING UTILITIES DEPTHS AND ADVISE OF ANY CONFLICTS WITH PROPOSED UTILITIES. IF CONFLICTS ARE PRESENT, THE OWNER'S FIELD REPRESENTATIVE, JMC, PLLC AND THE APPLICABLE MUNICIPALITY OR AGENCY SHALL BE NOTIFIED IN WRITING. THE EXISTING/PROPOSED UTILITIES RELOCATION SHALL BE DESIGNED BY JMC, PLLC.
 3. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ANY AND ALL LOCAL PERMITS REQUIRED.
 4. ALL WORK SHALL BE DONE IN STRICT COMPLIANCE WITH ALL APPLICABLE NATIONAL, STATE, AND LOCAL CODES, STANDARDS, ORDINANCES, RULES, AND REGULATIONS. ALL CONSTRUCTION WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL SAFETY CODES. APPLICABLE SAFETY CODES MEAN THE LATEST EDITION INCLUDING ANY AND ALL AMENDMENTS, REVISIONS, AND ADDITIONS THERETO, TO THE FEDERAL DEPARTMENT OF LABOR, OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION'S OCCUPATIONAL SAFETY AND HEALTH STANDARDS (OSHA); AND APPLICABLE SAFETY, HEALTH REGULATIONS AND BUILDING CODES FOR CONSTRUCTION IN THE STATE OF NEW YORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR GUARDING AND PROTECTING ALL OPEN EXCAVATIONS IN ACCORDANCE WITH THE PROVISION OF SECTION 107-05 (SAFETY AND HEALTH REQUIREMENTS) OF THE NYS DOT STANDARD SPECIFICATIONS. IF THE CONTRACTOR PERFORMS ANY HAZARDOUS CONSTRUCTION PRACTICES, ALL OPERATIONS IN THE AFFECTED AREA SHALL BE DISCONTINUED AND IMMEDIATE ACTION SHALL BE TAKEN TO CORRECT THE SITUATION TO THE SATISFACTION OF THE APPROVAL AUTHORITY HAVING JURISDICTION.
 5. CONTRACTOR SHALL MAINTAIN ACCESS TO ALL PROPERTIES AFFECTED BY THE SCOPE OF WORK SHOWN HEREON AT ALL TIMES TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE. RAMPING CONSTRUCTION TO PROVIDE ACCESS MAY BE CONSTRUCTED WITH SUBBASE MATERIAL EXCEPT THAT TEMPORARY ASPHALT CONCRETE SHALL BE PLACED AS DIRECTED BY THE ENGINEER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING SAFE PEDESTRIAN ACCESS AT ALL TIMES.
 6. CONTRACTOR SHALL MAINTAIN THE INTEGRITY OF EXISTING PAVEMENT TO REMAIN.

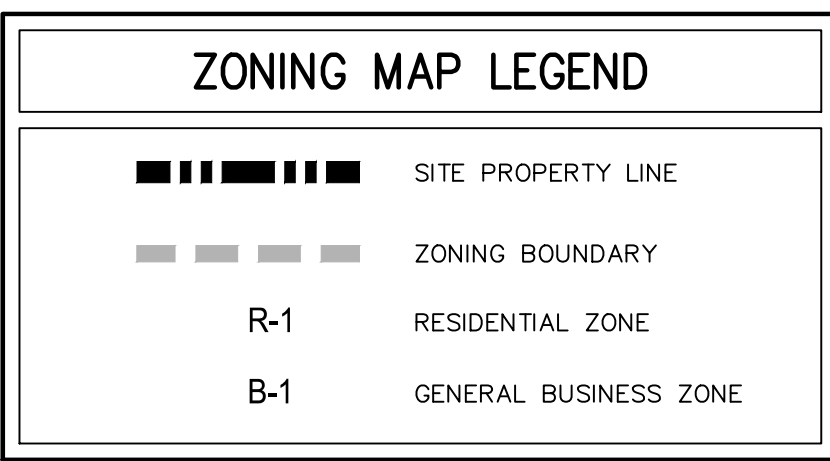


VICINITY MAP
 SCALE: 1" = 1,000'
 SOURCE: USGS / 2019



ZONING MAP
 SCALE: 1" = 1,000'
 SOURCE: VILLAGE OF ARDSLEY / 2013

AREA MAP
 SCALE: 1" = 20'



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5.	REVISED PER BOARD OF TRUSTEES COMMENTS	01/31/2024	RB
6.	REVISED PER BOARD OF TRUSTEES COMMENTS	03/22/2024	RB

Previous Editions Obsolete

SUBSURFACE UTILITY LOCATIONS ARE BASED ON A COMPILED LIST OF FIELD EVIDENCE, AVAILABLE RECORD PLANS AND/OR UTILITY MARK-OUTS. THE LOCATION OR COMPLETENESS OF UNDERGROUND INFORMATION CANNOT BE GUARANTEED. VERIFY THE ACTUAL LOCATION OF ALL UTILITIES PRIOR TO EXCAVATION OR CONSTRUCTION.



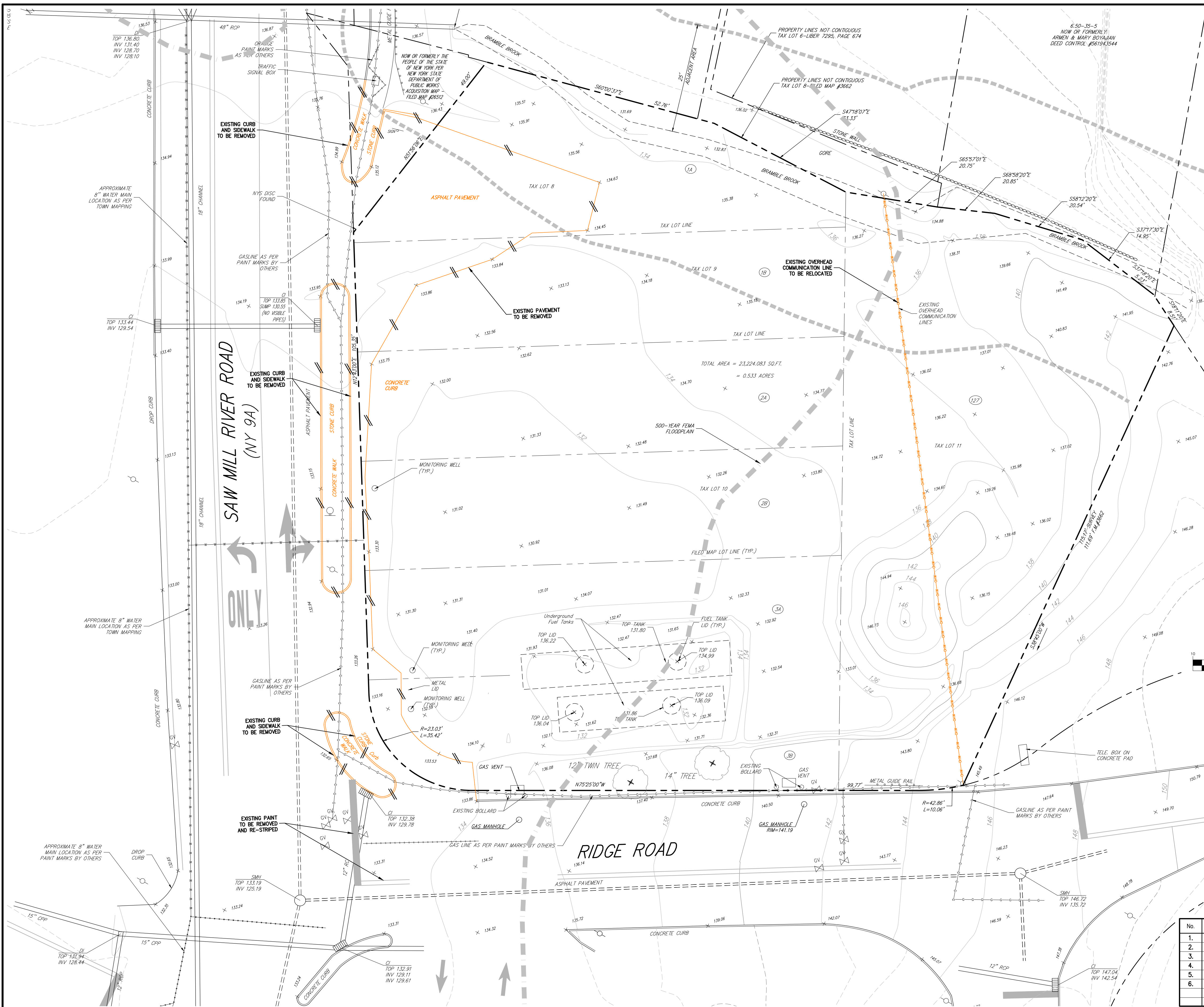
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 Architecture & Land Surveying, PLLC
 JMC Site Development Consultants, LLC
 John Meyer Consulting, Inc.
 120 BEDFORD ROAD • ARMONK, NY 10504
 voice 914.273.5225 • fax 914.273.2102
 www.jmcpllc.com

Drawn: **KRM** Approved: **RJP**
 Scale: **NOT TO SCALE**
 Date: **06/26/2020**
 Project No: **18175**
 18175-SE C-000-COVER COVER.ssr
 Drawing No: **C-000**

NOT FOR CONSTRUCTION

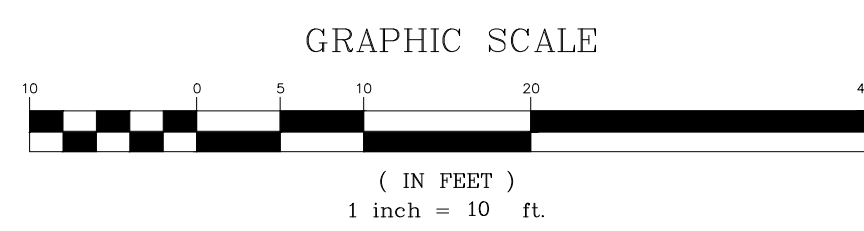
NOT FOR CONSTRUCTION



LEGEND

- EXISTING PROPERTY LINE
- - - ADJACENT PROPERTY LINE
- - - EXISTING EASEMENT LINE
- - - EXISTING WETLAND LINE
- - - EXISTING ADJACENT AREA
- EXISTING PAVEMENT EDGE
- EXISTING CURB LINE
- EXISTING CONTOUR
- EXISTING INDEX CONTOUR
- EXISTING STONE WALL
- EXISTING RETAINING WALL
- EXISTING GUIDE RAIL
- EXISTING FENCE
- EXISTING TREE AND DESIGNATION
- ↑↑↑ EXISTING DIRECTIONAL ARROWS
- EXISTING PAINT
- EXISTING PEDESTRIAN CROSSING
- EXISTING STORM DRAIN LINE AND SIZE
- EXISTING SANITARY LINE AND SIZE
- EXISTING WATER LINE
- EXISTING GAS LINE
- EXISTING OVERHEAD WIRES
- EXISTING DRAIN INLET
- EXISTING MANHOLE
- EXISTING BOLLARD
- EXISTING FIRE HYDRANT
- EXISTING GAS VALVE
- EXISTING WATER VALVE
- EXISTING UTILITY POLE
- EXISTING LIGHT POLE
- EXISTING SIGN
- EXISTING FEATURE TO BE REMOVED
- FEMA 500-YEAR FLOOD LINE

- NOTES**
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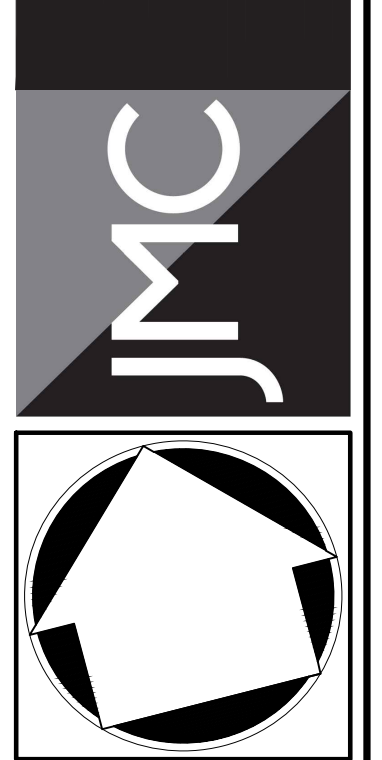


APPLICANT/OWNER:
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ARCHITECT:
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36 AMES AVENUE
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EXISTING CONDITIONS MAP AND SITE REMOVALS PLAN

GAS STATION / CONVENIENCE MARKET
657 SAW MILL RIVER ROAD
VILLAGE OF ARDSLEY, NEW YORK

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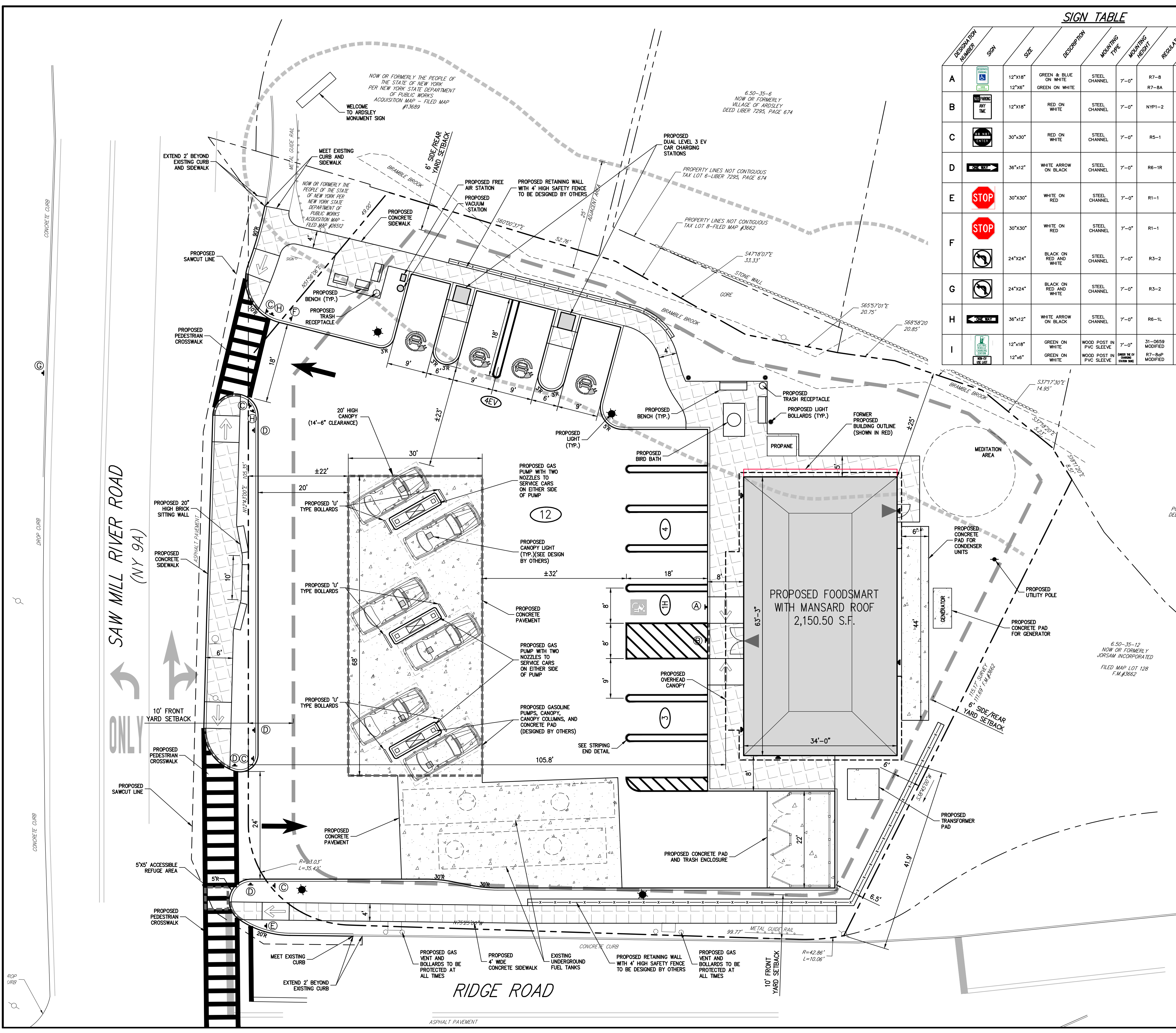
No.	Revision	Date	By
1.	PLANNING BOARD & BAR SUBMISSION	03/30/2021	MTP
2.	RESPOND TO VILLAGE COMMENTS	12/01/2021	SPG
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6.	REVISED PER BOARD OF TRUSTEES COMMENTS	03/22/2024	RB

Previous Editions Obsolete

Drawn: **KRM** Approved: **RJP**
Scale: **1" = 10'**
Date: **05/26/2020**
Project No: **18175**
18175-SE C-010-EXIST EXST.acx
Drawing No: **C-010**

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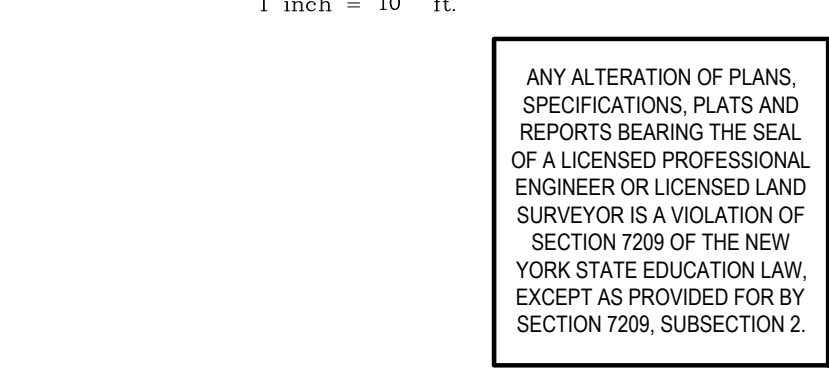


DESCRIPTION NUMBER	SYMBOL	SIZE	DESCRIPTION	MAINTENANCE TYPE	MAINTENANCE FREQUENCY	REGULATORY	REPLACEMENT
A	[Symbol]	12"x18"	GREEN & BLUE ON WHITE	STEEL CHANNEL	7'-0"	R7-B	X
B	[Symbol]	12"x18"	GREEN ON WHITE	STEEL CHANNEL	7'-0"	R7-BA	X
C	[Symbol]	30"x30"	RED ON WHITE	STEEL CHANNEL	7'-0"	RS-1	X
D	[Symbol]	36"x12"	WHITE ARROW ON BLACK	STEEL CHANNEL	7'-0"	R6-1R	X
E	[Symbol]	30"x30"	WHITE ON RED	STEEL CHANNEL	7'-0"	R1-1	X
F	[Symbol]	30"x30"	WHITE ON RED	STEEL CHANNEL	7'-0"	R1-1	X
G	[Symbol]	24"x24"	BLACK ON RED AND WHITE	STEEL CHANNEL	7'-0"	R3-2	X
H	[Symbol]	36"x12"	WHITE ARROW ON BLACK	STEEL CHANNEL	7'-0"	R6-1L	X
I	[Symbol]	12"x18"	GREEN ON WHITE	WOOD POST IN PVC SLEEVE	7'-0"	31-0559 MODIFIED	X
	[Symbol]	12"x6"	GREEN ON WHITE	WOOD POST IN PVC SLEEVE	7'-0"	R7-R&P MODIFIED	X

LEGEND	
[Symbol]	EXISTING PROPERTY LINE
[Symbol]	ADJACENT PROPERTY LINE
[Symbol]	FORMER TAX LOT LINE
[Symbol]	EXISTING SETBACK LINE
[Symbol]	EXISTING WATERCOURSE
[Symbol]	EXISTING WATERCOURSE BUFFER
[Symbol]	EXISTING PAVEMENT EDGE
[Symbol]	EXISTING CURB LINE
[Symbol]	EXISTING STONE WALL
[Symbol]	EXISTING RETAINING WALL
[Symbol]	EXISTING GUIDE RAIL
[Symbol]	EXISTING TREE AND DESIGNATION
[Symbol]	EXISTING DIRECTIONAL ARROWS
[Symbol]	EXISTING PAINT
[Symbol]	EXISTING UTILITY POLE
[Symbol]	EXISTING LIGHT POLE
[Symbol]	EXISTING SIGN
[Symbol]	EXISTING BOLLARD
[Symbol]	PROPOSED BUILDING LINE
[Symbol]	PROPOSED GAS PUMP CANOPY
[Symbol]	PROPOSED CONCRETE CURB
[Symbol]	PROPOSED FLUSH CONCRETE CURB
[Symbol]	PROPOSED T4 MOUNTABLE CURB
[Symbol]	PROPOSED DROP CURB & RAMP
[Symbol]	PROPOSED SAWCUT LINE
[Symbol]	PROPOSED ACCESSIBLE PARKING SPACES WITH NUMBER OF SPACES INDICATED (REFER TO STRIPING DETAILS)
[Symbol]	PROPOSED PARKING SPACES WITH NUMBER OF SPACES INDICATED (REFER TO STRIPING DETAILS)
[Symbol]	PROPOSED CONCRETE SIDEWALK
[Symbol]	PROPOSED MONOLITHIC CONCRETE SIDEWALK & CURB
[Symbol]	PROPOSED DROP CURB AND RAMP
[Symbol]	PROPOSED HEAVY DUTY PAVEMENT
[Symbol]	PROPOSED CONCRETE PAVEMENT/PAD
[Symbol]	PROPOSED RETAINING WALL (DESIGN BY OTHERS)
[Symbol]	PROPOSED GUIDE RAIL
[Symbol]	PROPOSED FENCE
[Symbol]	PROPOSED ARROW MARKING ON PAVEMENT
[Symbol]	PROPOSED TRAFFIC SIGN LOCATION & DESIGNATION
[Symbol]	PROPOSED POLE MOUNTED LIGHT
[Symbol]	PROPOSED BOLLARD LIGHT
[Symbol]	PROPOSED BUILDING LIGHT
[Symbol]	PROPOSED "U" TYPE BOLLARD

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No.	Revision	Date	By
1.	REVISED PER VILLAGE PLANNING BOARD COMMENTS	09/23/2022	EKG
2.	REV. TO ELIMINATE 3 PARKING SPACES PER PL. ED. COMMENTS	12/14/2022	DK
3.	REVISED PER PL. ED CHAIR COMMENTS	02/28/2023	APN
4.	REVISED PER BOARD OF TRUSTEES COMMENTS	12/01/2023	SMN
5.	LIGHTING REVISIONS	12/13/2023	DK
6.	REVISED PER BOARD OF TRUSTEES COMMENTS	01/31/2024	RB
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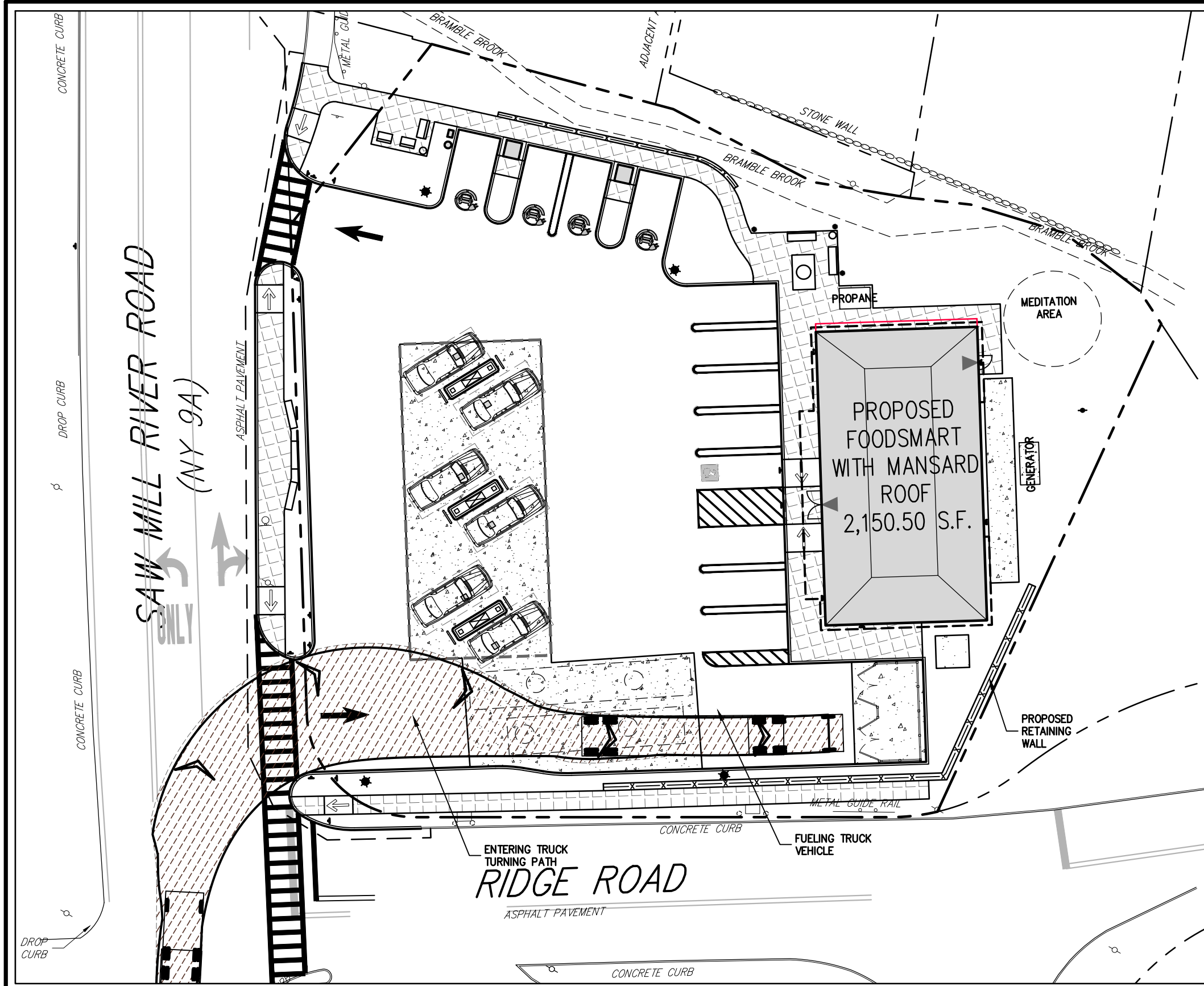


LAYOUT PLAN

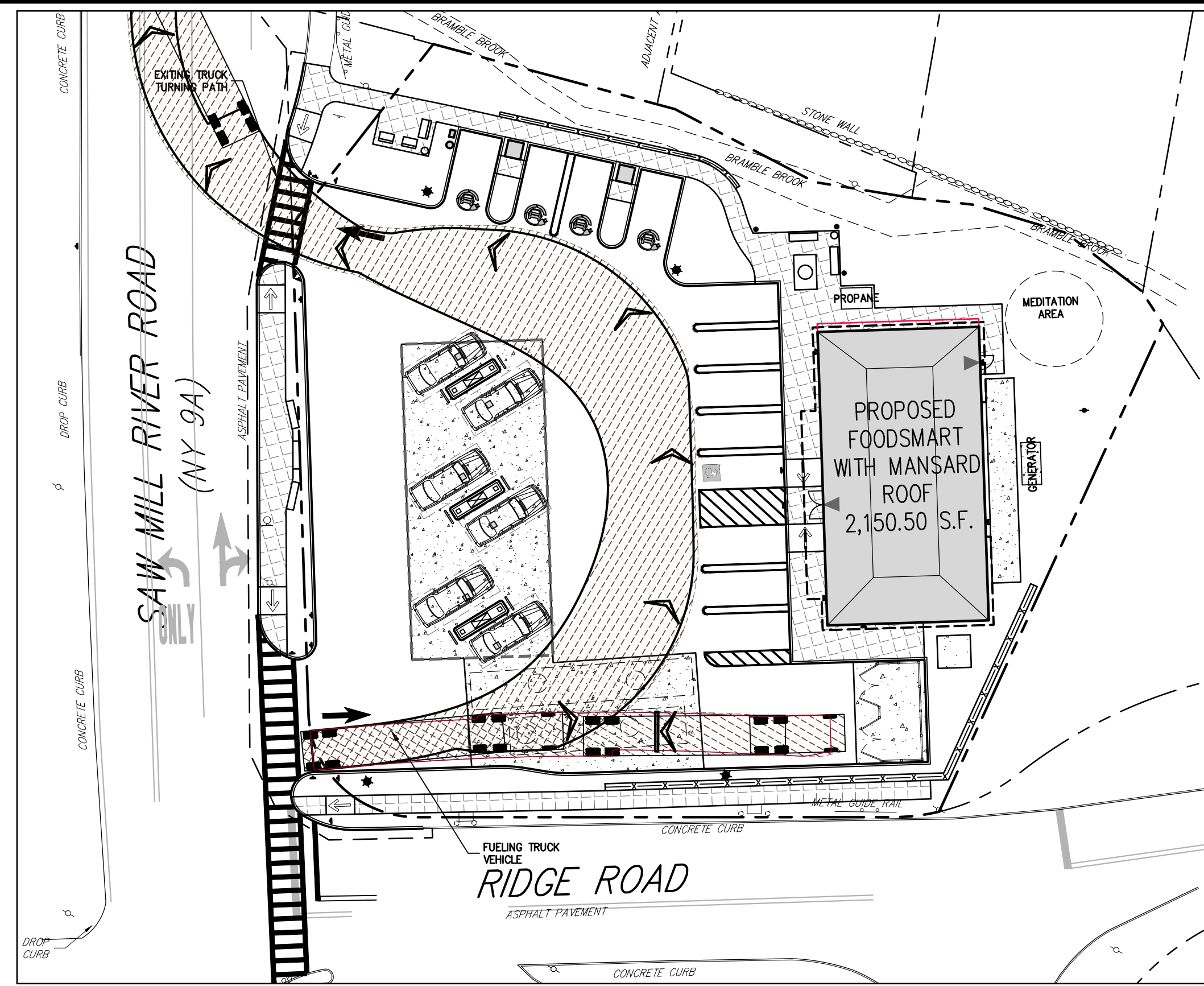
GAS STATION / CONVENIENCE MARKET
 657 SAW MILL RIVER ROAD
 VILLAGE OF ARDSLEY, NEW YORK

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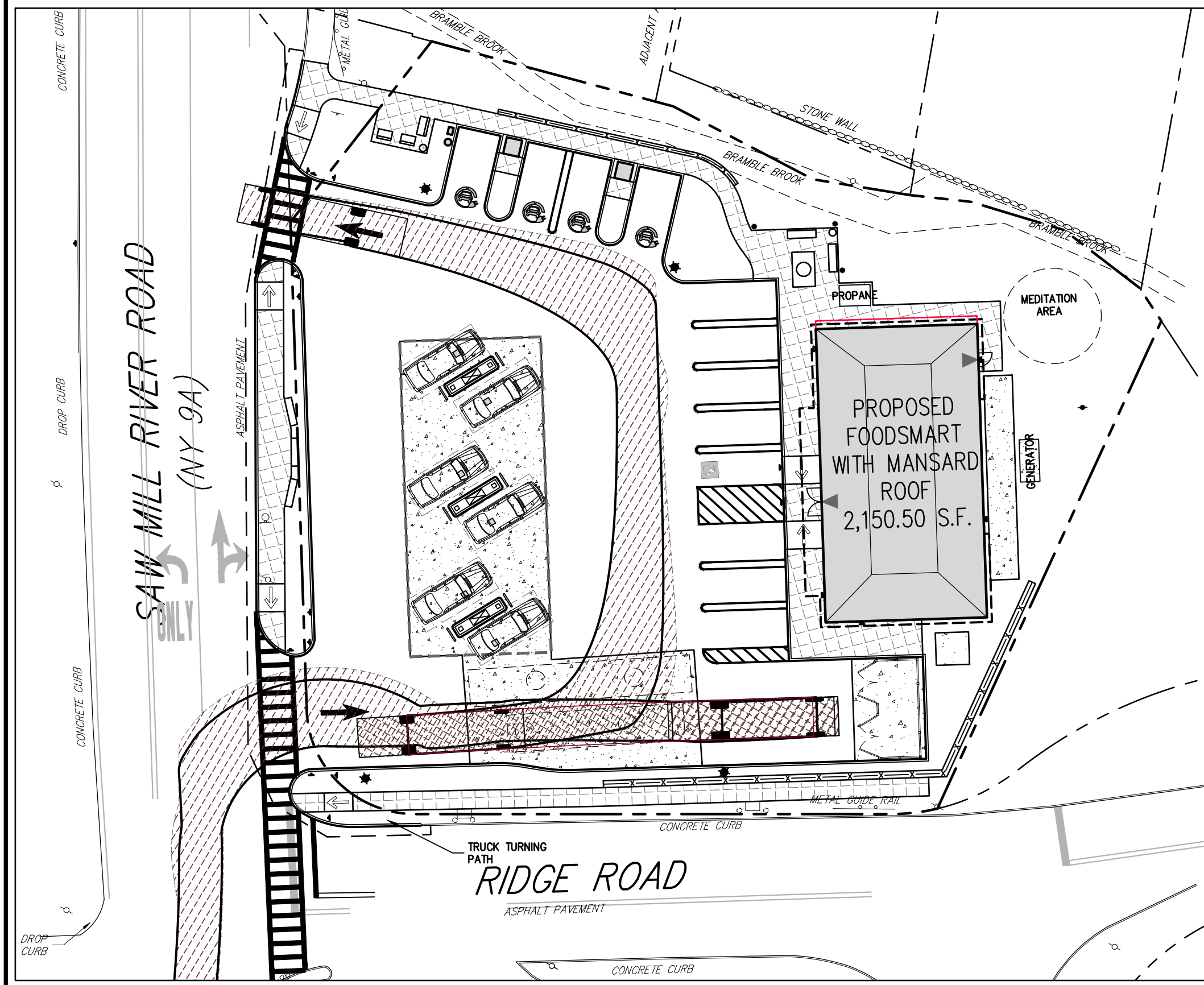
Drawn: **KRM** Approved: **RJP**
 Scale: **1" = 10'**
 Date: **05/26/2020**
 Project No: **18175**
 1815-SIE C-100-LAY 1_JAT.azw
 Drawing No:
C-100



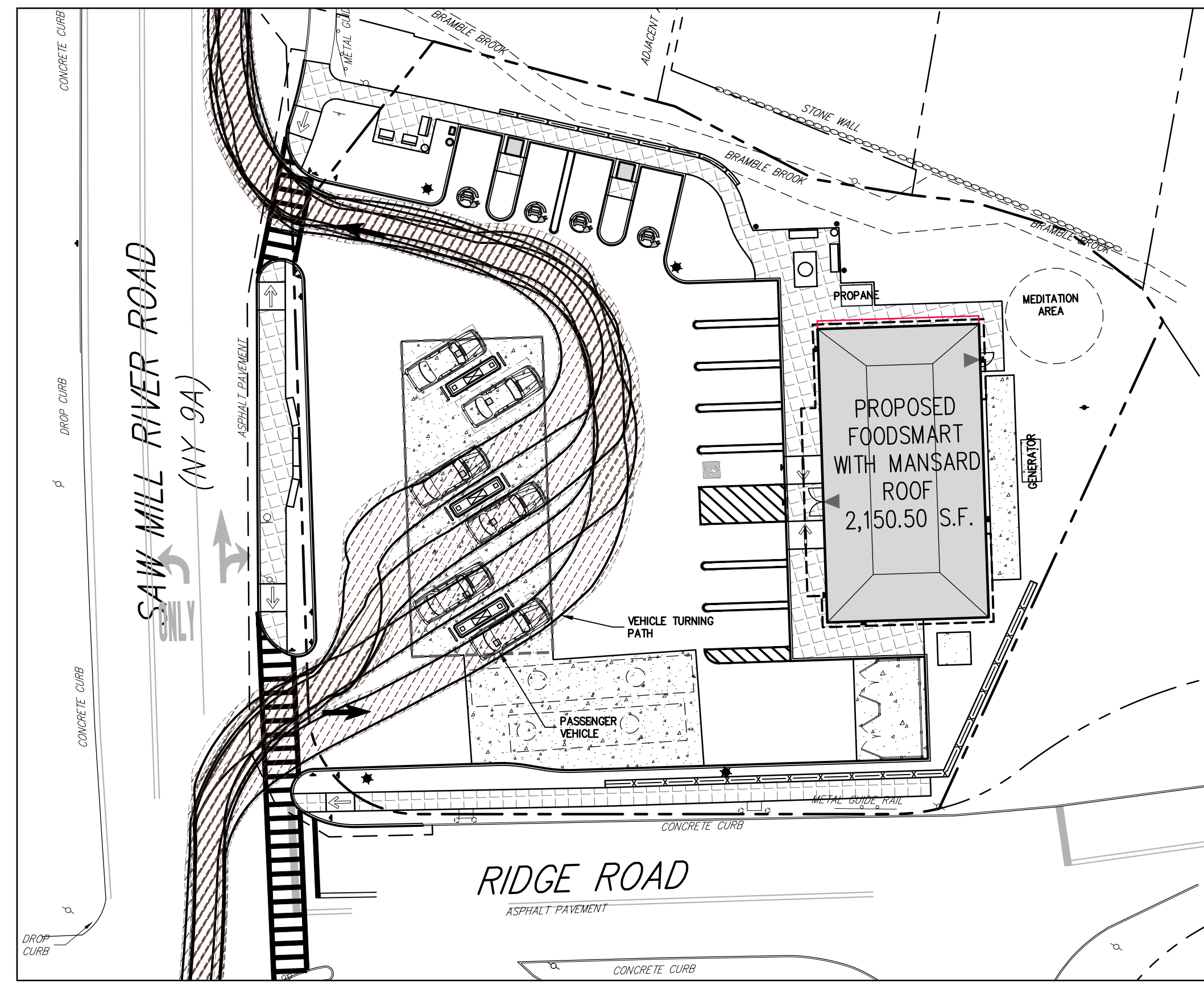
FUELING TRUCK ENTERING TURNING ANALYSIS



FUELING TRUCK EXITING TURNING ANALYSIS

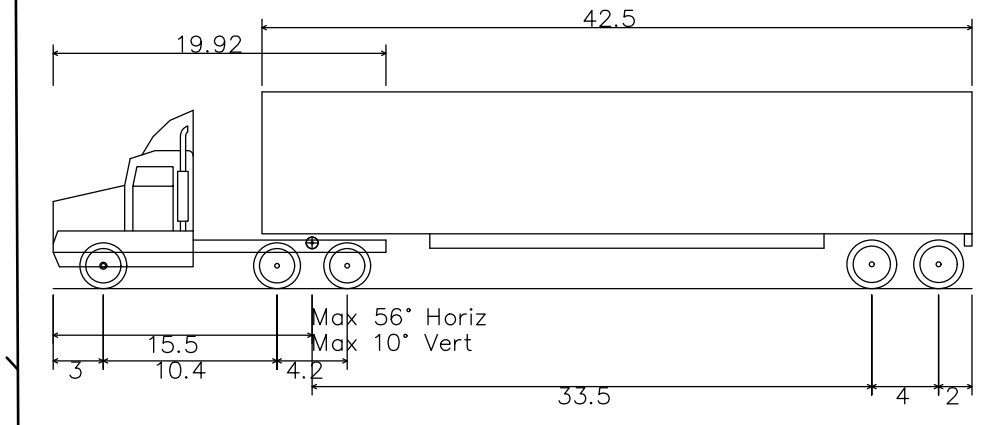


GARBAGE TRUCK TURNING ANALYSIS

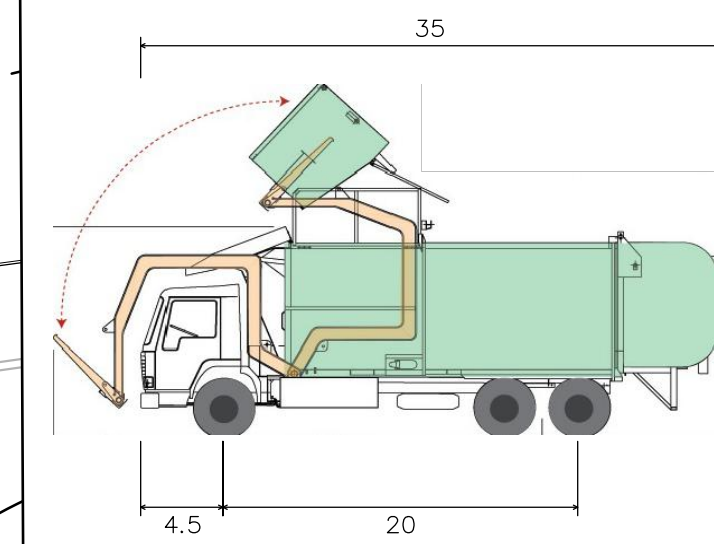


PASSENGER VEHICLE TURNING ANALYSIS

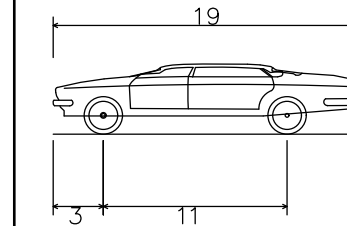
VEHICLE PROFILES



WB-50 - Intermediate Semi-Trailer
 Overall Length 55.00ft
 Overall Width 8.500ft
 Overall Body Height 12.052ft
 Min Body Ground Clearance 1.334ft
 Max Track Width 8.500ft
 Lock-to-lock time 6.00s
 Max Steering Angle (Virtual) 17.90°



Front-Load Garbage Truck
 Overall Length 35.00ft
 Overall Width 8.375ft
 Overall Body Height 10.546ft
 Min Body Ground Clearance 1.000ft
 Track Width 8.375ft
 Lock-to-lock time 6.00s
 Curb to Curb Turning Radius 29.300ft

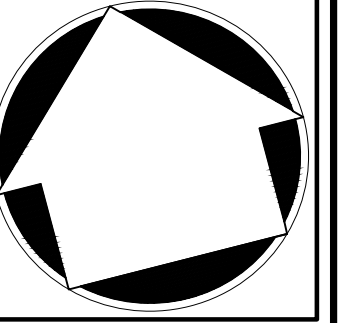
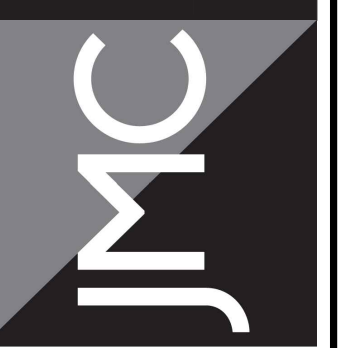


P - Passenger Car
 Overall Length 19.00ft
 Overall Width 7.00ft
 Overall Body Height 4.30ft
 Min Body Ground Clearance 1.115ft
 Track Width 5.00ft
 Lock-to-lock time 4.00s
 Max Steering Angle (Virtual) 51.60°

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TURNING ANALYSIS PLAN
 GAS STATION / CONVENIENCE MARKET
 657 SAW MILL RIVER ROAD
 VILLAGE OF ARDSLEY, NEW YORK

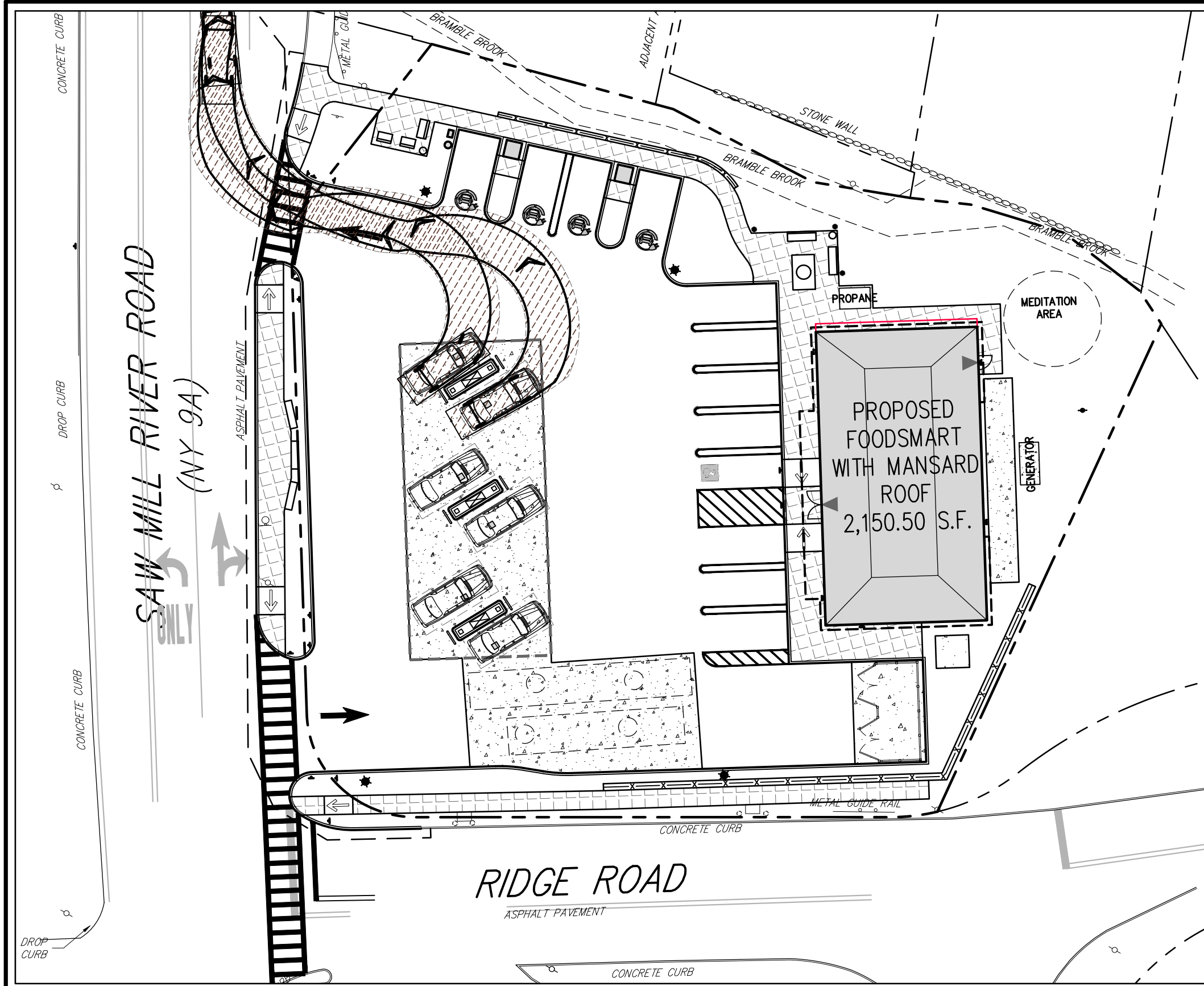
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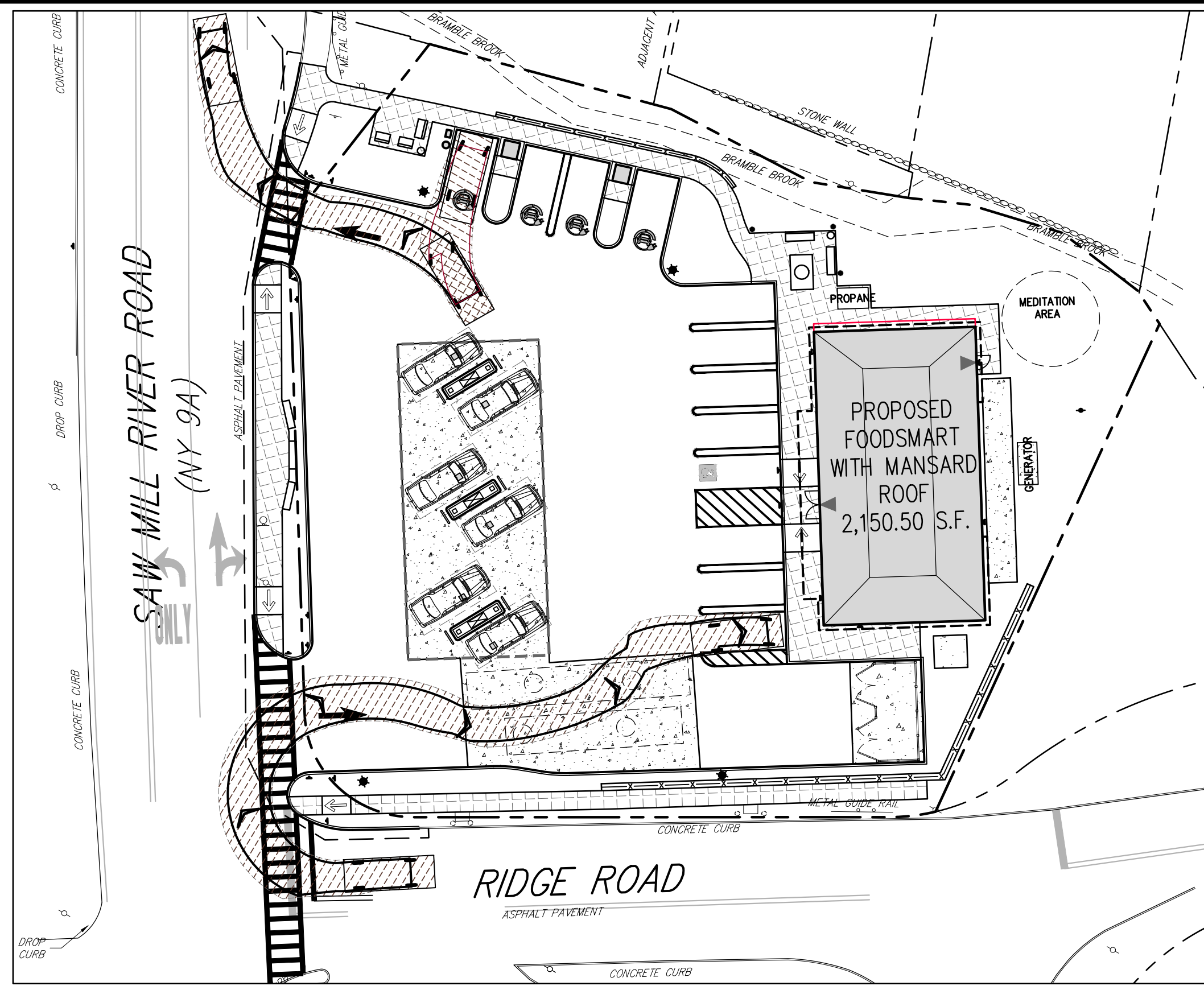
Previous Editions Obsolete

Drawn: **KRM** Approved: **RJP**
 Scale: 1" = 20'
 Date: 05/26/2020
 Project No: 18175
 1815-SE C-110-MOVE 1A-VH10r
 Drawing No: **C-110**

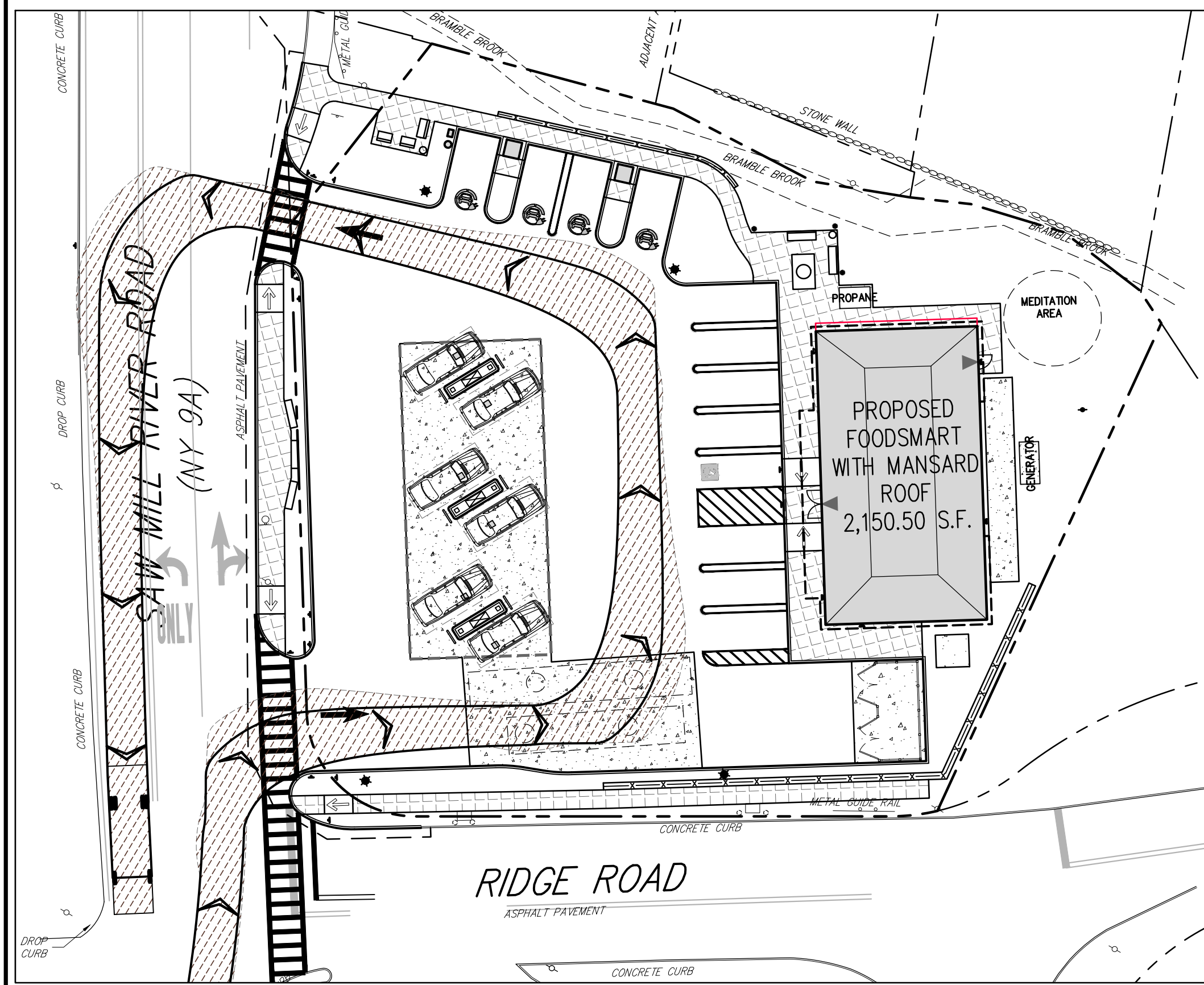
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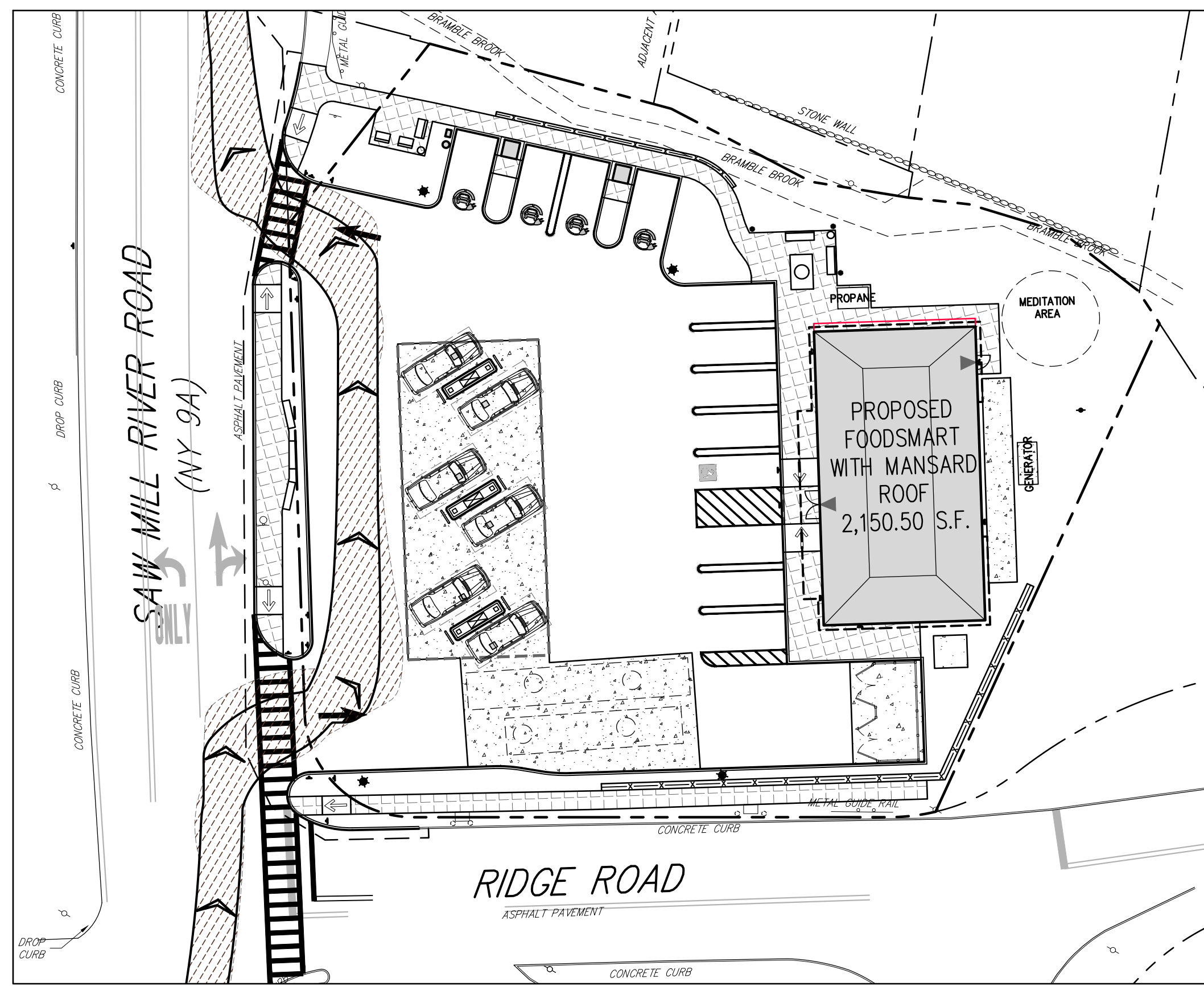
PASSENGER VEHICLE EXITING PUMPS TURNING ANALYSIS



PASSENGER VEHICLE TURNING ANALYSIS

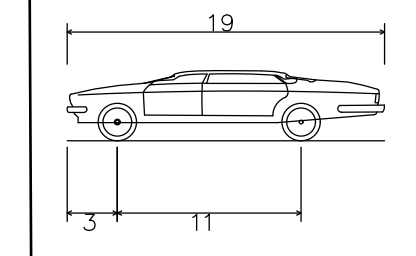


FIRE TRUCK CIRCULATING SITE TURNING ANALYSIS

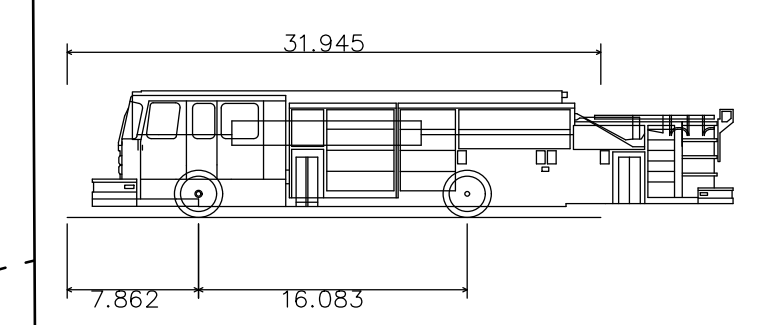


FIRE TRUCK CIRCULATING SITE TURNING ANALYSIS

VEHICLE PROFILES



P - Passenger Car
 Overall Length 19.00ft
 Overall Width 7.00ft
 Overall Body Height 4.30ft
 Min Body Ground Clearance 1.115ft
 Track Width 6.00ft
 Lock-to-lock time 4.00s
 Max Steering Angle (Virtual) 31.60°



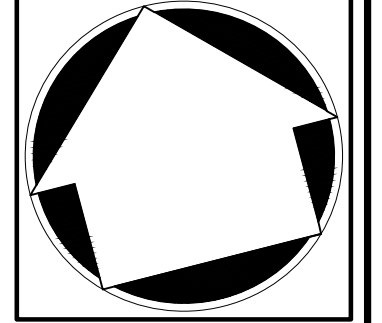
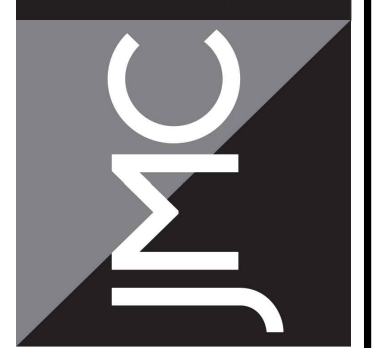
SPARTAN GLADIATOR MFD 10RR
 Overall Length 31.945ft
 Overall Width 8.25ft
 Overall Body Height 7.759ft
 Min Body Ground Clearance 0.670ft
 Track Width 8.25ft
 Lock-to-lock time 5.00s
 Max Wheel Angle 45.00°

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TURNING ANALYSIS PLAN
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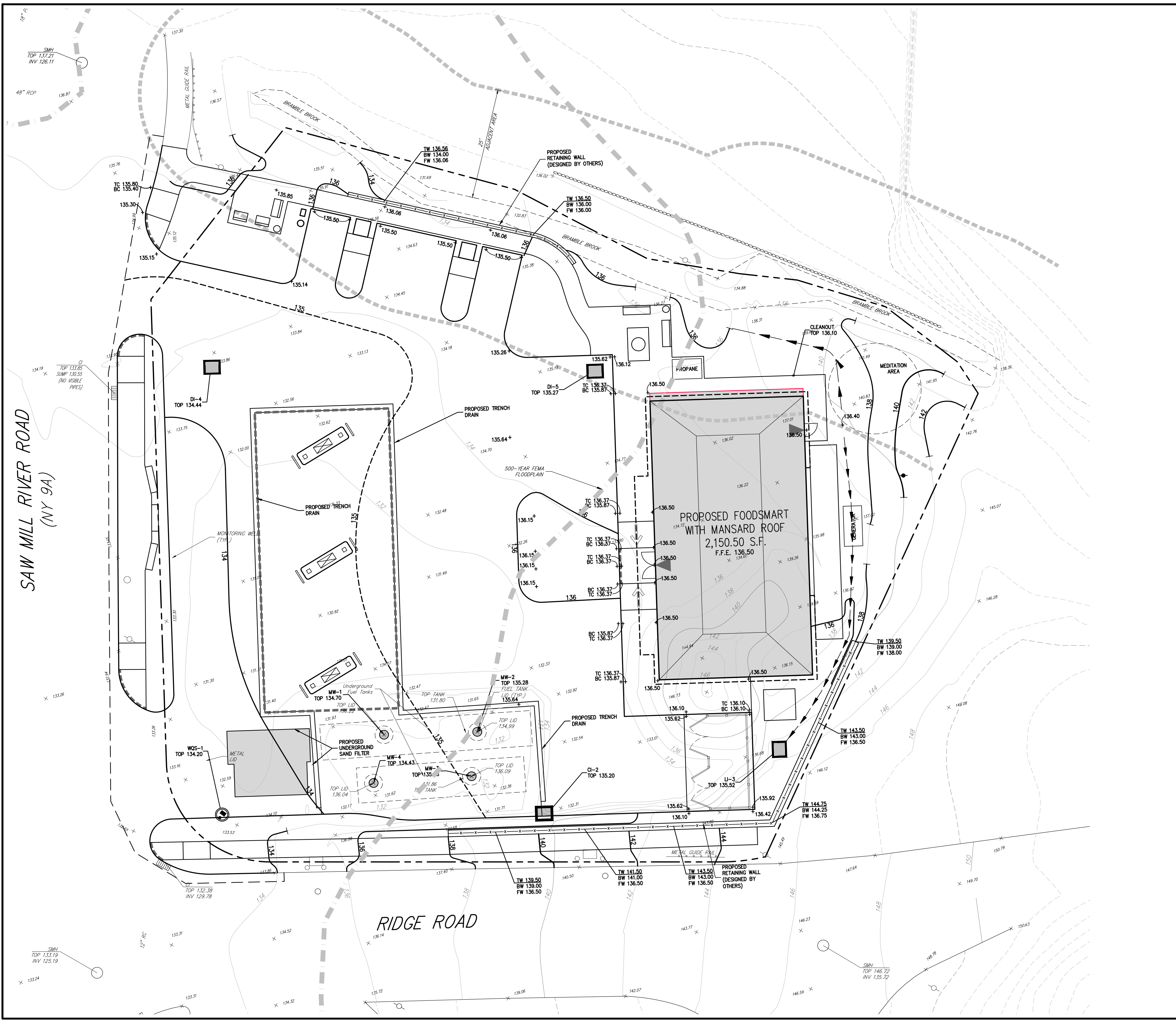
No.	Revision	Date	By
1.	REVISED PER BOARD OF TRUSTEES COMMENTS	01/31/2024	RB
2.	REVISED PER BOARD OF TRUSTEES COMMENTS	03/22/2024	RB

Previous Editions Obsolete

Drawn: **KRM** Approved: **RJP**
 Scale: 1" = 20'
 Date: 05/26/2020
 Project No: 18175
 18175-05 C-120-W06 TA-VH10r
 Drawing No:
C-120

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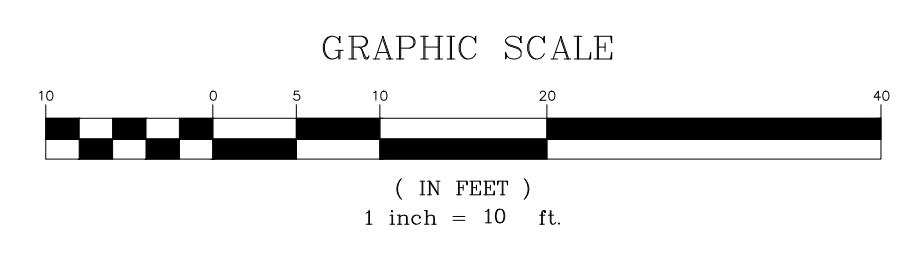
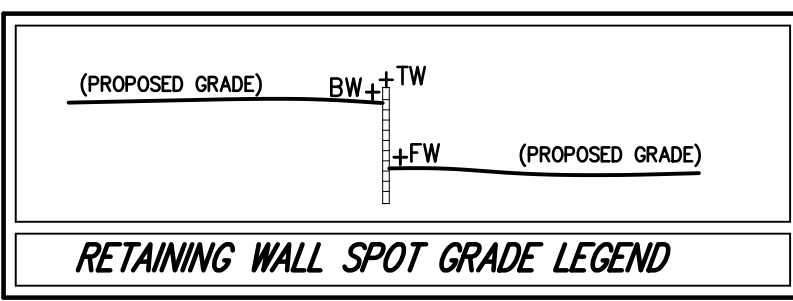
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LEGEND

- EXISTING PROPERTY LINE
- ADJACENT PROPERTY LINE
- FORMER PROPERTY LINE
- EXISTING SETBACK LINE
- EXISTING WATERCOURSE
- EXISTING WATERCOURSE BUFFER
- EXISTING PAVEMENT EDGE
- EXISTING CURB LINE
- EXISTING CONTOUR
- EXISTING INDEX CONTOUR
- EXISTING STONE WALL
- EXISTING RETAINING WALL
- EXISTING GUIDE RAIL
- EXISTING DRAIN INLET
- EXISTING MANHOLE
- EXISTING UTILITY POLE
- EXISTING SIGN
- EXISTING FUEL MANWAY
- PROPOSED TYPE CI DRAIN INLET
- PROPOSED TYPE DI OR LI DRAIN INLET
- PROPOSED BUILDING LINE
- PROPOSED EDGE OF PAVEMENT/CURB LINE
- PROPOSED CONCRETE SIDEWALK
- PROPOSED DROP CURB AND RAMP
- PROPOSED MAJOR CONTOUR
- PROPOSED MINOR CONTOUR
- PROPOSED SPOT GRADE
- PROPOSED RETAINING WALL (DESIGN BY OTHERS)
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 - ALL STORMWATER MANAGEMENT PRACTICES SHALL REMAIN UNDISTURBED AND BE PROTECTED FROM HEAVY MACHINERY TRAFFIC DURING CONSTRUCTION. HOWEVER DURING CONSTRUCTION OF THE PRACTICE THE CONTRACTOR SHALL MINIMIZE AND AVOID HEAVY MACHINERY TRAFFIC TO THE MAXIMUM EXTENT PRACTICABLE. THERE SHALL BE NO STORAGE OF MATERIALS WITHIN AREAS TO BE USED FOR STORMWATER MANAGEMENT PRACTICES. THE CONTRACTOR SHALL INSTALL CONSTRUCTION FENCE AROUND THE PRACTICE TO DISCOURAGE VEHICLE TRAFFIC.
 - THE FEMA 100-YEAR BASE FLOOD ELEVATION IS 132.33.
 - THE CONSTRUCTION OF ALL WALLS GREATER THAN FOUR (4) FEET IN HEIGHT SHALL BE INSPECTED AND CERTIFIED TO THEIR COMPLIANCE WITH THE APPROVED DESIGN BY THE DESIGN PROFESSIONAL PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY/COMPLETION.



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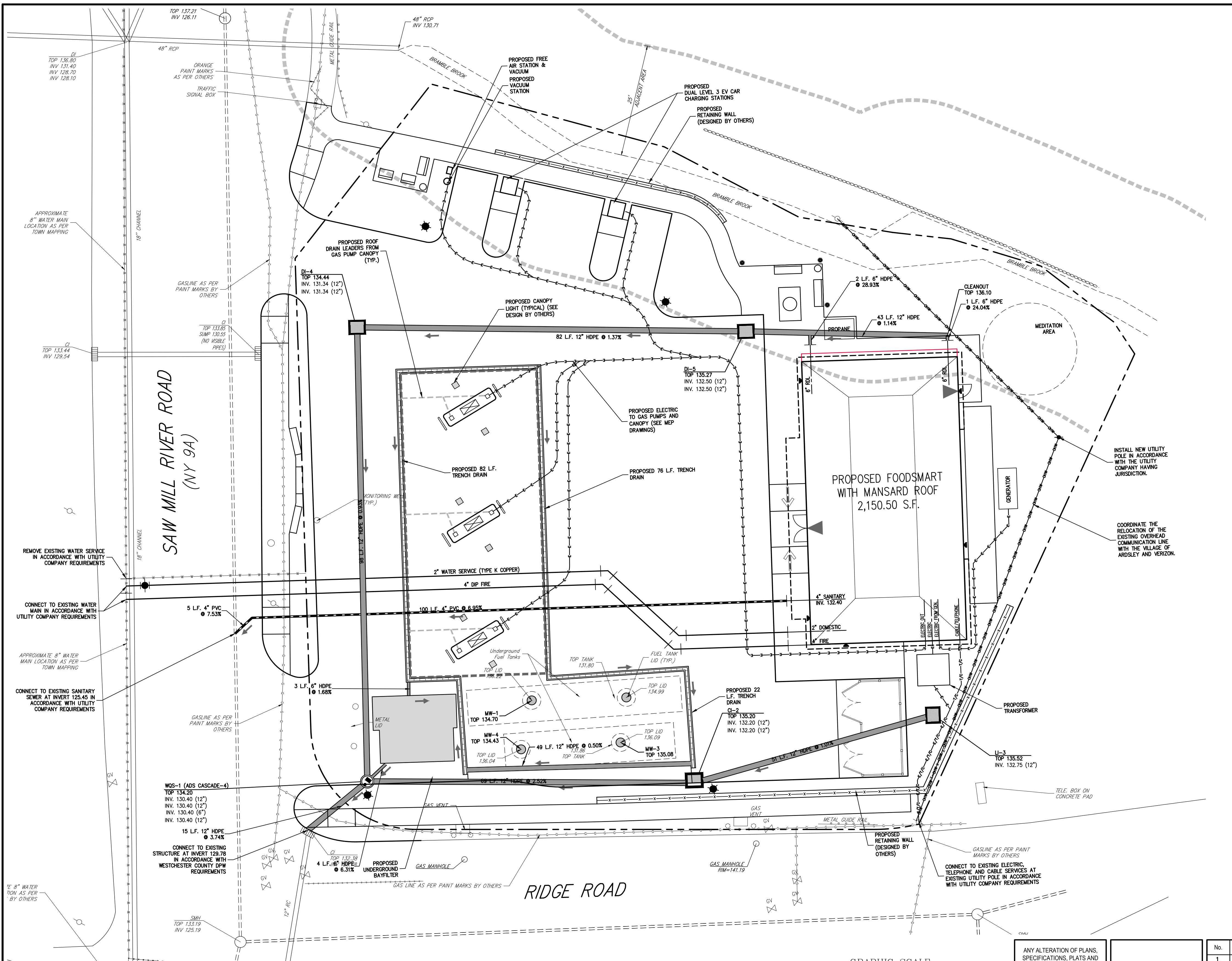


GRADING PLAN

GAS STATION / CONVENIENCE MARKET
 657 SAW MILL RIVER ROAD
 VILLAGE OF ARDSLEY, NEW YORK

Drawn: **KRM** Approved: **RJP**
 Scale: **1" = 10'**
 Date: **05/26/2020**
 Project No: **18175**
 1875-9E C-200-0A0 GR40.scr
 Drawing No:
C-200

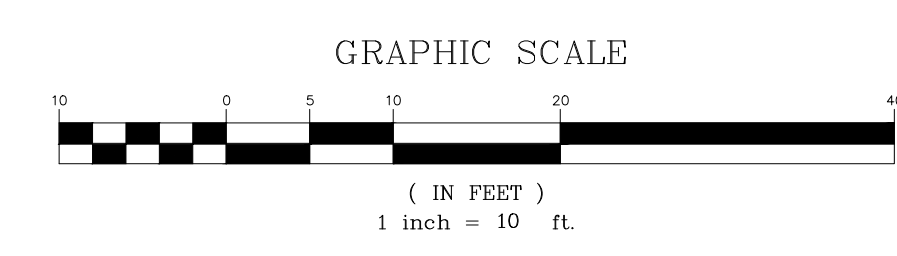
NOT FOR CONSTRUCTION



LEGEND

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- FORMER PROPERTY LINE
- EXISTING SETBACK LINE
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- EXISTING WATERCOURSE BUFFER
- EXISTING PAVEMENT EDGE
- EXISTING CURB LINE
- EXISTING STONE WALL
- EXISTING RETAINING WALL
- EXISTING GUIDE RAIL
- EXISTING FENCE
- EXISTING STORM DRAIN LINE AND SIZE
- EXISTING SANITARY LINE AND SIZE
- EXISTING WATER LINE
- EXISTING GAS LINE
- EXISTING OVERHEAD WIRES
- EXISTING DRAIN INLET
- EXISTING MANHOLE
- EXISTING BOLLARD
- EXISTING FIRE HYDRANT
- EXISTING GAS VALVE
- EXISTING WATER VALVE
- EXISTING UTILITY POLE
- PROPOSED BUILDING LINE
- PROPOSED EDGE OF PAVEMENT/CURB LINE
- PROPOSED CONCRETE SIDEWALK
- PROPOSED DROP CURB AND RAMP
- PROPOSED FUEL MANWAY
- PROPOSED WATER QUALITY STRUCTURE
- PROPOSED TYPE CI DRAIN INLET
- PROPOSED TYPE DI OR LI DRAIN INLET
- PROPOSED TRENCH DRAIN
- PROPOSED STORM DRAIN LINE AND SIZE
- PROPOSED SANITARY SEWER LINE & SIZE
- PROPOSED WATER LINE & SIZE
- PROPOSED ELECTRIC LINE
- PROPOSED TELEPHONE/CABLE LINE
- PROPOSED ELECTRIC/TELEPHONE/CABLE
- PROPOSED RETAINING WALL (DESIGN BY OTHERS)

- NOTES**
- EXISTING CONDITIONS DEPICTED ON THIS PLAN HAVE BEEN TAKEN FROM SURVEY TITLED "TOPOGRAPHY OF PROPERTY," PREPARED BY THOMAS C. MERRITS LAND SURVEYORS, P.C., LAST REVISED 11/17/2020.
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 - UNLESS OTHERWISE SPECIFIED, PIPE FOR SANITARY SEWER GRAVITY LINES SHALL BE POLYETHYLENE GLYCOL PIPE (PE) 300-35, WITH PUSH-ON JOINTS IN ACCORDANCE WITH ASTM D-3034 AND D-3212.
 - UNLESS OTHERWISE SPECIFIED, PIPE FOR WATER LINES SHALL BE DOUBLE CEMENT-LINED DUCTILE IRON PIPE (DIP), CLASS 54, WITH PUSH-ON JOINTS AND FIELD-LOK GASKETS IN ACCORDANCE WITH AWWA C-150, C-151, C-104 AND C-111.
 - ALL COPPER SERVICE LINES SHALL BE SEAMLESS TYPE "K" COPPER IN ACCORDANCE WITH ASTM-88 WITH COMPRESSION OR FLARED JOINTS.
 - ELECTRIC, TELEPHONE, AND CABLE TELEVISION LINES SHALL BE INSTALLED UNDERGROUND IN CONDUIT IN ACCORDANCE WITH THE REQUIREMENTS OF THE UTILITY COMPANY HAVING JURISDICTION.
 - CONTRACTOR SHALL MAINTAIN A MINIMUM OF 4 FEET OF COVER OVER ALL WATER MAINS.
 - CONTRACTOR SHALL MAINTAIN MINIMUM HORIZONTAL AND VERTICAL CROSSING DISTANCES PER THE WESTCHESTER COUNTY DEPARTMENT OF HEALTH REQUIREMENTS. IF MINIMUM DISTANCES CANNOT BE MAINTAINED, THE CONTRACTOR SHALL USE CONTROLLED LOW STRENGTH MATERIAL FOR BACKFILL AROUND CROSSINGS.
 - ALL UTILITY CONNECTIONS AT BUILDING SHALL BE COORDINATED WITH THE PLUMBING, MECHANICAL AND ELECTRICAL BUILDING CONTRACTORS.
 - SEE DRAWINGS FROM OTHERS FOR DESIGN OF UTILITY CONNECTIONS, CONDUITS, WIRING, ETC. FOR SITE LIGHTING PYLON SIGN, OTHER ILLUMINATED SIGNAGE, AIR/VACUUM MACHINE, PROPANE FUELING, AND GENERATOR CONNECTIONS.
 - IT IS THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE ALL UTILITY CONNECTIONS/EXTENSIONS/RELOCATIONS WITH APPROPRIATE UTILITY COMPANIES AS REQUIRED. INSTALLATION OF ALL UTILITIES SHALL CONFORM TO UTILITY COMPANY REQUIREMENTS.
 - ALL FUELING RELATED FACILITIES/EQUIPMENT TO BE DESIGNED AND PERMITTED BY OTHERS. CONTRACTOR SHALL BE RESPONSIBLE TO INSPECT ALL PETROLEUM DISPENSING AND STORAGE SYSTEMS TO ENSURE THAT CONSTRUCTION IS IN ACCORDANCE WITH ALL FEDERAL, STATE AND LOCAL LAWS, CODES, RULES AND ORDINANCES.



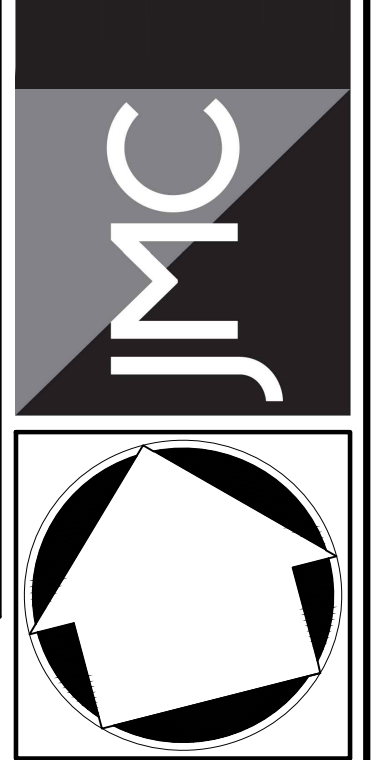
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UTILITIES PLAN

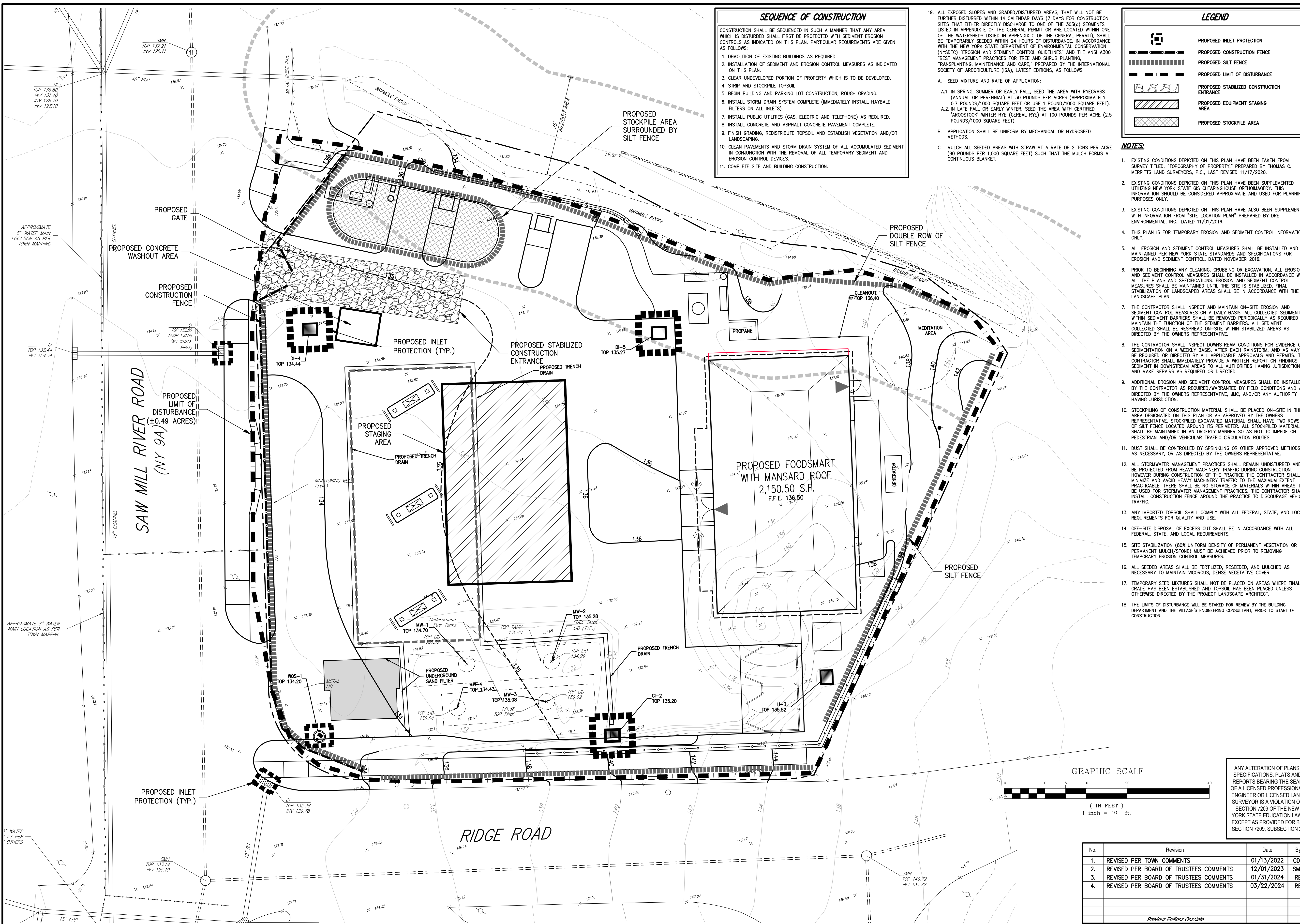
GAS STATION / CONVENIENCE MARKET
657 SAW MILL RIVER ROAD
VILLAGE OF ARDSLEY, NEW YORK

Drawn: **KRM** Approved: **RJP**
Scale: **1" = 10'**
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1875-SE C-300-UTIL UTIL.sxd
Drawing No:
C-300

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SEQUENCE OF CONSTRUCTION

CONSTRUCTION SHALL BE SEQUENCED IN SUCH A MANNER THAT ANY AREA WHICH IS DISTURBED SHALL FIRST BE PROTECTED WITH SEDIMENT EROSION CONTROLS AS INDICATED ON THIS PLAN. PARTICULAR REQUIREMENTS ARE GIVEN AS FOLLOWS:

- DEMOLITION OF EXISTING BUILDINGS AS REQUIRED.
- INSTALLATION OF SEDIMENT AND EROSION CONTROL MEASURES AS INDICATED ON THIS PLAN.
- CLEAR UNDEVELOPED PORTION OF PROPERTY WHICH IS TO BE DEVELOPED.
- STRIP AND STOCKPILE TOPSOIL.
- BEGIN BUILDING AND PARKING LOT CONSTRUCTION, ROUGH GRADING.
- INSTALL STORM DRAIN SYSTEM COMPLETE (IMMEDIATELY INSTALL HAYBALE FILTERS ON ALL INLETS).
- INSTALL PUBLIC UTILITIES (GAS, ELECTRIC AND TELEPHONE) AS REQUIRED.
- INSTALL CONCRETE AND ASPHALT CONCRETE PAVEMENT COMPLETE.
- FINISH GRADING, REDISTRIBUTE TOPSOIL AND ESTABLISH VEGETATION AND/OR LANDSCAPING.
- CLEAN PAVEMENTS AND STORM DRAIN SYSTEM OF ALL ACCUMULATED SEDIMENT IN CONJUNCTION WITH THE REMOVAL OF ALL TEMPORARY SEDIMENT AND EROSION CONTROL DEVICES.
- COMPLETE SITE AND BUILDING CONSTRUCTION.

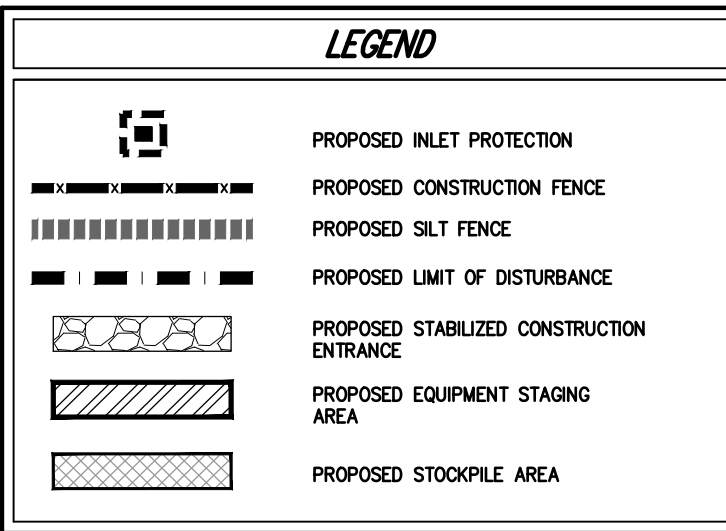
19. ALL EXPOSED SLOPES AND GRADED/DISTURBED AREAS, THAT WILL NOT BE FURTHER DISTURBED WITHIN 14 CALENDAR DAYS (7 DAYS FOR CONSTRUCTION SITES THAT EITHER DIRECTLY DISCHARGE TO ONE OF THE 303(d) SEGMENTS LISTED IN APPENDIX E OF THE GENERAL PERMIT OR ARE LOCATED WITHIN ONE OF THE WATERSHEDS LISTED IN APPENDIX C OF THE GENERAL PERMIT), SHALL BE TEMPORARILY SEEDED WITHIN 24 HOURS OF DISTURBANCE, IN ACCORDANCE WITH THE NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION (NYSDEC) "EROSION AND SEDIMENT CONTROL GUIDELINES" AND THE ANSI A300 "BEST MANAGEMENT PRACTICES FOR TREE AND SHRUB PLANTING, TRANSPLANTING, MAINTENANCE AND CARE," PREPARED BY THE INTERNATIONAL SOCIETY OF ARBORICULTURE (ISA), LATEST EDITIONS, AS FOLLOWS:

A. SEED MIXTURE AND RATE OF APPLICATION:

- IN SPRING, SUMMER OR EARLY FALL, SEED THE AREA WITH RYEGRASS (ANNUAL OR PERENNIAL) AT 30 POUNDS PER ACRE (APPROXIMATELY 0.7 POUNDS/1000 SQUARE FEET) OR USE 1 POUND/1000 SQUARE FEET.
- IN LATE FALL OR EARLY WINTER, SEED THE AREA WITH CERTIFIED "AROSTOOK" WINTER RYE (CEREAL RYE) AT 100 POUNDS PER ACRE (2.5 POUNDS/1000 SQUARE FEET).

B. APPLICATION SHALL BE UNIFORM BY MECHANICAL OR HYDROSEED METHODS.

C. MULCH ALL SEEDED AREAS WITH STRAW AT A RATE OF 2 TONS PER ACRE (90 POUNDS PER 1,000 SQUARE FEET) SUCH THAT THE MULCH FORMS A CONTINUOUS BLANKET.



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 - EXISTING CONDITIONS DEPICTED ON THIS PLAN HAVE ALSO BEEN SUPPLEMENTED WITH INFORMATION FROM "SITE LOCATION PLAN" PREPARED BY DRE ENVIRONMENTAL, INC., DATED 11/01/2016.
 - THIS PLAN IS FOR TEMPORARY EROSION AND SEDIMENT CONTROL INFORMATION ONLY.
 - ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED PER NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL, DATED NOVEMBER 2016.
 - PRIOR TO BEGINNING ANY CLEARING, GRUBBING OR EXCAVATION, ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH ALL THE PLANS AND SPECIFICATIONS. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED UNTIL THE SITE IS STABILIZED. FINAL STABILIZATION OF LANDSCAPED AREAS SHALL BE IN ACCORDANCE WITH THE LANDSCAPE PLAN.
 - THE CONTRACTOR SHALL INSPECT AND MAINTAIN ON-SITE EROSION AND SEDIMENT CONTROL MEASURES ON A DAILY BASIS. ALL COLLECTED SEDIMENT WITHIN SEDIMENT BARRIERS SHALL BE REMOVED PERIODICALLY AS REQUIRED TO MAINTAIN THE FUNCTION OF THE SEDIMENT BARRIERS. ALL SEDIMENT COLLECTED SHALL BE RESPREAD ON-SITE WITHIN STABILIZED AREAS AS DIRECTED BY THE OWNERS REPRESENTATIVE.
 - THE CONTRACTOR SHALL INSPECT DOWNSTREAM CONDITIONS FOR EVIDENCE OF SEDIMENTATION ON A WEEKLY BASIS. AFTER EACH DISTURBANCE, AND AS MAY BE REQUIRED OR DIRECTED BY ALL APPLICABLE APPROVALS AND PERMITS, THE CONTRACTOR SHALL IMMEDIATELY PROVIDE A WRITTEN REPORT ON FINDINGS OF SEDIMENT IN DOWNSTREAM AREAS TO ALL AUTHORITIES HAVING JURISDICTION AND MAKE REPAIRS AS REQUIRED OR DIRECTED.
 - ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED BY THE CONTRACTOR AS REQUIRED/WARRANTED BY FIELD CONDITIONS AND AS DIRECTED BY THE OWNERS REPRESENTATIVE, JMC, AND/OR ANY AUTHORITY HAVING JURISDICTION.
 - STOCKPILING OF CONSTRUCTION MATERIAL SHALL BE PLACED ON-SITE IN THE AREA DESIGNATED ON THIS PLAN OR AS APPROVED BY THE OWNERS REPRESENTATIVE. STOCKPILED EXCAVATED MATERIAL SHALL HAVE TWO ROWS OF SILT FENCE LOCATED AROUND ITS PERIMETER. ALL STOCKPILED MATERIAL SHALL BE MAINTAINED IN AN ORDERLY MANNER SO AS NOT TO IMPED ON PEDESTRIAN AND/OR VEHICULAR TRAFFIC CIRCULATION ROUTES.
 - DUST SHALL BE CONTROLLED BY SPRINKLING OR OTHER APPROVED METHODS AS NECESSARY, OR AS DIRECTED BY THE OWNERS REPRESENTATIVE.
 - ALL STORMWATER MANAGEMENT PRACTICES SHALL REMAIN UNDISTURBED AND BE PROTECTED FROM HEAVY MACHINERY TRAFFIC DURING CONSTRUCTION. HOWEVER DURING CONSTRUCTION OF THE PRACTICE THE CONTRACTOR SHALL MINIMIZE AND AVOID HEAVY MACHINERY TRAFFIC TO THE MAXIMUM EXTENT PRACTICABLE. THERE SHALL BE NO STORAGE OF MATERIALS WITHIN AREAS TO BE USED FOR STORMWATER MANAGEMENT PRACTICES. THE CONTRACTOR SHALL INSTALL CONSTRUCTION FENCE AROUND THE PRACTICE TO DISCOURAGE VEHICLE TRAFFIC.
 - ANY IMPORTED TOPSOIL SHALL COMPLY WITH ALL FEDERAL, STATE, AND LOCAL REQUIREMENTS FOR QUALITY AND USE.
 - OFF-SITE DISPOSAL OF EXCESS CUT SHALL BE IN ACCORDANCE WITH ALL FEDERAL, STATE, AND LOCAL REQUIREMENTS.
 - SITE STABILIZATION (BOX UNIFORM DENSITY OF PERMANENT VEGETATION OR PERMANENT MULCH/STONE) MUST BE ACHIEVED PRIOR TO REMOVING TEMPORARY EROSION CONTROL MEASURES.
 - ALL SEEDED AREAS SHALL BE FERTILIZED, RESEED, AND MULCHED AS NECESSARY TO MAINTAIN VIGOROUS, DENSE VEGETATIVE COVER.
 - TEMPORARY SEED MIXTURES SHALL NOT BE PLACED ON AREAS WHERE FINAL GRADE HAS BEEN ESTABLISHED AND TOPSOIL HAS BEEN PLACED UNLESS OTHERWISE DIRECTED BY THE PROJECT LANDSCAPE ARCHITECT.
 - THE LIMITS OF DISTURBANCE WILL BE STAKED FOR REVIEW BY THE BUILDING DEPARTMENT AND THE VILLAGE'S ENGINEERING CONSULTANT, PRIOR TO START OF CONSTRUCTION.

APPLICANT/OWNER:
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25 SAINT CHARLES STREET
THORNWOOD, NY 10594

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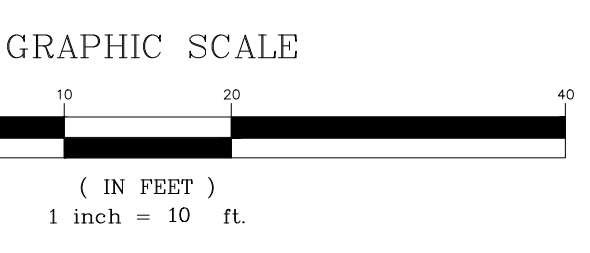
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JMC

EROSION AND SEDIMENT CONTROL PLAN

GAS STATION / CONVENIENCE MARKET
657 SAW MILL RIVER ROAD
VILLAGE OF ARDSLEY, NEW YORK

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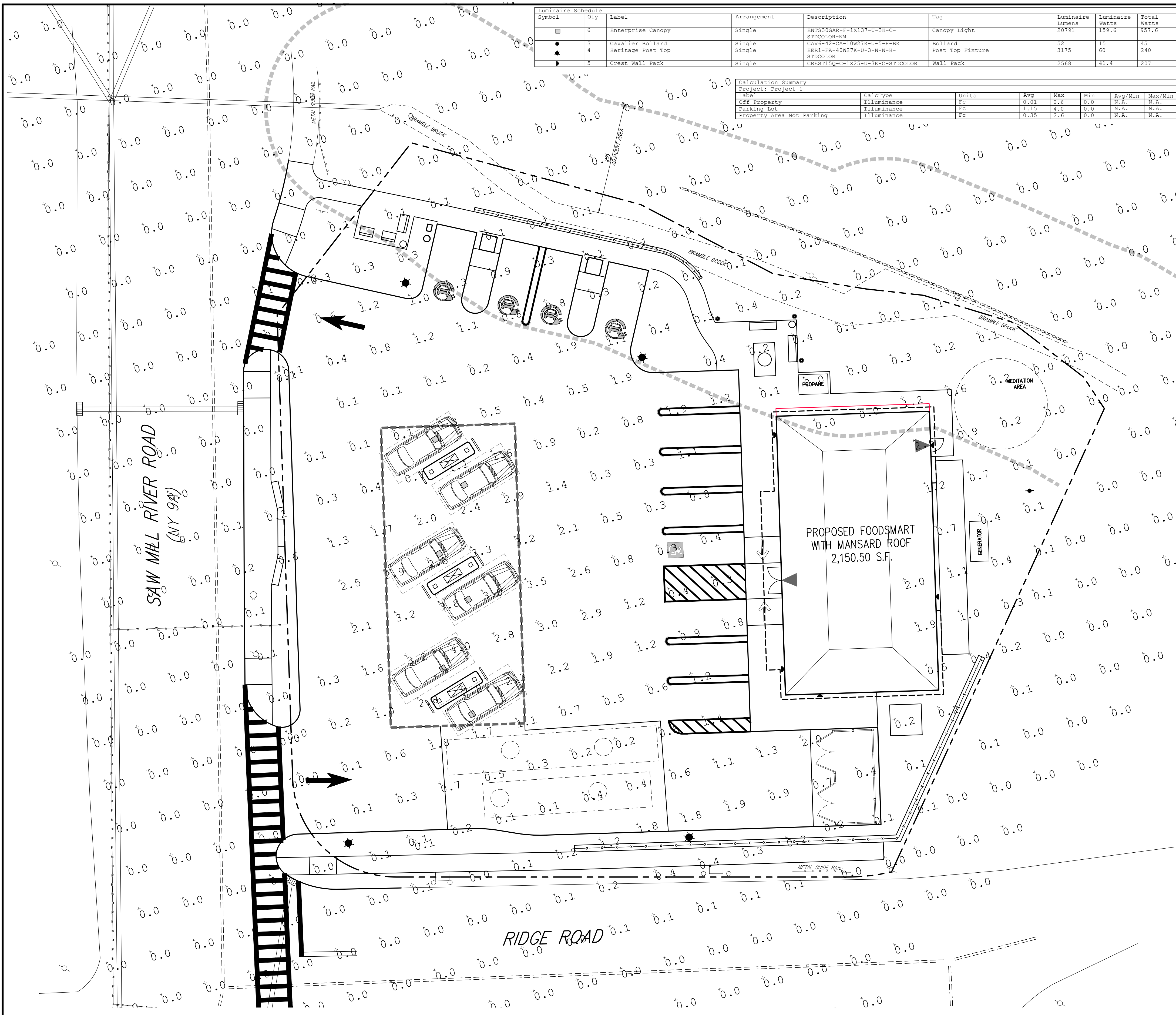
No.	Revision	Date	By
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3.	REVISED PER BOARD OF TRUSTEES COMMENTS	01/31/2024	RB
4.	REVISED PER BOARD OF TRUSTEES COMMENTS	03/22/2024	RB

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Drawn: **KRM** Approved: **RJP**
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Date: **06/26/2020**
Project No: **18175**
1815-SE C-400-SE SE.ar
Drawing No: **C-400**

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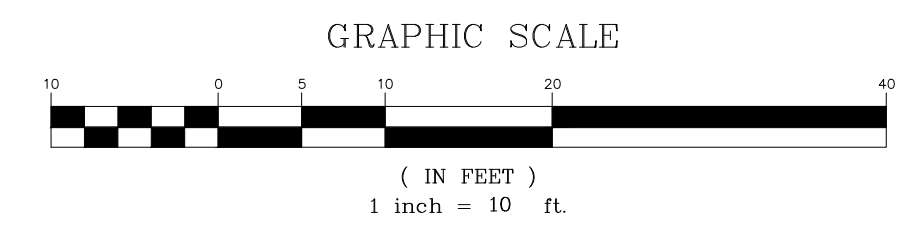
Symbol	Qty	Label	Arrangement	Description	Tag	Luminaire Lumens	Luminaire Watts	Total Watts
□	6	Enterprise Canopy	Single	ENTS10GAR-F-1X137-U-3K-C-STD-COLOR-MM	Canopy Light	20791	159.6	957.6
●	3	Cavalier Bollard	Single	CAYE-K2-CR-10W27K-U-5-H-BK	Bollard	52	15	45
★	4	Heritage Post Top	Single	HERI-PA-40W27K-U-3-N-N-H-STD-COLOR	Post Top Fixture	3175	60	240
▶	5	Crest Wall Pack	Single	CRES115G-C-1X25-U-3K-C-STD-COLOR	Wall Pack	2568	41.4	207

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Off Property	Illuminance	Fc	0.31	0.6	0.0	N.A.	N.A.
Parking Lot	Illuminance	Fc	1.15	4.0	0.0	N.A.	N.A.
Property Area Not Parking	Illuminance	Fc	0.35	2.6	0.0	N.A.	N.A.

LIGHTING LEGEND

- EXISTING UTILITY POLE
- EXISTING LIGHT POLE
- GAS CANOPY LIGHTING (DESIGN BY OTHERS)
- ▶ WALL MOUNTED LIGHTING (MOUNTING HT. 12')
- ★ POLE MOUNTED LIGHT
- BOLLARD LIGHTING
- 0.1 NEW ILLUMINANCE IN FOOT-CANDELS

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 - THE LIGHTING DESIGN SHOWN HEREON WAS PROVIDED BY SYNERGY LIGHTING AND DATED 11/10/2023.
 - ALL PROPOSED LIGHTING SHALL BE DARK SKY COMPLIANT.



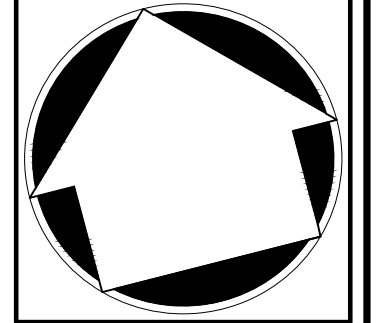
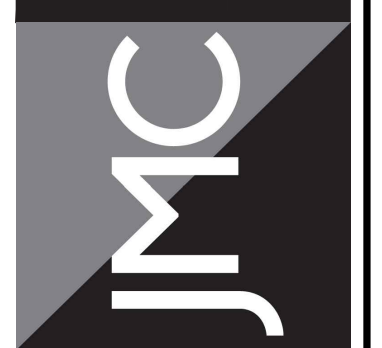
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LIGHTING PLAN

GAS STATION / CONVENIENCE MARKET
657 SAW MILL RIVER ROAD
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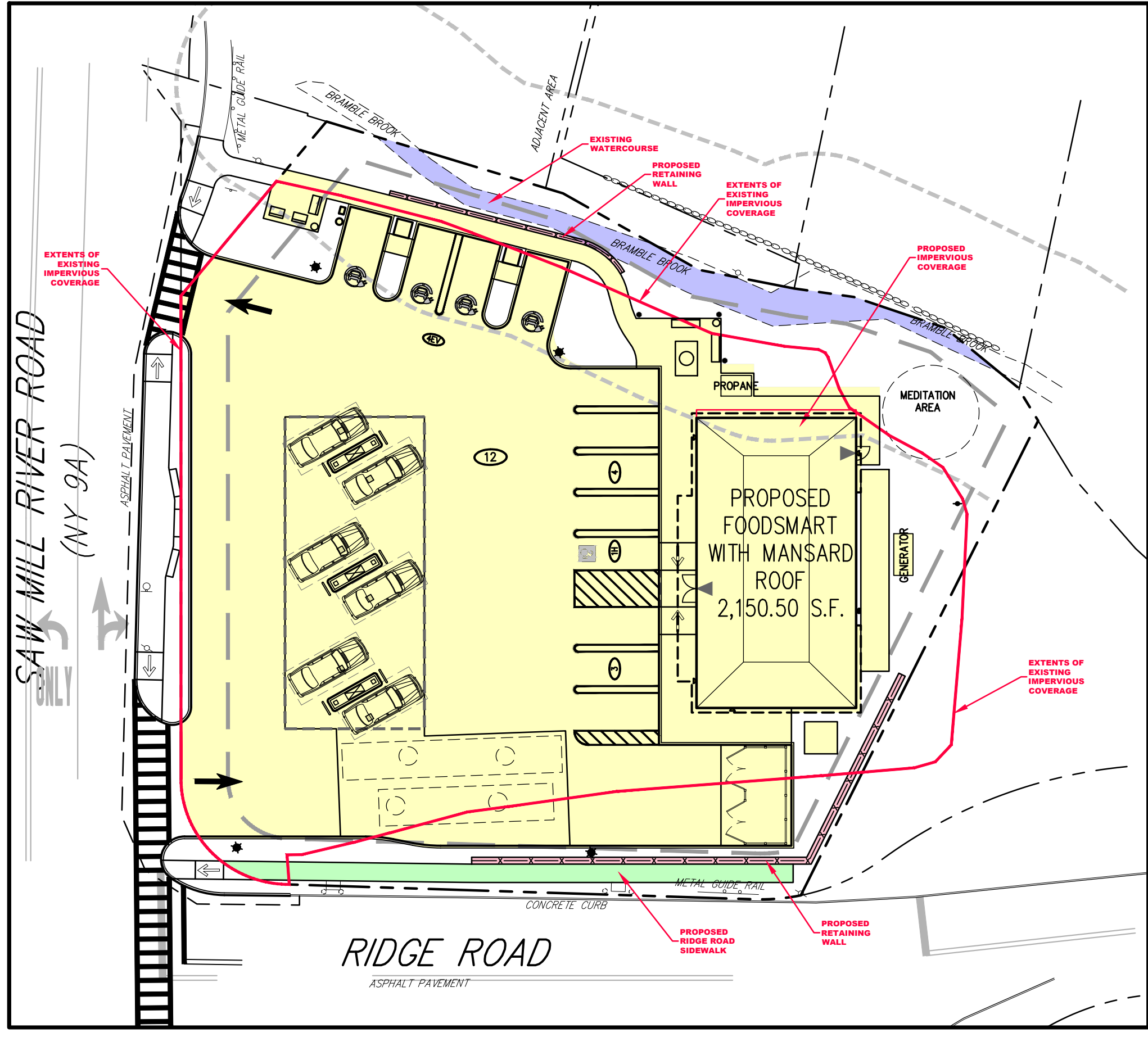
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EXISTING CONDITIONS
 IMPERVIOUS COVERAGE BREAKDOWN
 WATERCOURSE — 656 SF
 PAVED SURFACES/BUILDINGS — 18,620 SF
TOTAL IMPERVIOUS COVERAGE — 19,276 SF



PROPOSED CONDITIONS
 IMPERVIOUS COVERAGE BREAKDOWN
 WATERCOURSE — 656 SF
 RETAINING WALL — 228 SF
 RIDGE ROAD SIDEWALK — 474 SF
 CONVENIENCE MART — 2,210 SF
 PAVED SURFACES/SIDEWALKS — 14,911 SF
TOTAL IMPERVIOUS COVERAGE — 18,479 SF
A NET REDUCTION OF 797 SF (4.1%)

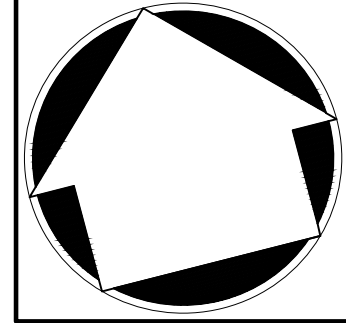
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 1875-SE C-700-MP MP/ls
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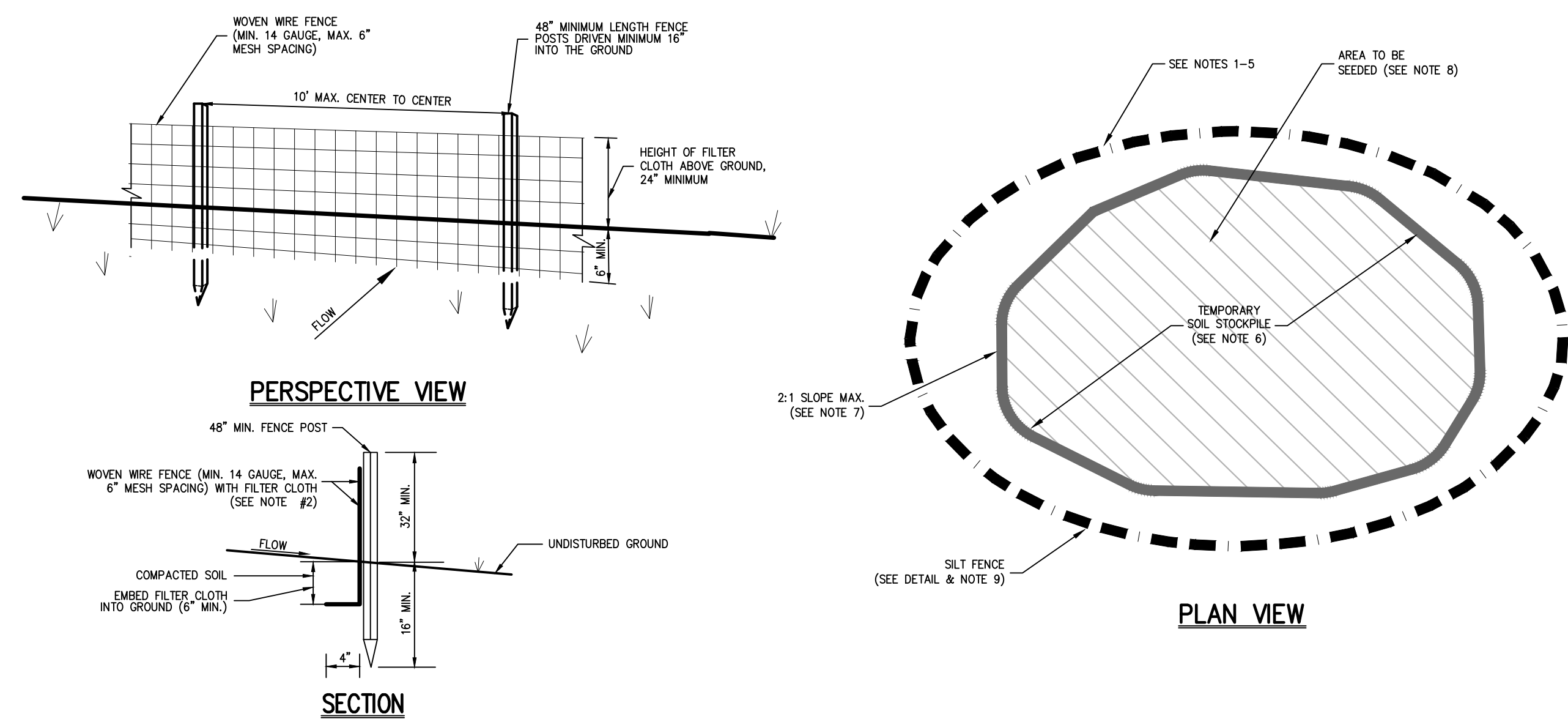
IMPERVIOUS COVERAGE COMPARISON MAP
 GAS STATION / CONVENIENCE MARKET
 657 SAW MILL RIVER ROAD
 VILLAGE OF ARDSLEY, NEW YORK



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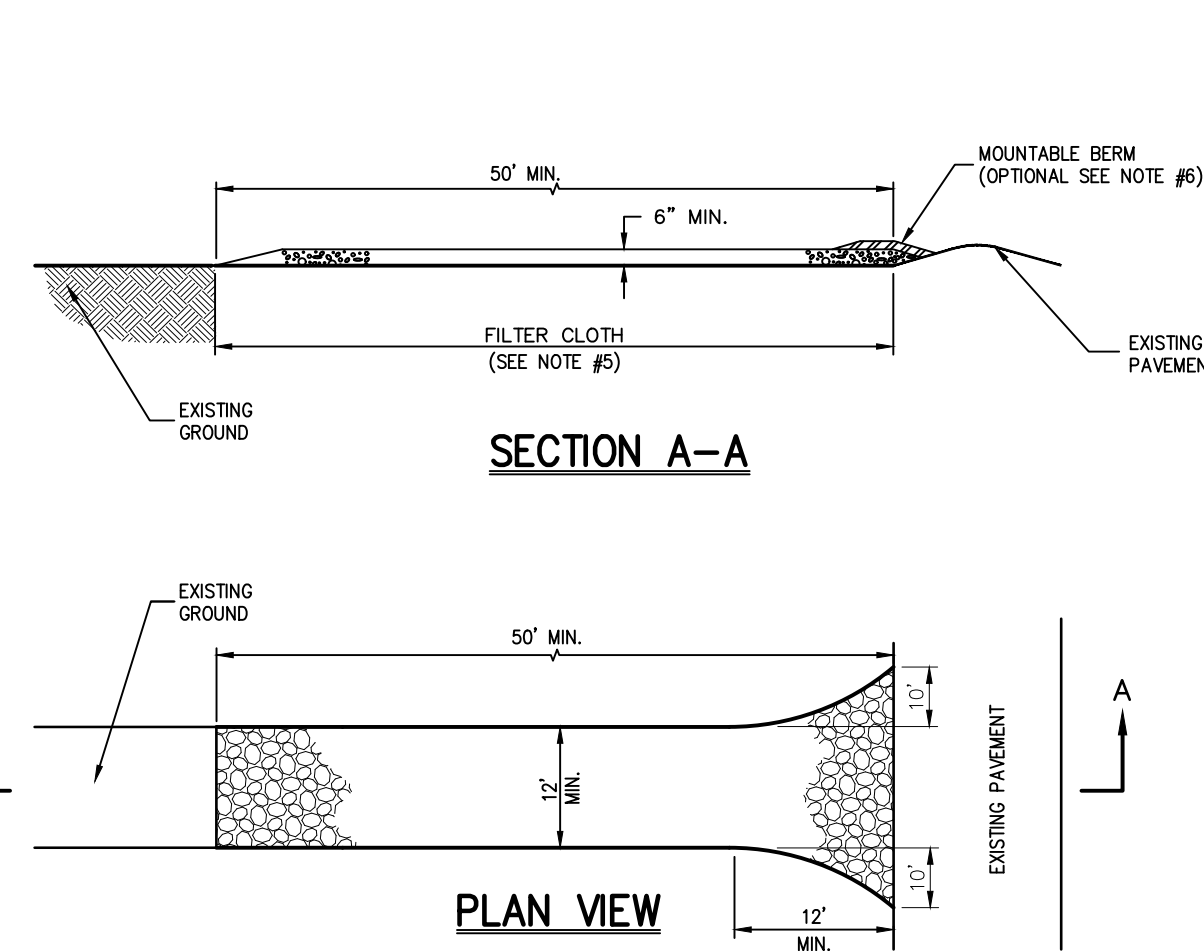
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- NOTES:**
- WOVEN WIRE FENCE SHALL BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. POSTS SHALL BE STEEL, EITHER T OR U TYPE OR HARDWOOD.
 - FILTER CLOTH SHALL BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION. FENCE SHALL BE WOVEN WIRE, 6" MAXIMUM MESH OPENING.
 - WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER, THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTER X, MIRAFI 100X, STABUNKA THORN, OR APPROVED EQUAL.
 - PREFABRICATED UNITS SHALL BE GEOTAB, ENVIROFENCE, OR APPROVED EQUAL.
 - MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED AND REPLACED WHEN "BULGES" DEVELOP IN THE SILT FENCE.
 - THE AREA CHOSEN FOR ALL TEMPORARY SOIL STOCKPILES SHALL BE DRY AND STABLE.
 - ALL STOCKPILED SOIL SHALL NOT CONTAIN SLOPES GREATER THAN 2:1.
 - UPON COMPLETION OF SOIL STOCKPILING, EACH PILE SHALL BE SEEDED WITHIN 24 HOURS. PERENNIAL OR ANNUAL RYEGRASS SHALL BE PLANTED DURING SPRING, SUMMER OR EARLY FALL. WINTER RYE (CERIAL RYE) SHALL BE PLANTED DURING LATE FALL OR EARLY WINTER.
 - ALL STOCKPILES SHALL BE PROTECTED WITH SILT FENCING INSTALLED AROUND THE PERIMETER.

TEMPORARY SOIL STOCKPILE WITH SILT FENCE

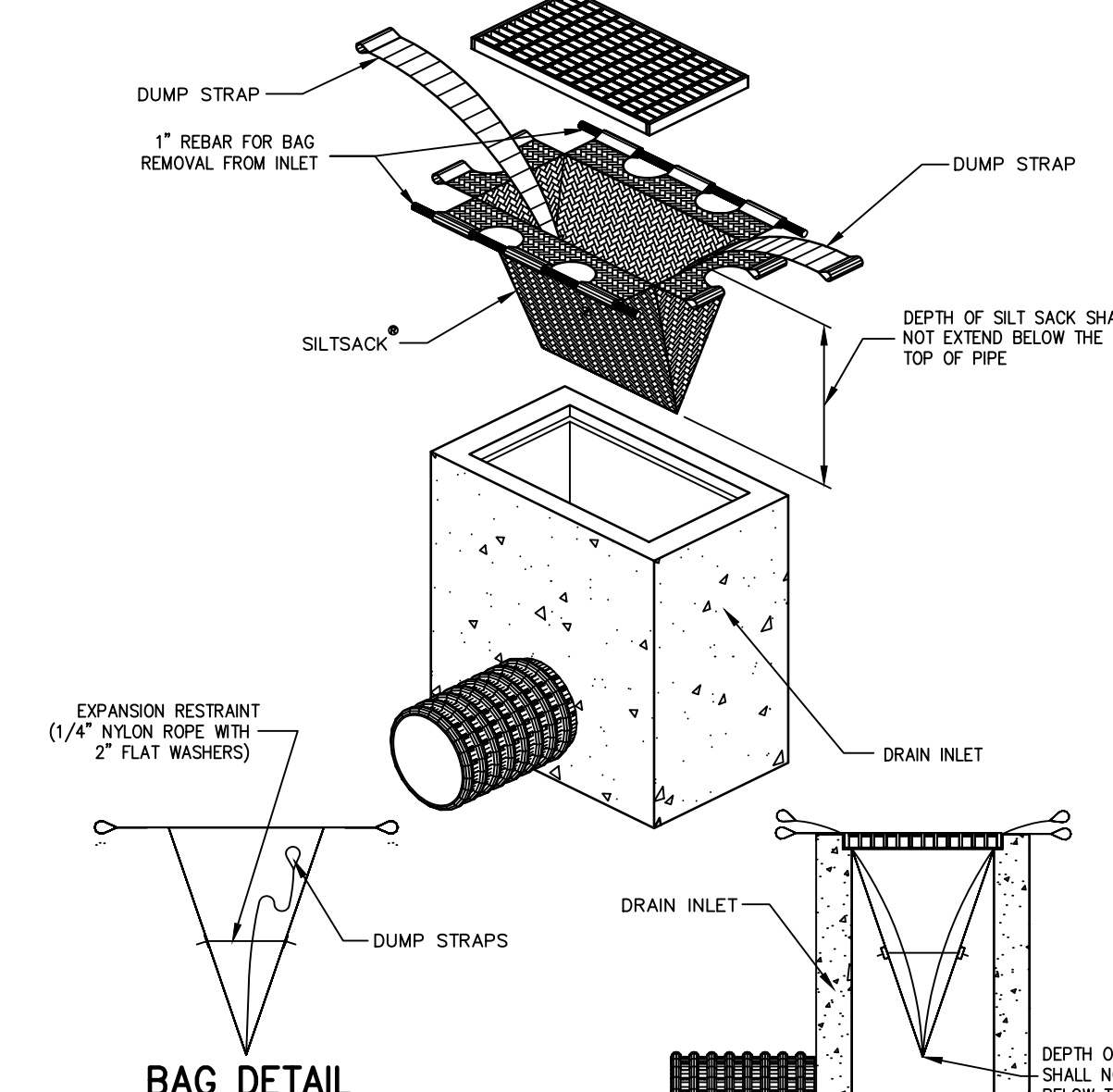
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- NOTES:**
- STONE SIZE - USE 1" TO 4" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
 - LENGTH - AS REQUIRED, BUT NOT LESS THAN 50 FEET.
 - THICKNESS - NOT LESS THAN SIX (6) INCHES.
 - WIDTH - 12 FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS. 24 FOOT MINIMUM IF SINGLE ENTRANCE TO SITE.
 - FILTER CLOTH TO BE PLACED OVER THE ENTIRE WIDTH AND LENGTH OF AREA PRIOR TO PLACING OF STONE.
 - SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED BENEATH THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
 - MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURE USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
 - WASHING - WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHTS-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
 - PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

STABILIZED CONSTRUCTION ENTRANCE

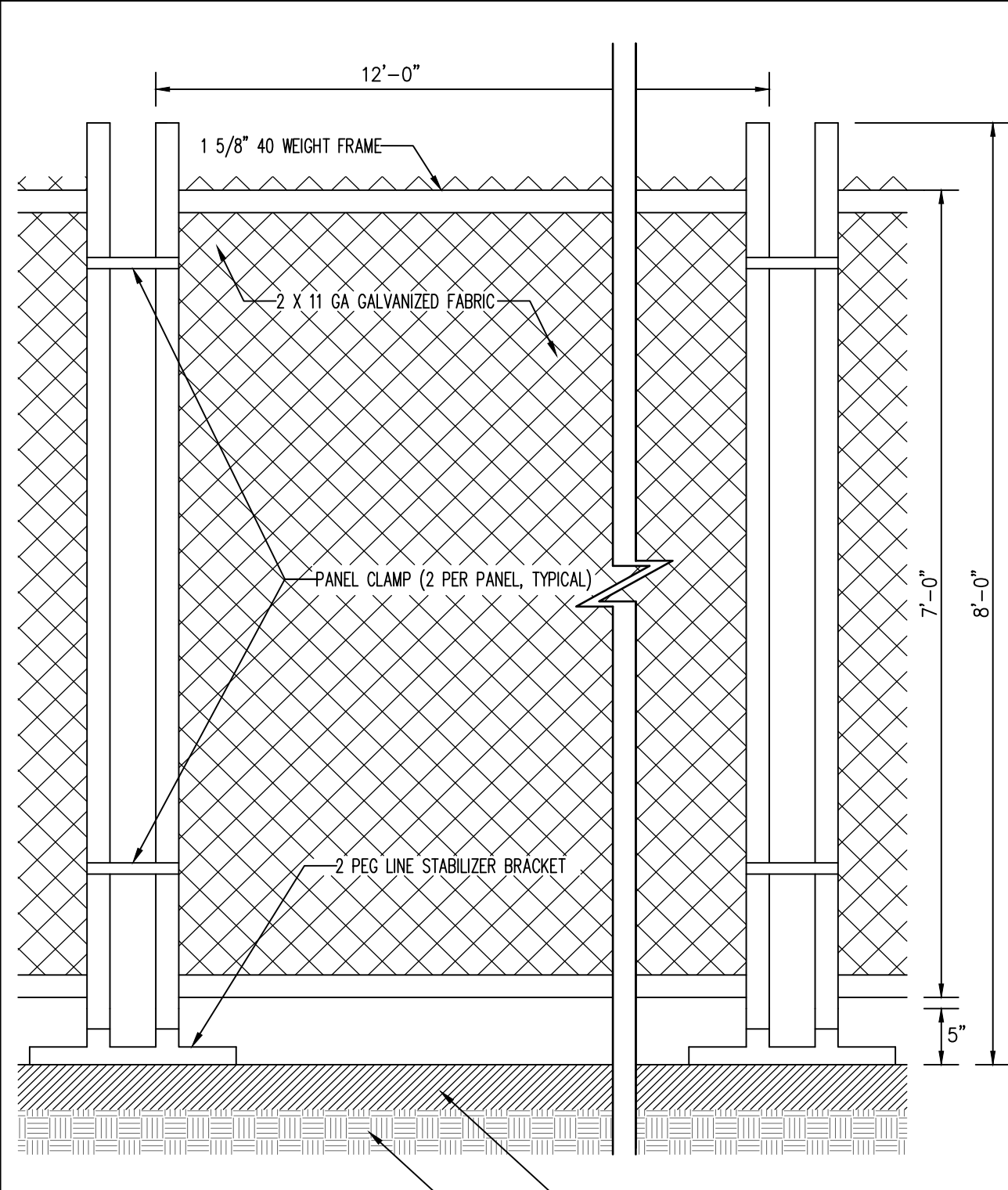
2



- HI-FLOW SILT SACK AS MANUFACTURED BY AC ENVIRONMENTAL OR APPROVED EQUAL (FOR AREAS OF MODERATE TO HEAVY PRECIPITATION AND RUN-OFF)**
- | PROPERTIES | TEST METHOD | UNITS |
|-------------------------|-------------|-------------------|
| GRAB TENSILE STRENGTH | ASTM D-4632 | 265 LBS |
| GRAB TENSILE ELONGATION | ASTM D-4632 | 20 % |
| PUNCTURE | ASTM D-4633 | 135 LBS |
| MULLEN BURST | ASTM D-3796 | 420 PSI |
| TRAPEZOID TEAR | ASTM D-4533 | 45 LBS |
| UV RESISTANCE | ASTM D-4355 | 90 % |
| APPARENT OPENING SIZE | ASTM D-4751 | 20 US SIEVE |
| FLOW RATE | ASTM D-4491 | 200 GAL/MIN/50 FT |
| PERMEABILITY | ASTM D-4491 | 1.5 SEC -1 |
- NOTE:**
CURB INLETS SHALL BE TYPE B WITH CURB DEFLECTOR.

SILT SACK

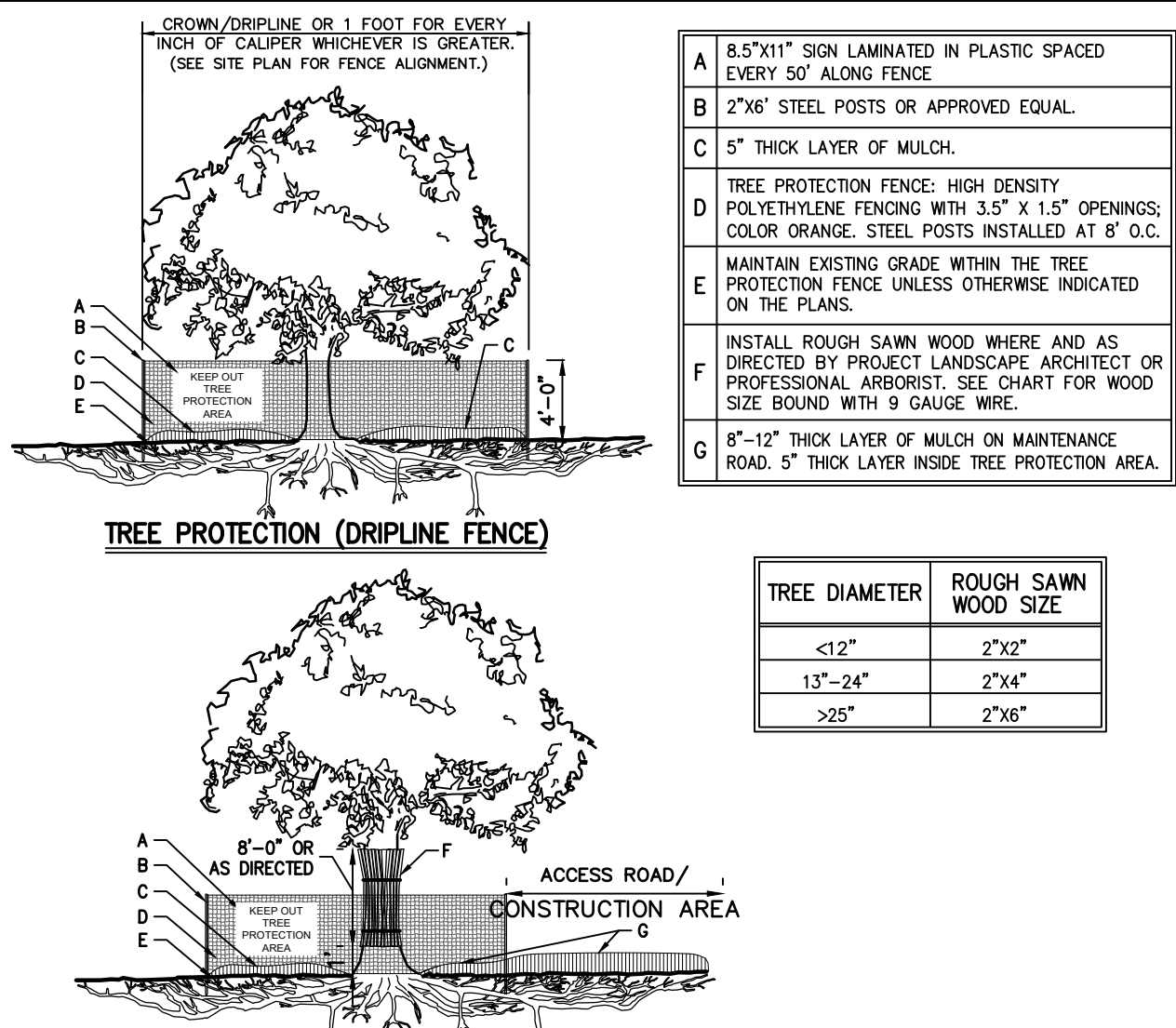
3



NOTE:
STABILIZER BRACKET TO BE HOT DIPPED GALVANIZED STEEL PIPE.

TEMPORARY CHAIN LINK CONSTRUCTION FENCE

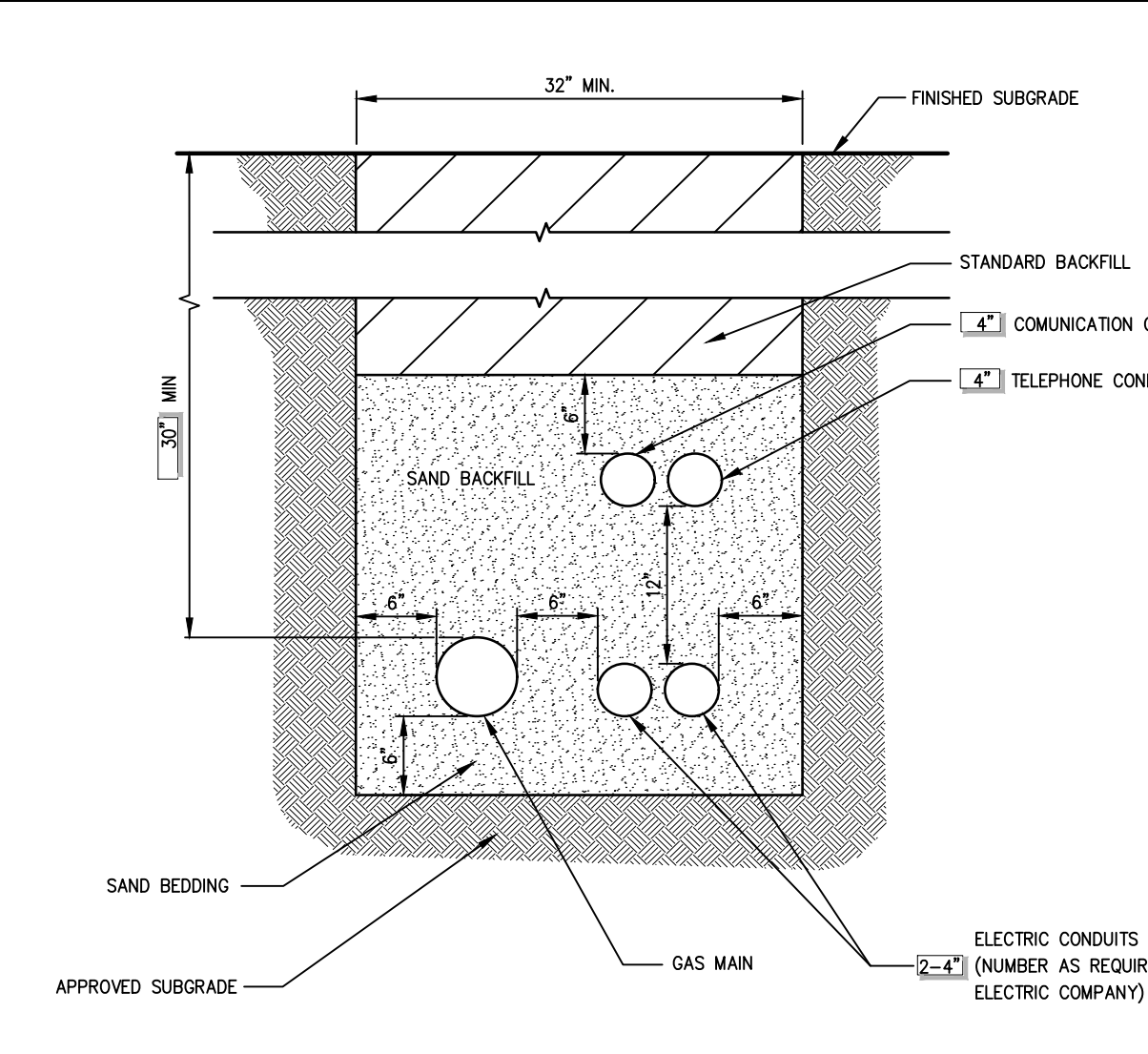
4



- NOTES:**
- SEE SPECIFICATIONS FOR ADDITIONAL TREE PROTECTION REQUIREMENTS.
 - IF THERE IS NO EXISTING IRRIGATION, SEE SPECIFICATIONS FOR WATERING REQUIREMENTS.
 - NO PRUNING SHALL BE PERFORMED EXCEPT BY APPROVED ARBORIST.
 - NO EQUIPMENT SHALL OPERATE INSIDE THE PROTECTIVE FENCING INCLUDING DURING FENCE INSTALLATION AND REMOVAL.
 - SEE SITE PLANS FOR IDENTIFICATIONS/LOCATIONS OF INDIVIDUAL TREES TO BE PROTECTED.
 - ALL EXCAVATION WITHIN THE CROWN/DRIPLINE OF ANY TREE SHALL BE PERFORMED UNDER THE DIRECT SUPERVISION OF THE PROJECT LANDSCAPE ARCHITECT OR PROFESSIONAL ARBORIST. SPECIAL MEASURES, SUCH AS THE USE OF AN AIR SPADE MAY BE REQUIRED.
 - THE CONTRACTOR MAY PROPOSE THE USE OF ENGINEERED MATTING OR OTHER ENGINEERED PRODUCTS IN LIEU OF MULCH, WHICH SHALL BE SUBJECT TO THE REVIEW AND APPROVAL OF ALL AUTHORITIES HAVING JURISDICTION.

TREE PROTECTION

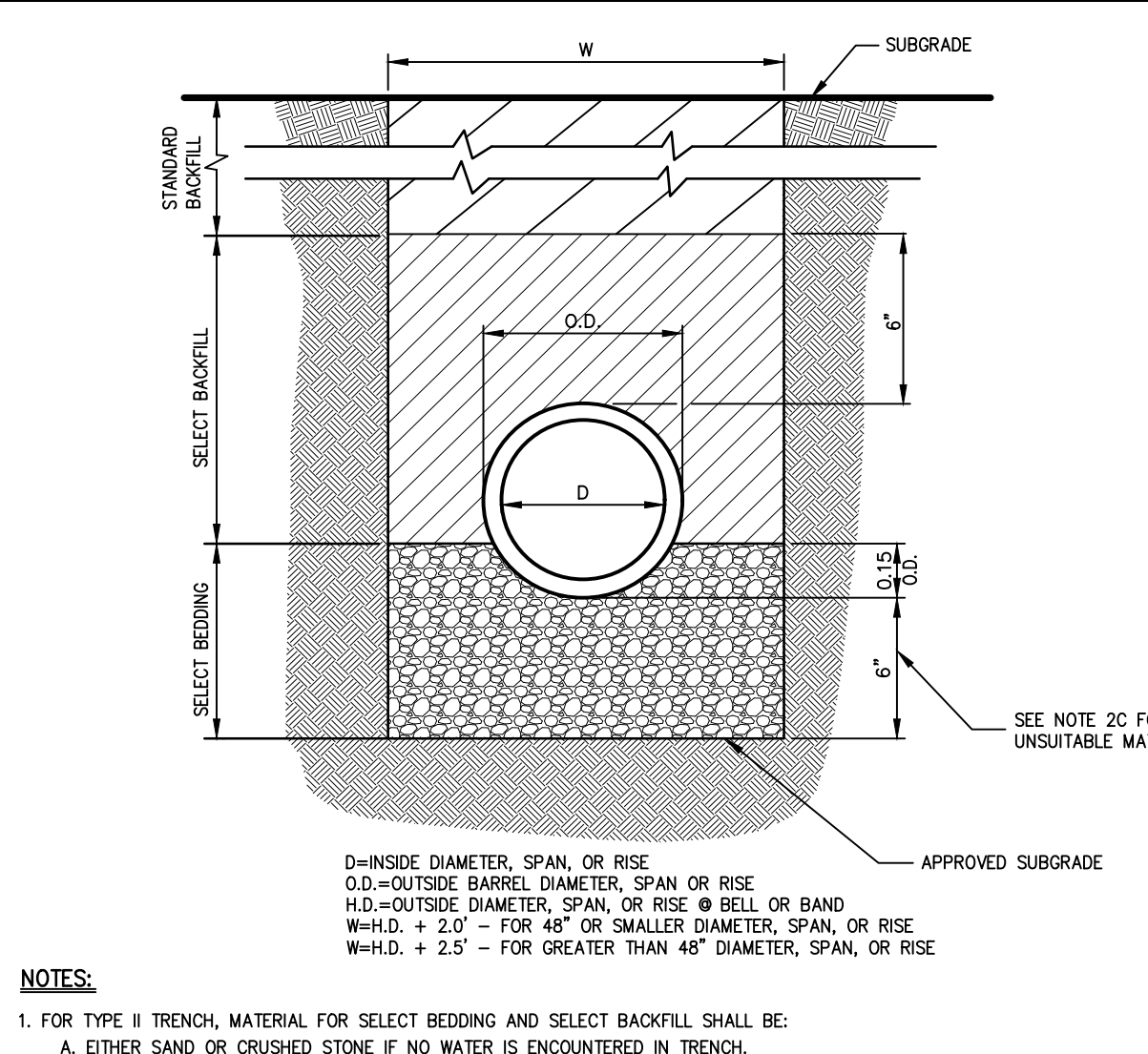
5



- NOTES:**
- UTILITIES TO BE INSTALLED IN ACCORDANCE WITH THE REGULATIONS AND REQUIREMENTS OF THE UTILITY COMPANY HAVING JURISDICTION.
 - BACKFILL FOR PIPE AND CONDUIT SHALL BE PLACED EVENLY AND CAREFULLY AROUND AND OVER THE PIPE OR CONDUIT IN SIX (6) INCH MAXIMUM LAYERS. EACH LAYER SHALL BE THOROUGHLY AND CAREFULLY COMPACTED UNTIL TWELVE (12) INCHES OF COVER EXISTS OVER THE PIPE OR CONDUIT. THE REMAINDER OF THE BACKFILL MAY THEN BE PLACED AND COMPACTED IN A MAXIMUM OF TWELVE (12) INCH LAYERS. EACH LAYER SHALL BE COMPACTED BY APPROVED MECHANICAL TAMPING MACHINES. UNLESS OTHERWISE SPECIFIED BACKFILL SHALL BE COMPACTED TO NOT LESS THAN [REDACTED] MAXIMUM MODIFIED DENSITY IN ACCORDANCE WITH ASTM DESIGNATION D-1557 IN THE MANNER HEREIN DESCRIBED. BACKFILL SHALL PROCEED UP TO THE LINES AND GRADES AS SHOWN ON THE DRAWINGS.

UTILITY TRENCH DETAIL

6



- NOTES:**
- FOR TYPE II TRENCH, MATERIAL FOR SELECT BEDDING AND SELECT BACKFILL SHALL BE:
 - EITHER SAND OR CRUSHED STONE IF NO WATER IS ENCOUNTERED IN TRENCH.
 - 3/4" CRUSHED STONE IF WATER IS ENCOUNTERED IN TRENCH.
 - TYPE II TRENCH SHALL BE USED IN ALL OF THE FOLLOWING CASES:
 - FOR ALL CORRUGATED POLYETHYLENE DRAIN PIPE (CPDP) AND PVC PIPE AND CONDUIT INSTALLATION.
 - WHEN ROCK OR HARDPAN IS ENCOUNTERED IN BOTTOM OF TRENCH. IN SUCH CASE DEPTH OF UNDERCUTTING SHALL BE AS DIRECTED BY THE ENGINEER WITH 6" MINIMUM.
 - FOR ALL TRENCH EXCAVATION IN FILL AREAS, ALL EMBANKMENTS SHALL BE CONSTRUCTED TO A MINIMUM OF 2 FEET ABOVE THE OUTSIDE TOP (AT THE BELL) OF THE PIPE PRIOR TO BEGINNING ANY TRENCH EXCAVATION.
 - BACKFILL FOR PIPE AND CONDUIT SHALL BE PLACED EVENLY AND CAREFULLY AROUND AND OVER THE PIPE OR CONDUIT IN SIX (6) INCH MAXIMUM LAYERS. EACH LAYER SHALL BE THOROUGHLY AND CAREFULLY COMPACTED UNTIL TWELVE (12) INCHES OF COVER EXISTS OVER THE PIPE OR CONDUIT. THE REMAINDER OF THE BACKFILL MAY THEN BE PLACED AND COMPACTED IN A MAXIMUM OF TWELVE (12) INCH LAYERS. EACH LAYER SHALL BE COMPACTED BY APPROVED MECHANICAL TAMPING MACHINES. UNLESS OTHERWISE SPECIFIED BACKFILL SHALL BE COMPACTED TO NOT LESS THAN [REDACTED] MAXIMUM MODIFIED DENSITY IN ACCORDANCE WITH ASTM DESIGNATION D-1557 IN THE MANNER HEREIN DESCRIBED. BACKFILL SHALL PROCEED UP TO THE LINES AND GRADES AS SHOWN ON THE DRAWINGS.

TYPE II TRENCH

7

No.	Revision	Date
1.	REVISED PER TOWN COMMENTS	01/13/2022
2.	REVISED PER BOARD OF TRUSTEES COMMENTS	12/01/2023
3.	REVISED PER BOARD OF TRUSTEES COMMENTS	01/31/2024
4.	REVISED PER BOARD OF TRUSTEES COMMENTS	03/22/2024

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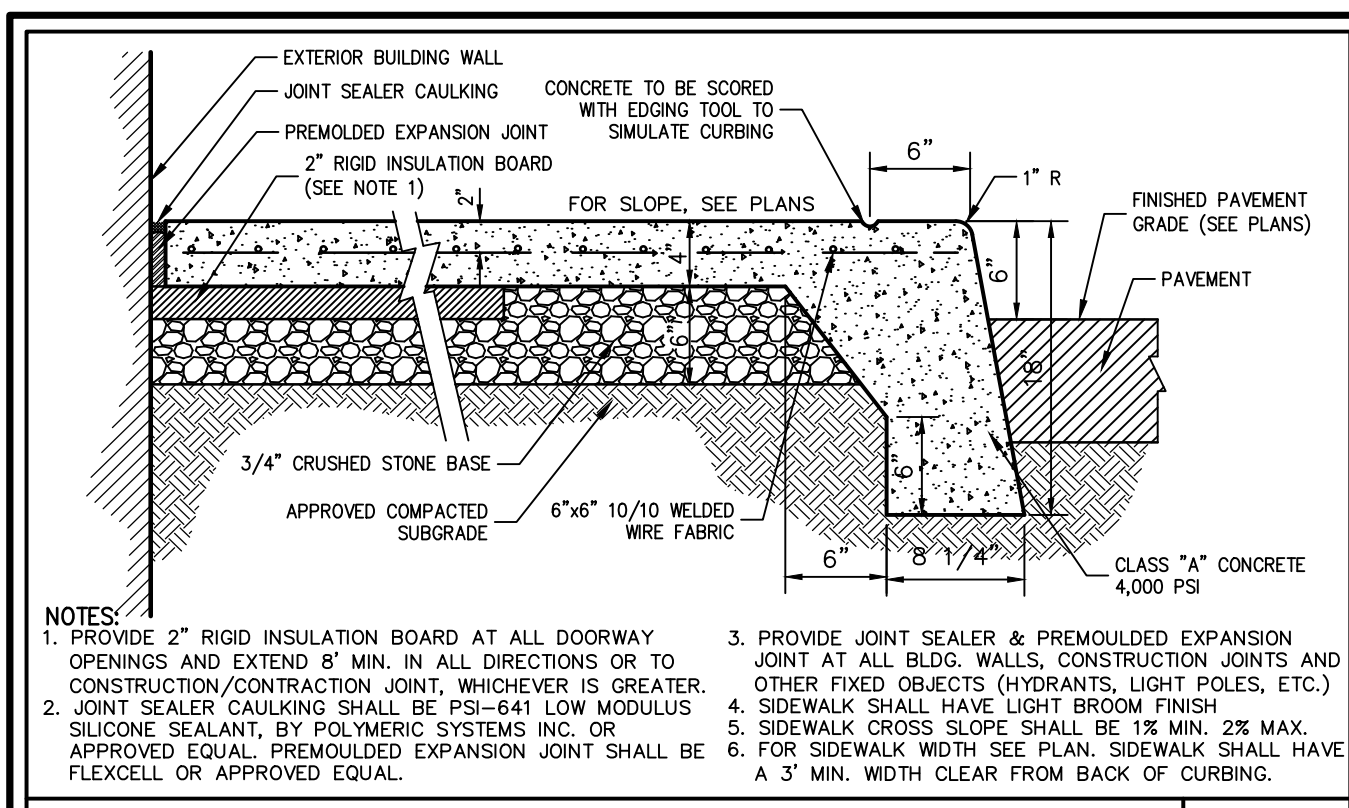
SITE DETAILS
GAS STATION / CONVENIENCE MARKET
657 SAW MILL RIVER ROAD
VILLAGE OF ARDSLEY, NEW YORK

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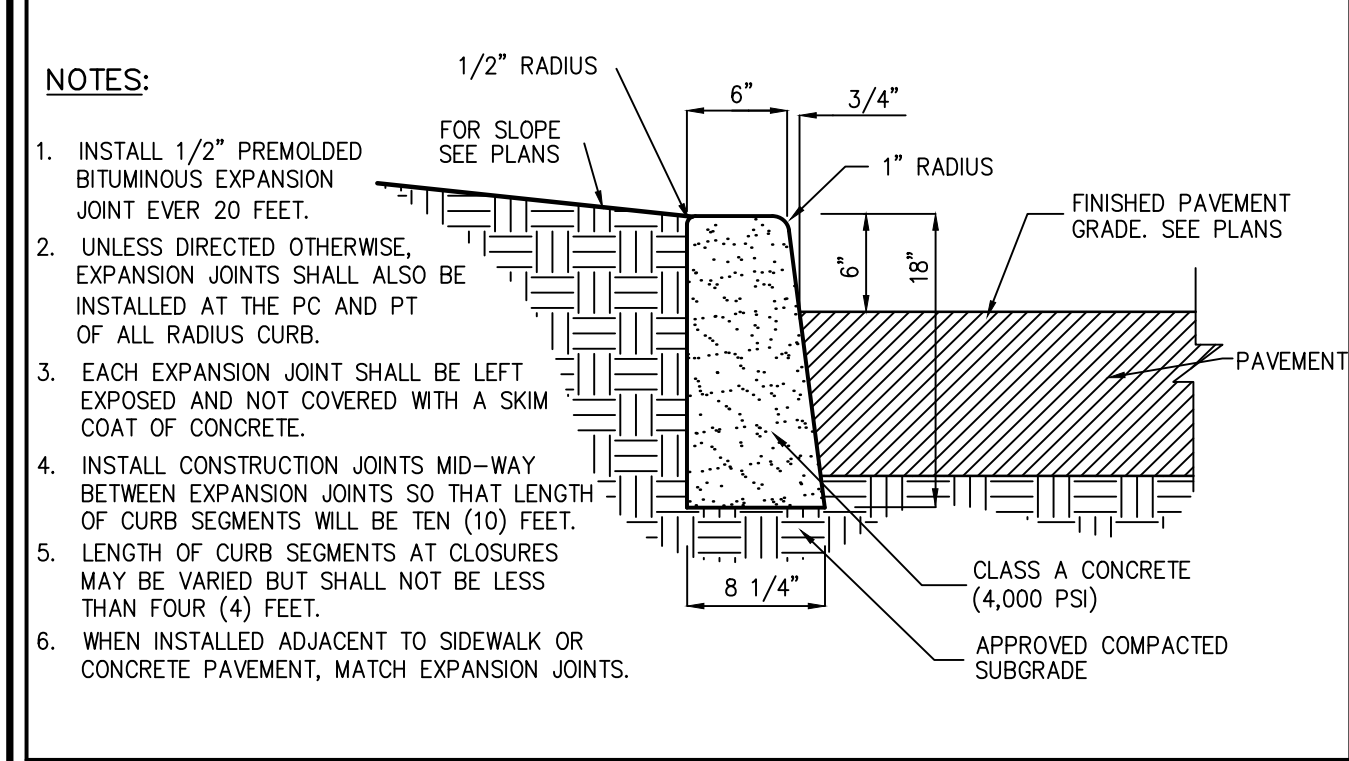
Drawn: **KRM** Approved: **RJP**
Scale: **NOT TO SCALE**
Date: **06/26/2020**
Project No: **18175**
18175-DETAILS C-900
Drawing No:

C-900

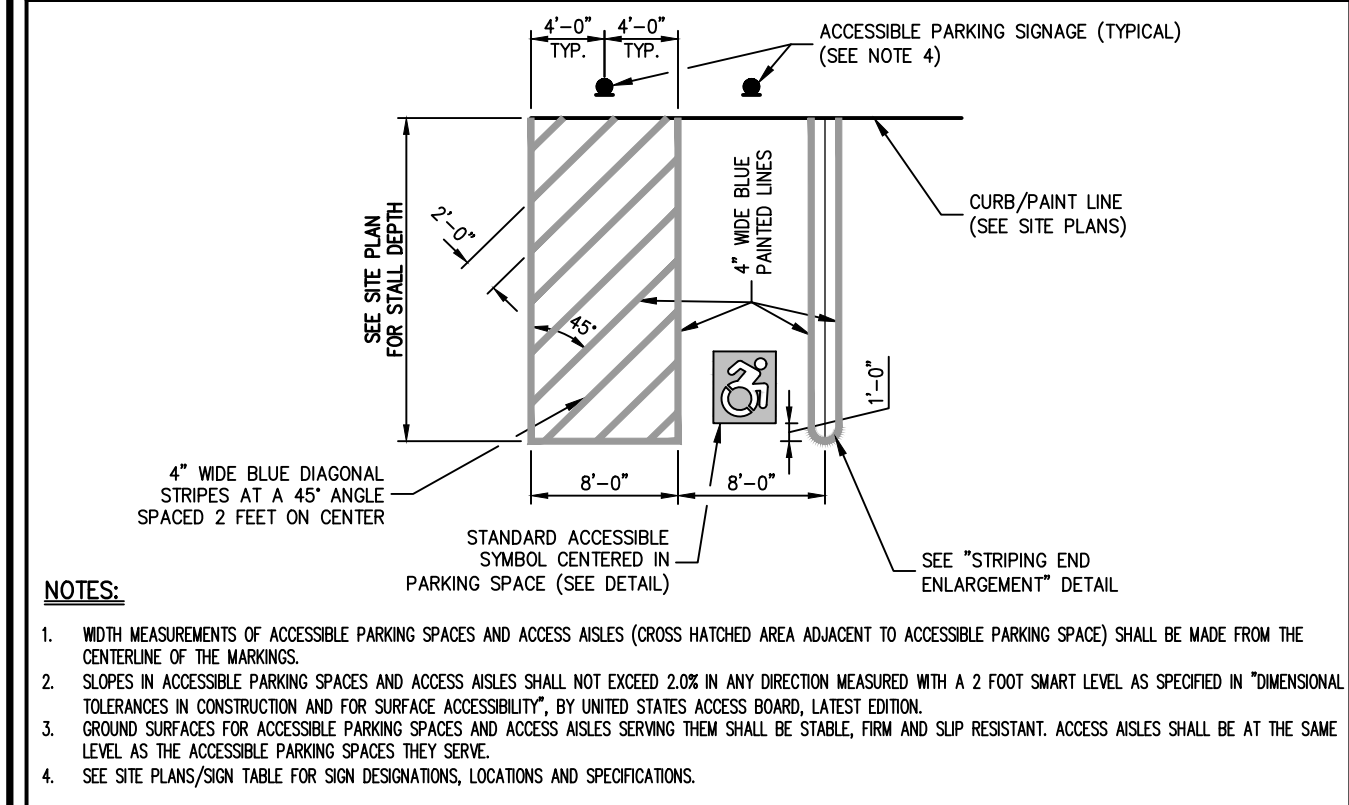
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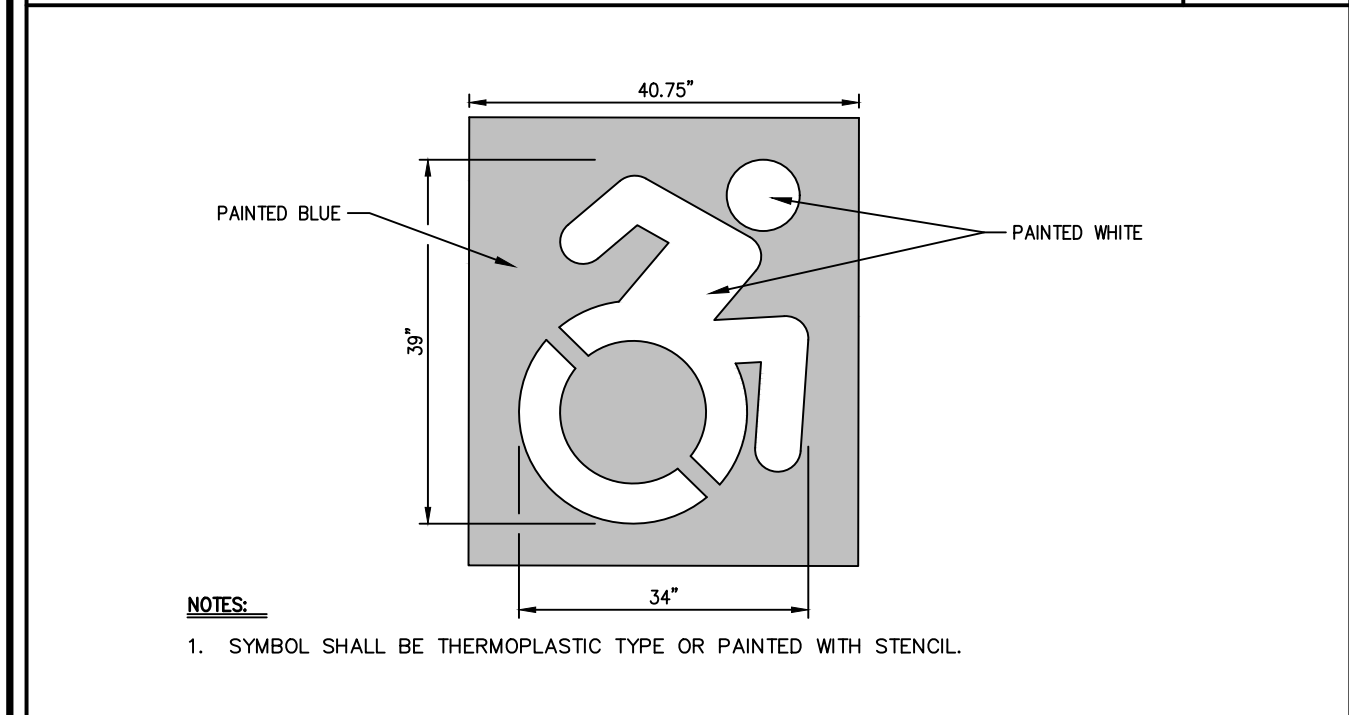
BUILDING PERIMETER MONOLITHIC CURB & SIDEWALK 8



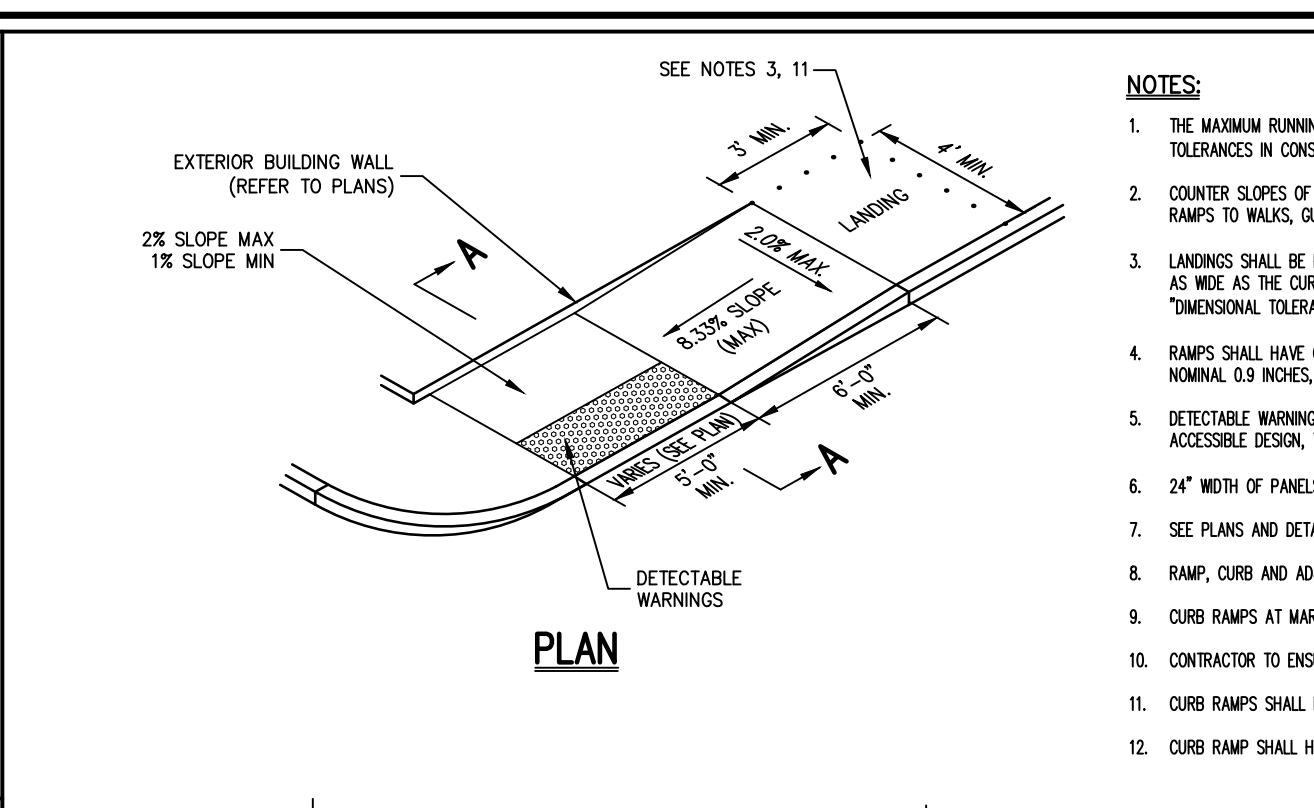
CAST-IN-PLACE CONCRETE CURB 9



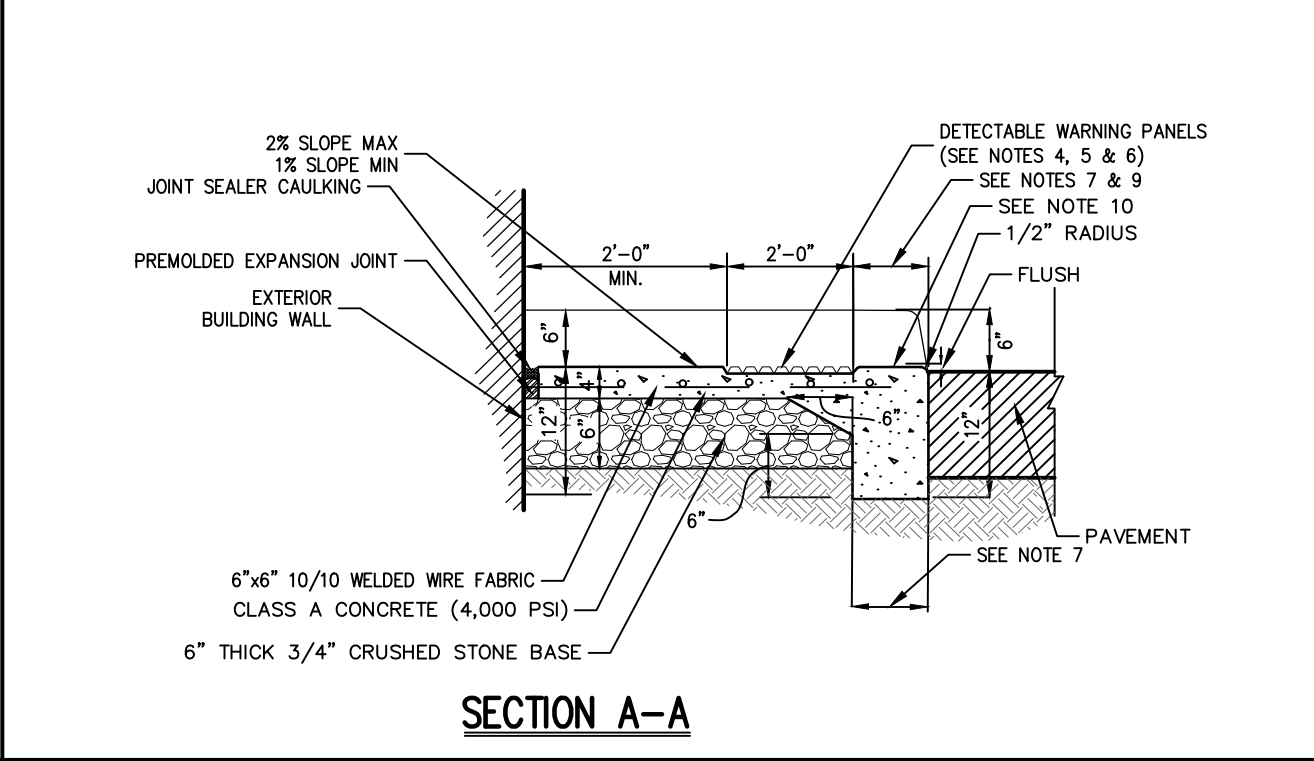
ACCESSIBLE PARKING 13



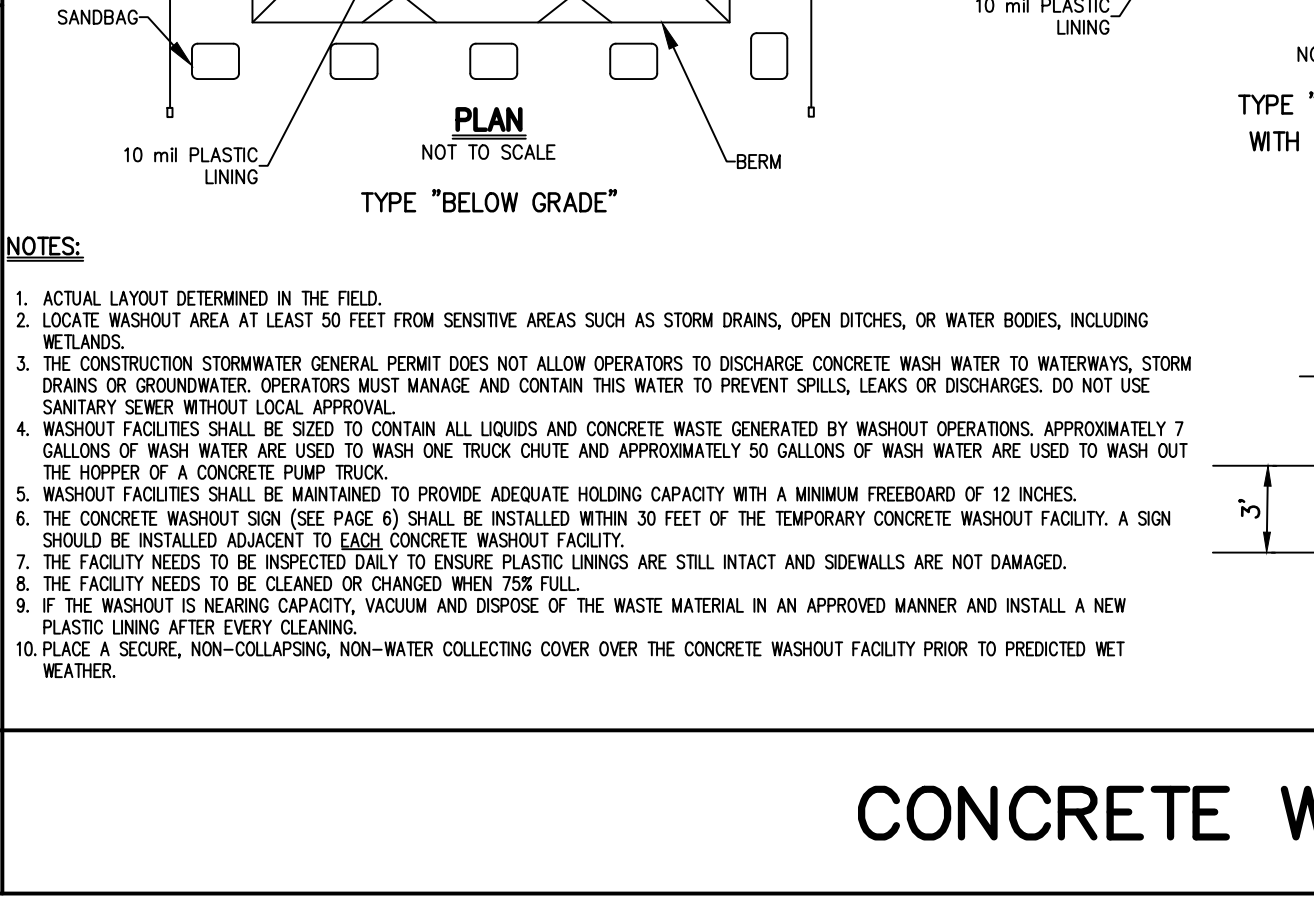
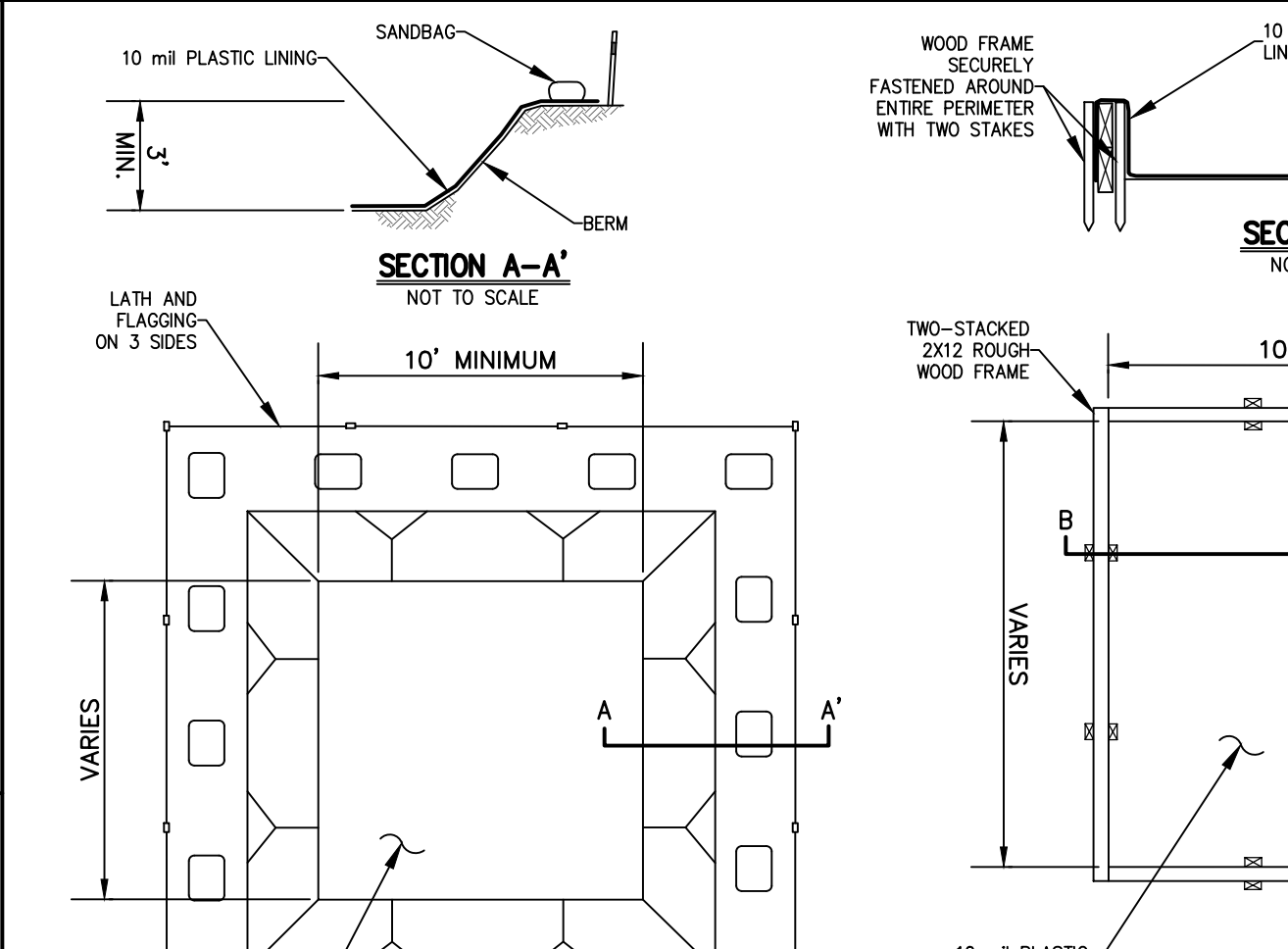
PAINTED ACCESSIBLE SYMBOL 13A



SITE PARALLEL CURB RAMP 10

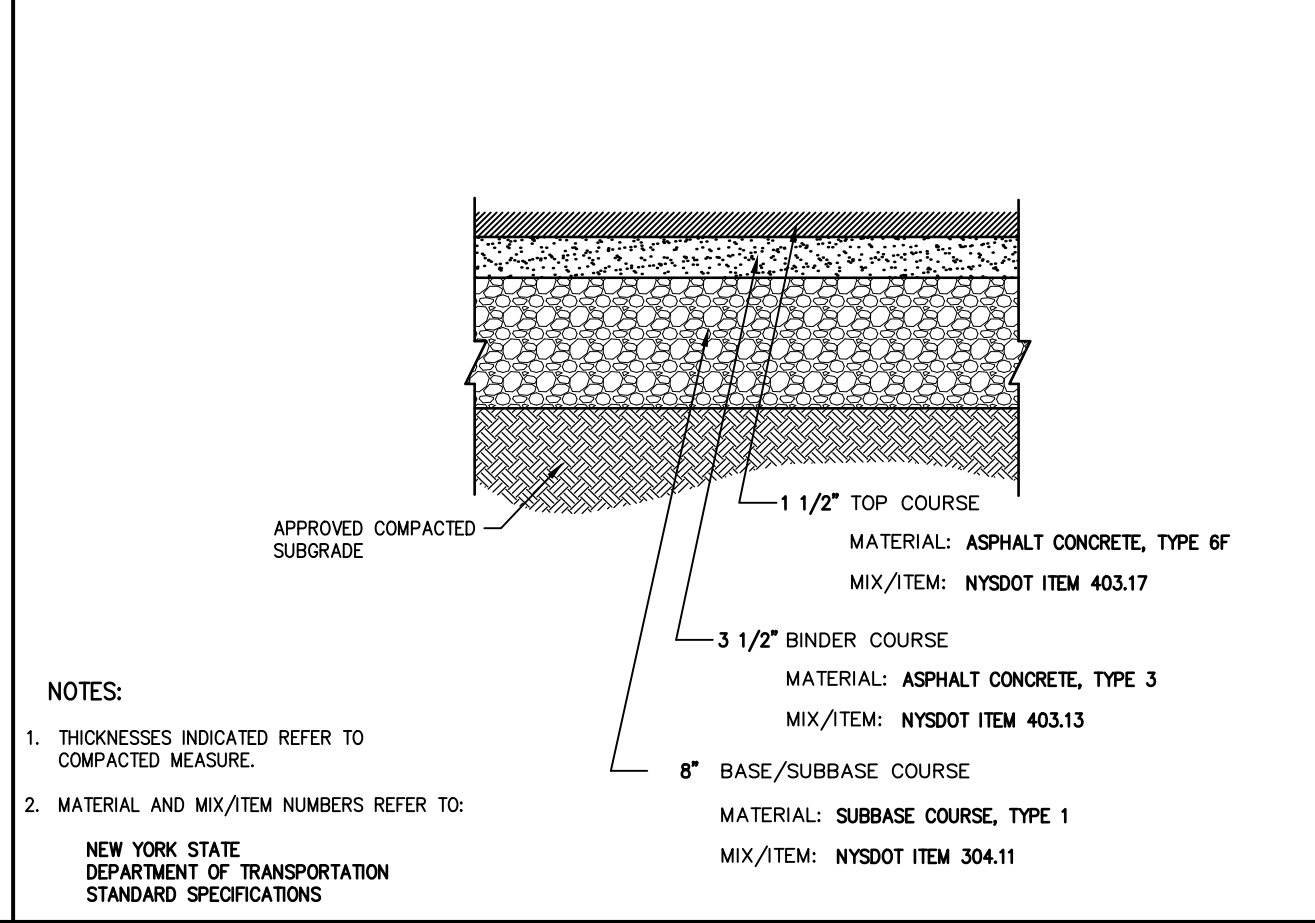


SITE PAVEMENT (HEAVY DUTY) 11

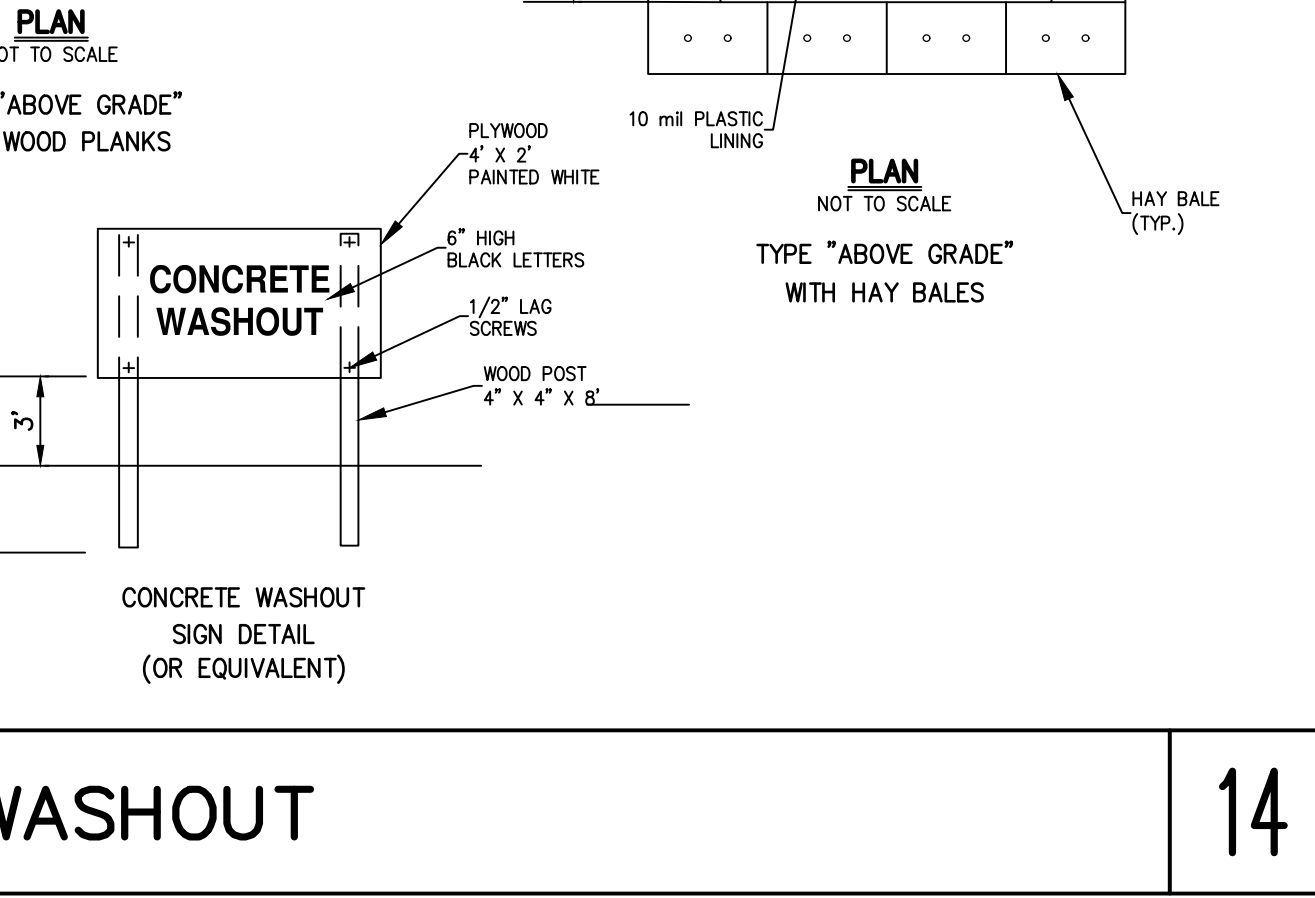
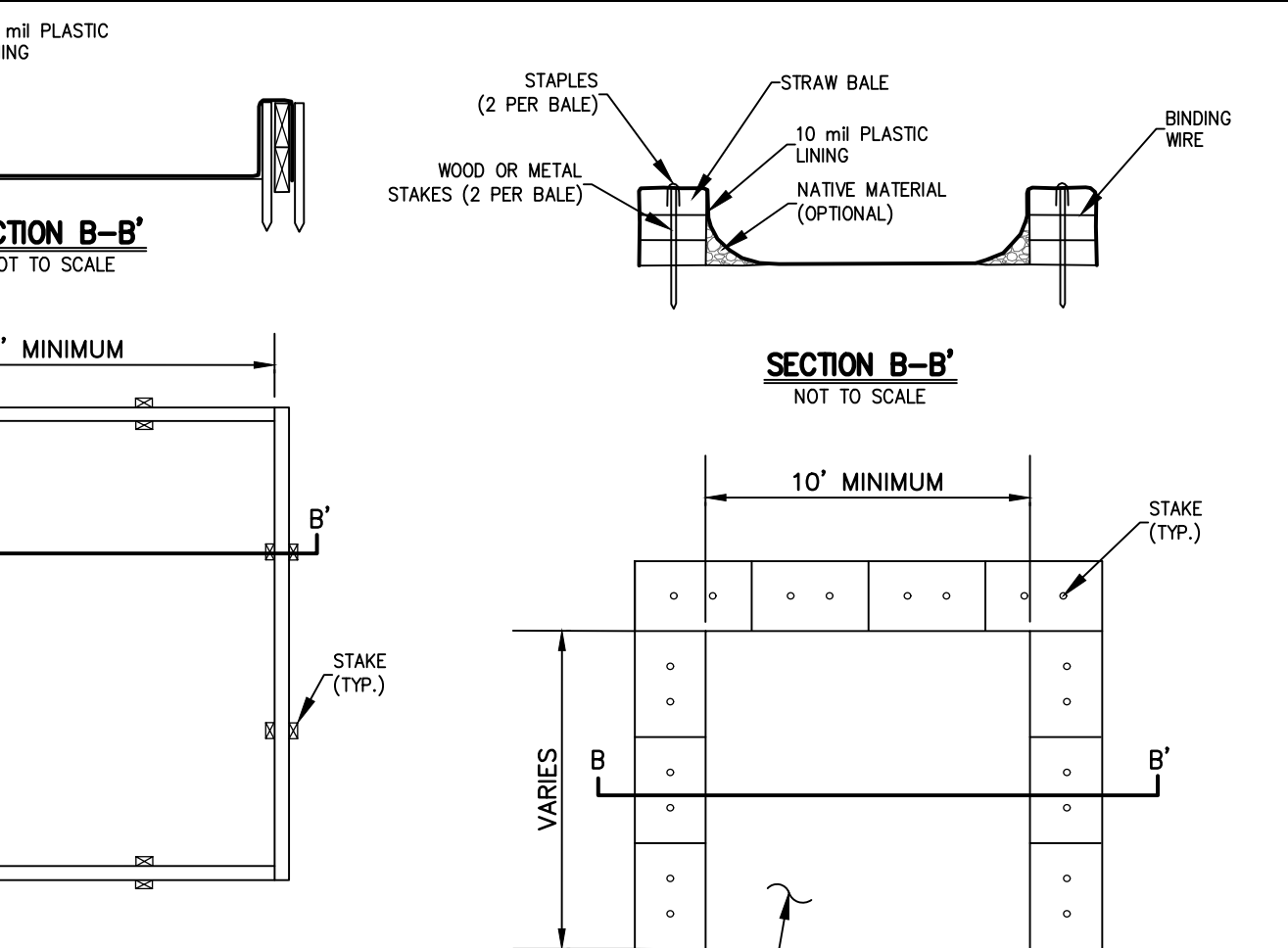


CONCRETE WASHOUT 14

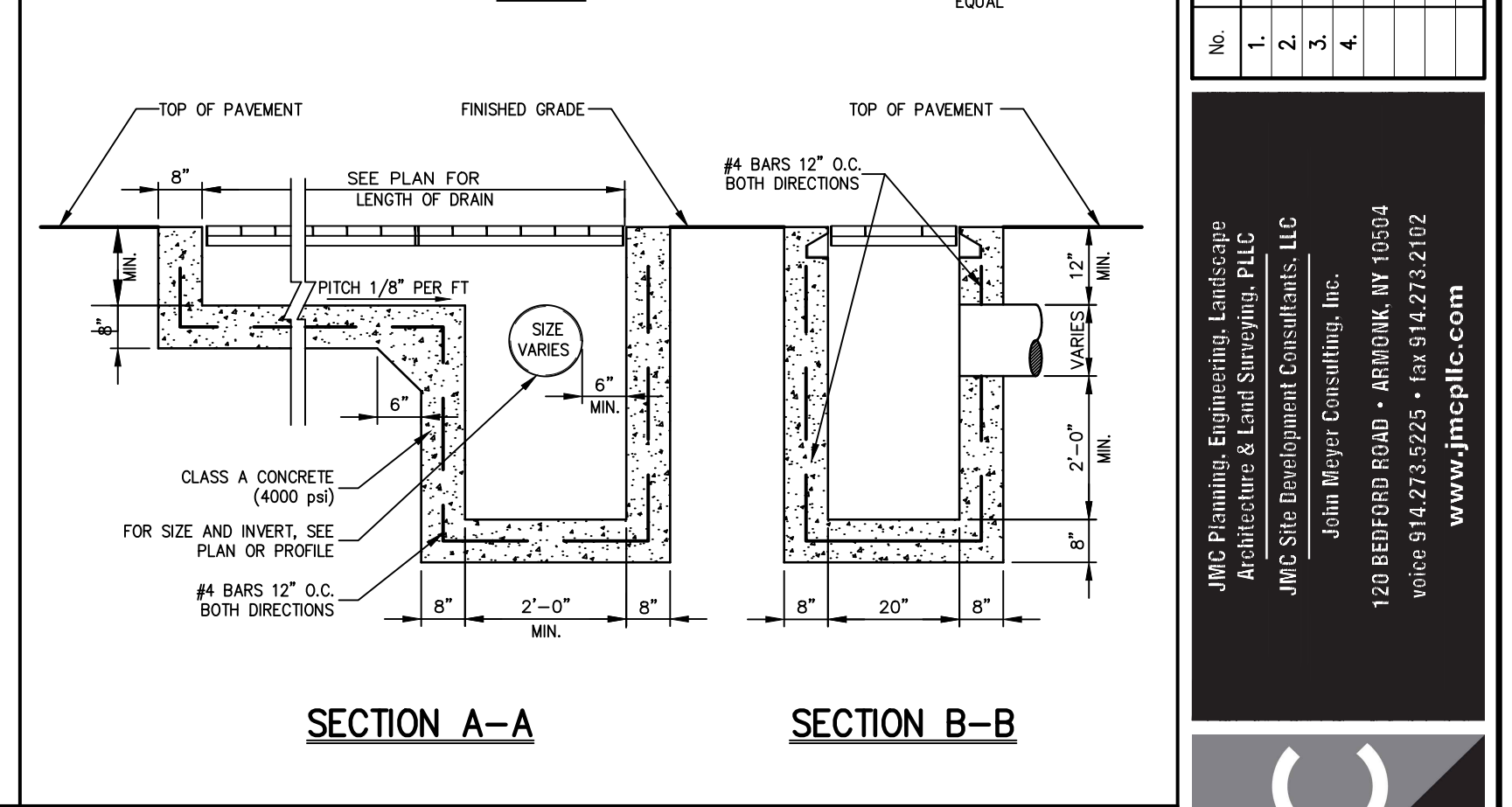
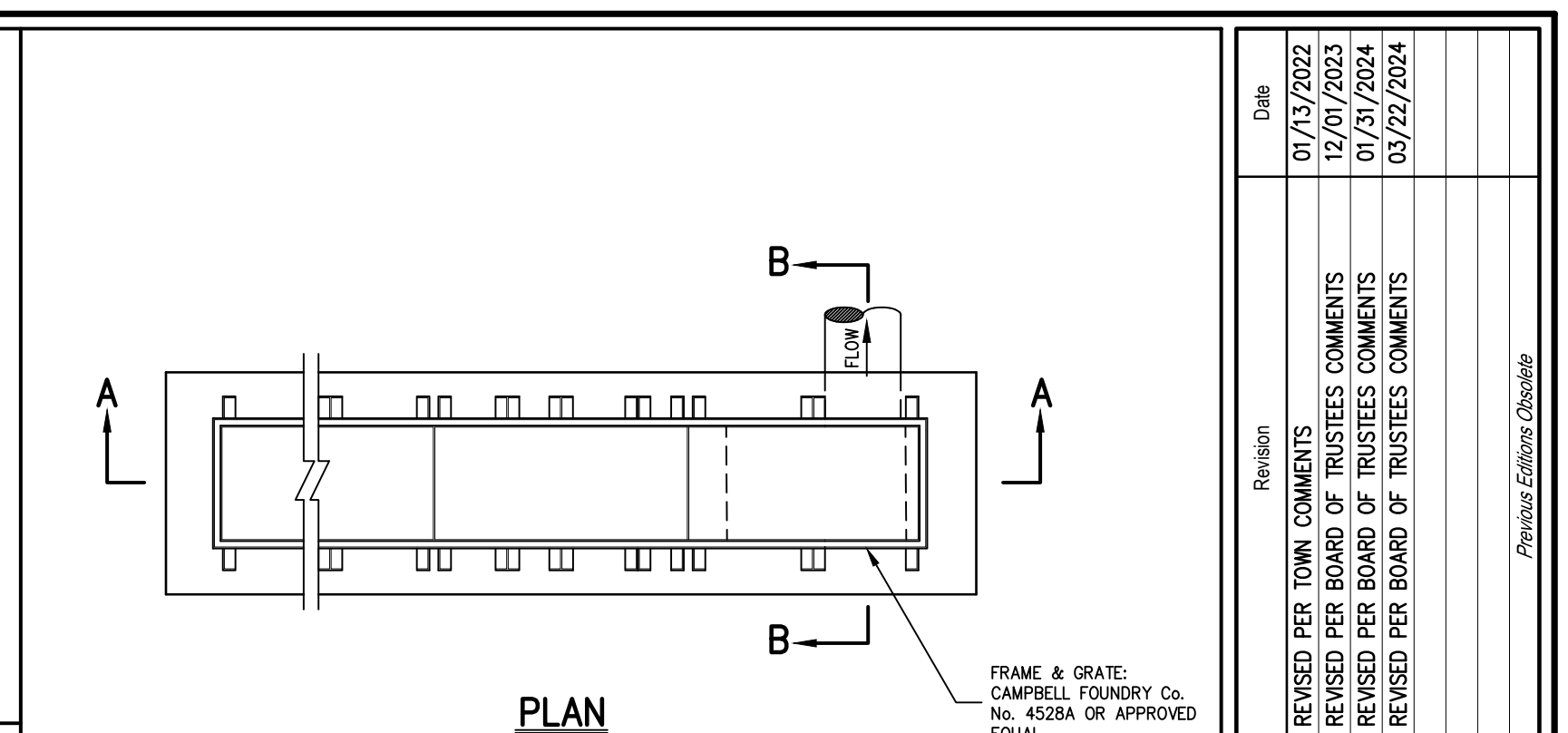
NOTES:
 1. THE MAXIMUM RUNNING SLOPE OF A CURB RAMP SHALL BE 8.33% AND THE MAXIMUM CROSS SLOPE SHALL BE 2.0% MEASURED WITH A 2 FOOT SMART LEVEL AS SPECIFIED IN DIMENSIONAL TOLERANCES IN CONSTRUCTION AND FOR SURFACE ACCESSIBILITY, BY UNITED STATES ACCESS BOARD, LATEST EDITION.
 2. COUNTER SLOPES OF ADJACENT CURBS AND ROAD SURFACES IMMEDIATELY ADJACENT TO THE CURB RAMP SHALL NOT BE STEEPER THAN 5% THE ADJACENT SURFACES AT TRANSITIONS AT CURB RAMP TO WALKS, CUTTERS AND STREETS SHALL BE AT THE SAME LEVEL.
 3. LANDINGS SHALL BE PROVIDED AT THE TOP OF CURB RAMP. THE CLEAR LENGTH OF THE LANDING SHALL BE THIRTY-SIX (36) INCHES MINIMUM. THE CLEAR WIDTH OF THE LANDING SHALL BE AT LEAST AS WIDE AS THE CURB RAMP. LEADING TO THE LANDING, LANDINGS SHALL HAVE A SLOPE NOT STEEPER THAN 2% IN ANY DIRECTION MEASURED WITH A 2 FOOT SMART LEVEL AS SPECIFIED IN DIMENSIONAL TOLERANCES IN CONSTRUCTION AND FOR SURFACE ACCESSIBILITY, BY UNITED STATES ACCESS BOARD, LATEST EDITION.
 4. RAMP SHALL HAVE CAST IN PLACE DETECTABLE WARNING SURFACES AS MANUFACTURED BY HOKER-TILE (OR APPROVED EQUAL) AND SHALL CONSIST OF RAISED TRUNCATED DOMES WITH A BASE DIAMETER OF NOMINAL 8/8 INCHES, A HEIGHT OF NOMINAL 1/2 INCHES AND A CENTER TO CENTER SPACING OF NOMINAL 1.6 INCHES.
 5. DETECTABLE WARNING SURFACES SHALL CONTRAST VISUALLY WITH ADJACENT WALKING SURFACES, EITHER LIGHT-ON-DARK OR DARK-ON-LIGHT IN ACCORDANCE WITH THE ADA STANDARDS FOR ACCESSIBLE DESIGN, THE BUILDING CODE, AND APPLICABLE LOCAL LAWS AND REGULATIONS, LATEST EDITIONS.
 6. 24\"/>



TRENCH DRAIN (END OUTLET) 12

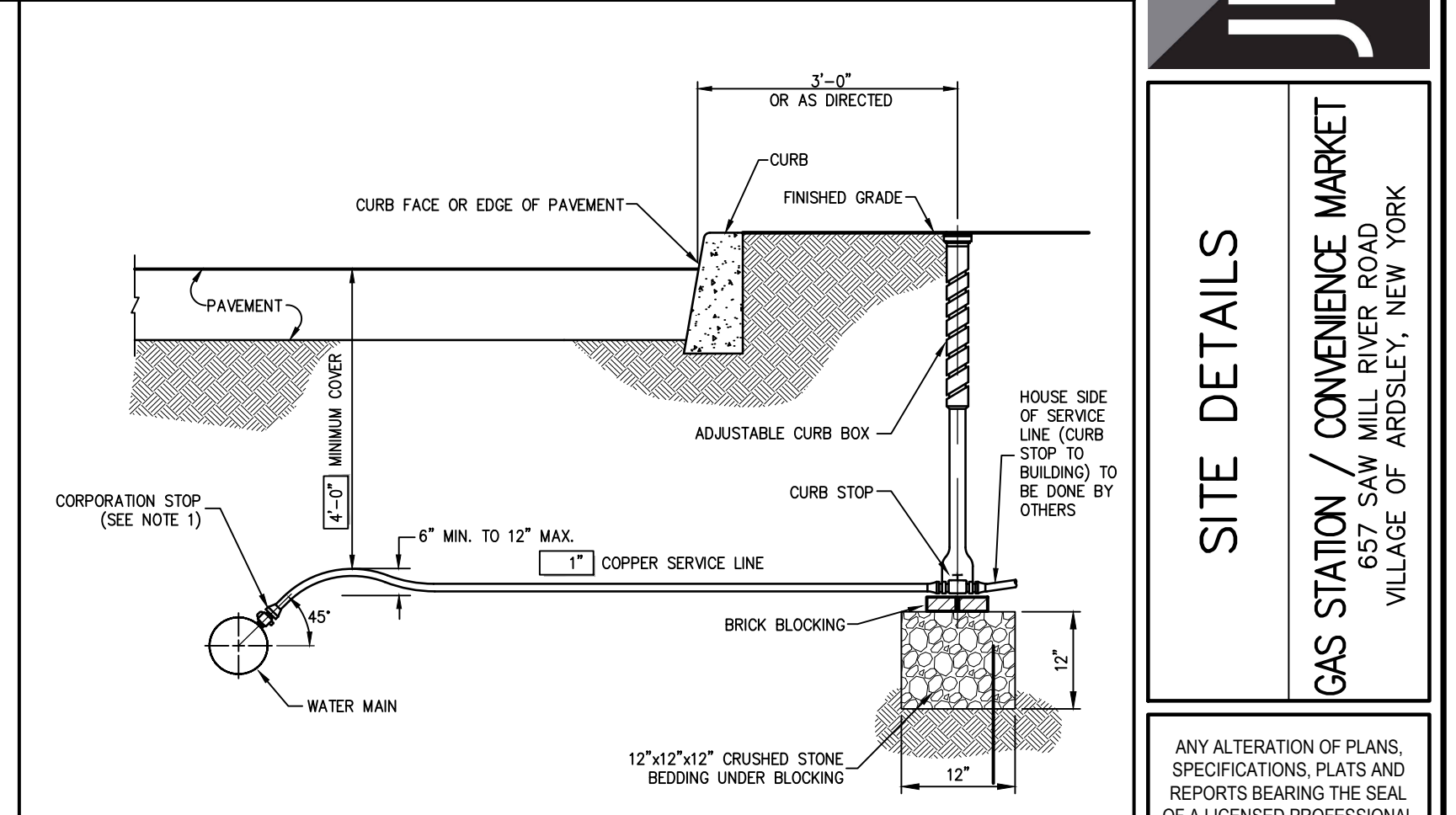


WATER SERVICE CONNECTION 15



SERVICE LINE REQUIREMENTS

SIZE	SERVICE LINE (MATERIALS)	CORPORATION STOP	CURB STOP	CURB BOX	ENLARGED BASE
3/4"	COPPER, TYPE K	H-15008 N	H-15214 N	H-10308	Not Applicable
1"	COPPER, TYPE K	H-15008 N	H-15214 N	H-10308	Not Applicable
1-1/2"	COPPER, TYPE K	H-15013 N	H-15214 N	H-10310	Not Applicable
2"	COPPER, TYPE K	H-15013 N	H-15214 N	H-10310	H-10349

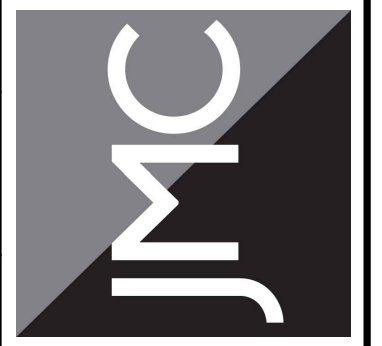


NOTES:
 1. INSTALLATION OF 1-1/2" AND 2" CORPORATION STOPS SHALL BE MADE IN THE UPPER PIPE QUADRANT, BUT MAY BE MADE AT ANGLES LESS THAN 45° IF APPROVED BY THE OWNER'S FIELD REPRESENTATIVE.
 2. SERVICE LINE SHALL HAVE NO JOINTS BETWEEN THE WATER MAIN AND CURB STOP.
 3. CORPORATION STOP, CURB STOP, CURB BOX AND ENLARGED BASE FOR CURB BOX SHALL BE MUELLER COMPANY OR APPROVED EQUAL. CATALOG NUMBERS SHOWN REFER TO MUELLER COMPANY.
 4. ALL SERVICE BRASS SHALL COMPLY WITH ANSA C-800. COMPONENTS IN CONTACT WITH POTABLE WATER SHALL ALSO COMPLY WITH LATEST REQUIREMENTS OF THE FEDERAL SAFE DRINKING WATER ACT.

Revision

No.	Date	Comments
1.	01/13/2022	REVISED PER TOWN COMMENTS
2.	12/01/2023	REVISED PER BOARD OF TRUSTEES COMMENTS
3.	01/31/2024	REVISED PER BOARD OF TRUSTEES COMMENTS
4.	03/22/2024	REVISED PER BOARD OF TRUSTEES COMMENTS

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 JMC Site Development Consultants, LLC
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 www.jmcpic.com



SITE DETAILS
 GAS STATION / CONVENIENCE MARKET
 657 SAW MILL RIVER ROAD
 VILLAGE OF ARDSLEY, NEW YORK

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Drawn: KRM Approved: RJP
 Scale: NOT TO SCALE
 Date: 05/26/2020
 Project No: 18175
 1815-DRAWING: C-901
 Drawing No: C-901

NOT FOR CONSTRUCTION

PROJECT INFORMATION

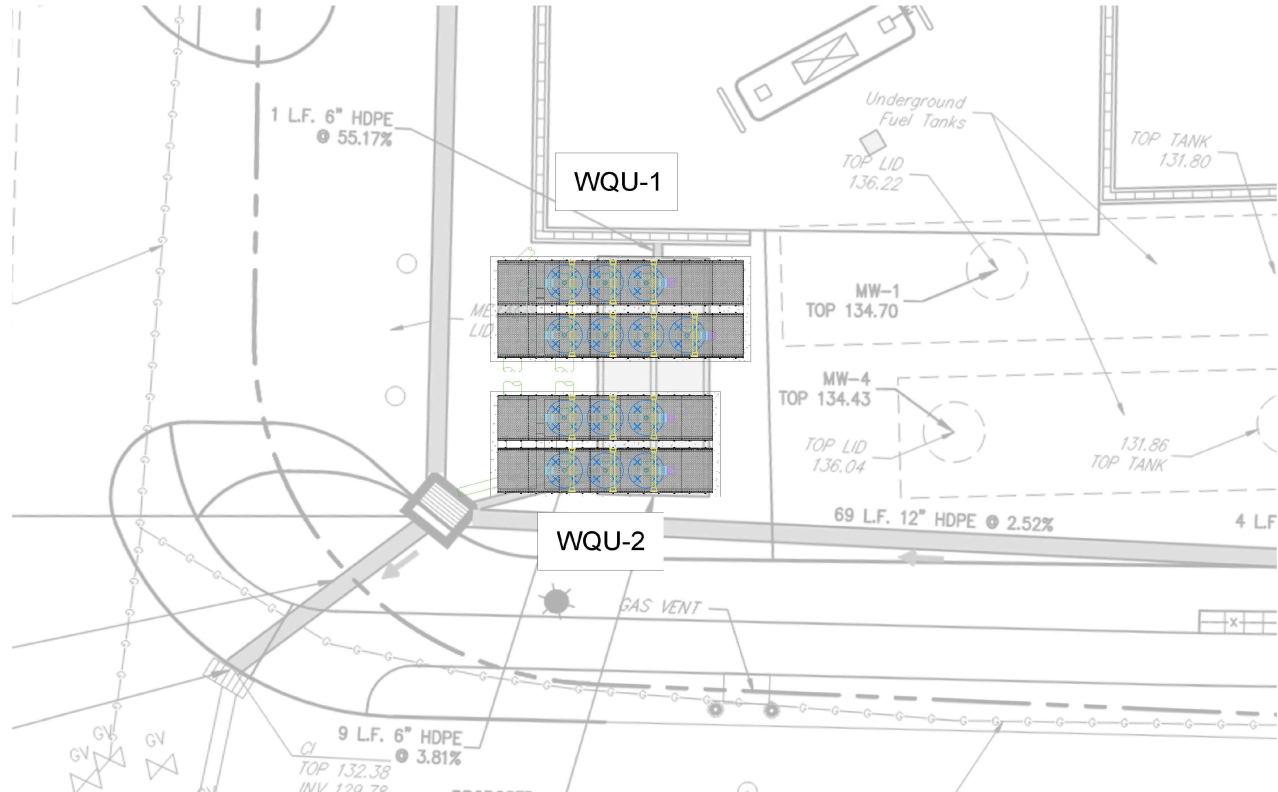
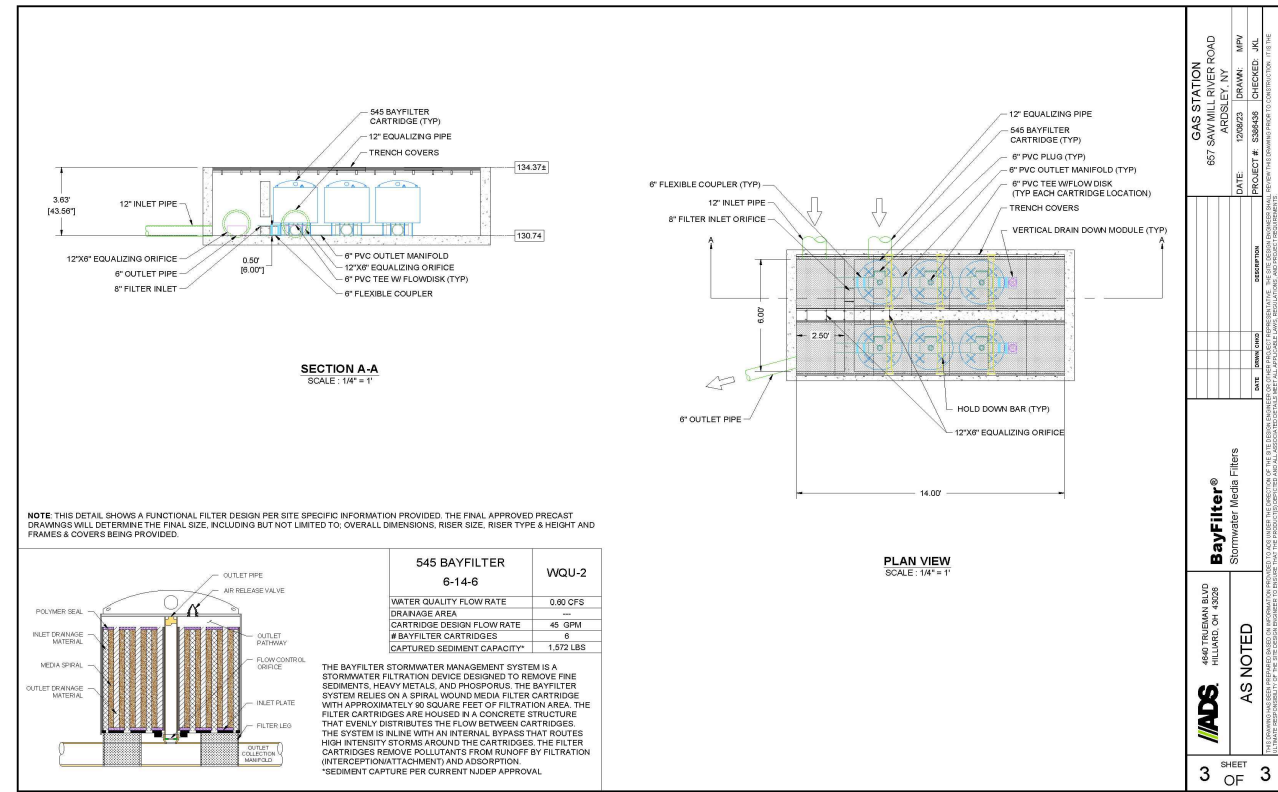
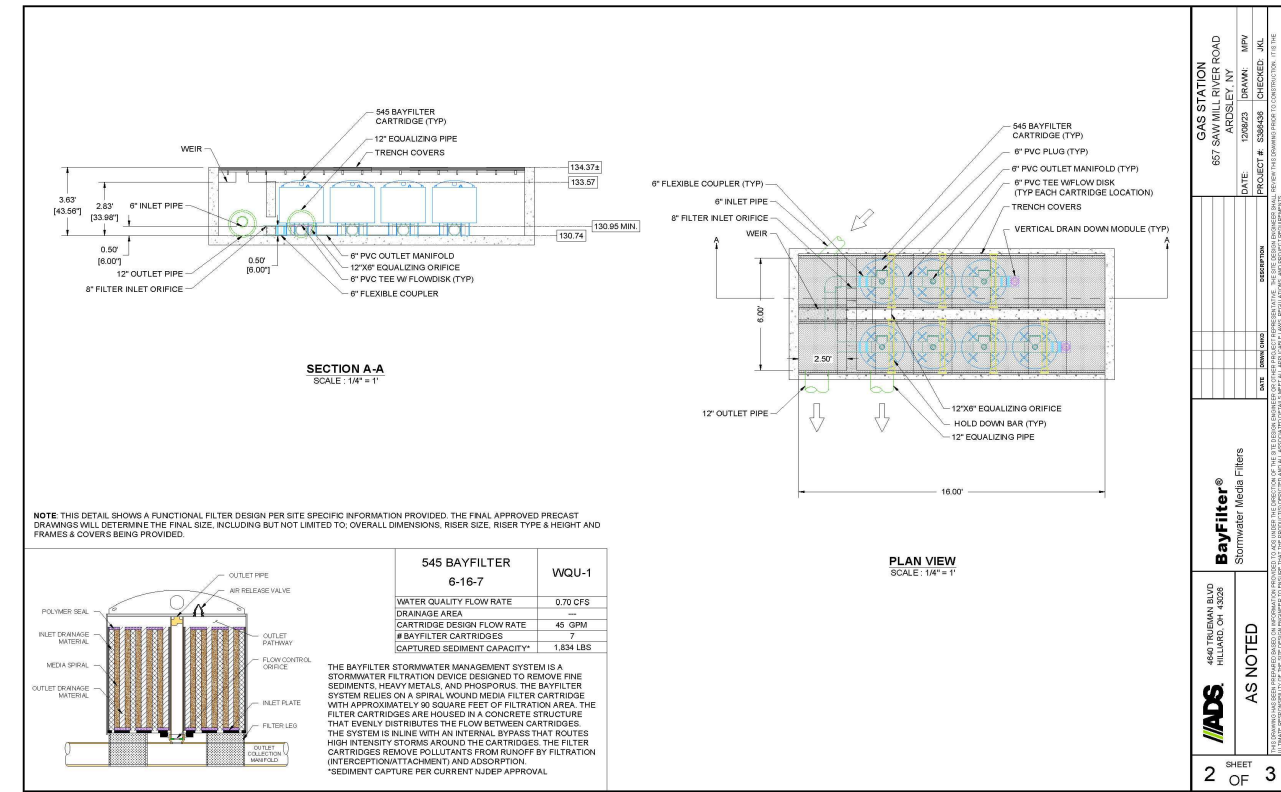
ADS
Advanced Drainage Systems, Inc.

**GAS STATION 657 SAW MILL RIVER ROAD
ARDSLEY, NY**

BAYSAYER BAYFILTER SPECIFICATIONS

BAYFILTER MAINTENANCE

GENERAL NOTES



1.	REVISED PER TOWN COMMENTS	01/13/2022
2.	REVISED PER BOARD OF TRUSTEES COMMENTS	12/01/2023
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ADS SAND FILTER

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CASCADE SEPARATOR DESIGN NOTES

THE STANDARD CS-4 CONFIGURATION IS SHOWN. ALTERNATE CONFIGURATIONS ARE AVAILABLE AND ARE LISTED BELOW. SOME CONFIGURATIONS MAY BE COMBINED TO SUIT SITE REQUIREMENTS.

CONFIGURATION DESCRIPTION

- GRATED INLET ONLY (NO INLET PIPE)
- GRATED INLET WITH INLET PIPE OR PIPES
- CURB INLET ONLY (NO INLET PIPE)
- CURB INLET WITH INLET PIPE OR PIPES

SITE SPECIFIC DATA REQUIREMENTS

STRUCTURE ID	WATER QUALITY/FLOW RATE (OR I/A)	PEAK FLOW RATE (OR I/A)	RETURN PERIOD OF PEAK FLOW (YRS)	RIM ELEVATION
PIPE DATA	INVERT	MATERIAL	DIAMETER	
INLET PIPE 1				
INLET PIPE 2				
OUTLET PIPE				

GENERAL NOTES

- CONTECH TO PROVIDE ALL MATERIALS UNLESS NOTED OTHERWISE.
- FOR SITE SPECIFIC DRAWINGS WITH DETAILED STRUCTURE DIMENSIONS AND WEIGHT, PLEASE CONTACT YOUR CONTECH ENGINEERED SOLUTIONS LLC REPRESENTATIVE. www.conteches.com
- CASCADE SEPARATOR WATER QUALITY STRUCTURE SHALL BE IN ACCORDANCE WITH ALL DESIGN DATA AND INFORMATION CONTAINED IN THIS DRAWING. CONTRACTOR TO CONFIRM STRUCTURE MEETS REQUIREMENTS OF PROJECT.
- CASCADE SEPARATOR STRUCTURE SHALL MEET AASHTO H20-44 LOAD RATING, ASSUMING EARTH COVER OF 0'-2' (10') AND GROUNDWATER ELEVATION AT, OR BELOW, THE OUTLET PIPE INVERT ELEVATION. ENGINEER OF RECORD TO CONFIRM ACTUAL GROUNDWATER ELEVATION. CASTINGS SHALL MEET AASHTO M240 AND BE CAST WITH THE CONTECH LOG.
- CASCADE SEPARATOR STRUCTURE SHALL BE PRECAST CONCRETE CONFORMING TO ASTM C478 AND AASHTO LOAD FACTOR DESIGN METHOD.
- ALTERNATE UNITS ARE SHOWN IN MILLIMETERS [mm].

INSTALLATION NOTES

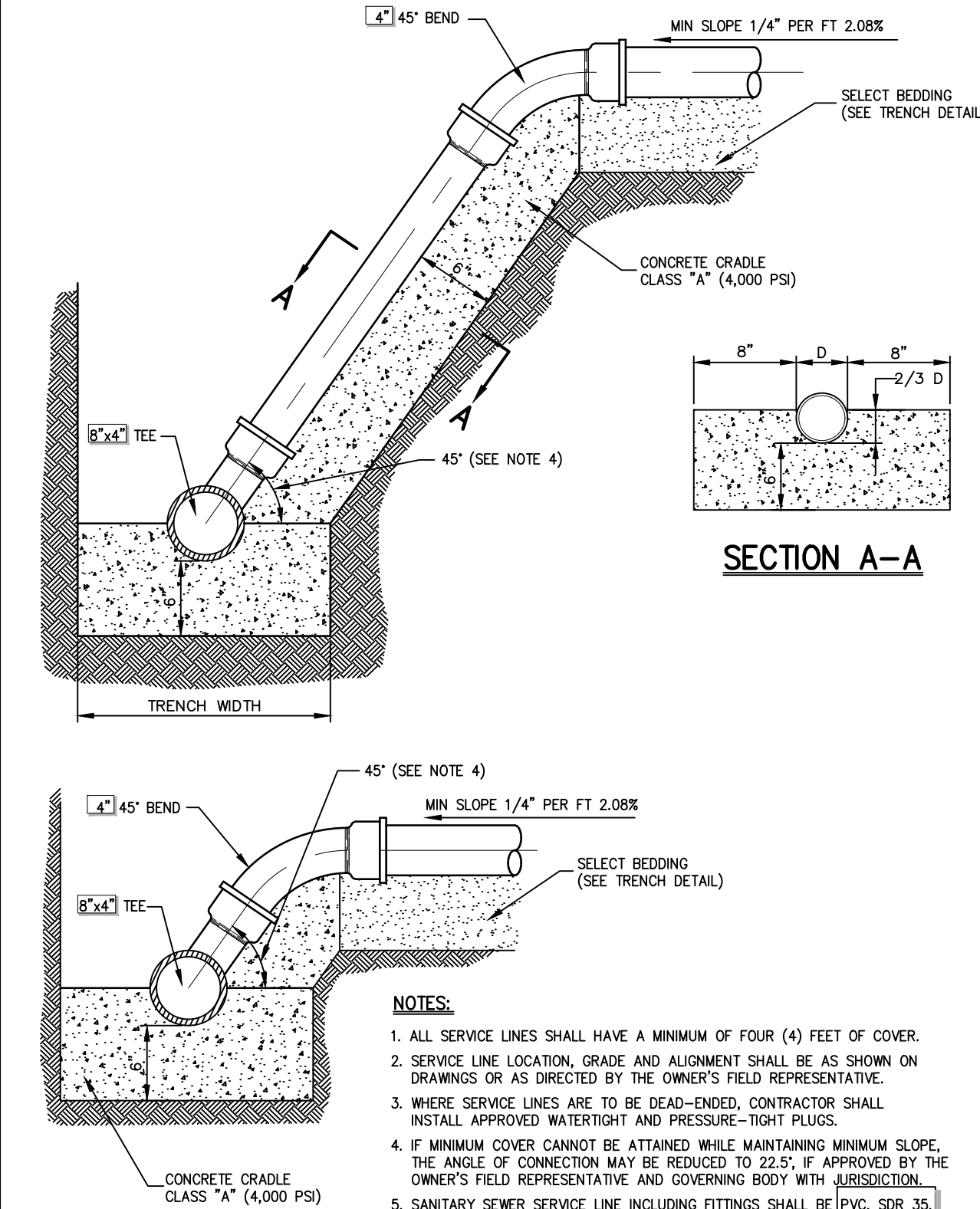
- ANY SUBBASE, BACKFILL DEPTH, AND/OR ANTI-FLOTATION PROVISIONS ARE SITE-SPECIFIC DESIGN CONSIDERATIONS AND SHALL BE SPECIFIED BY ENGINEER OF RECORD.
- CONTRACTOR TO PROVIDE EQUIPMENT WITH SUFFICIENT LIFTING AND REACH CAPACITY TO LIFT AND SET THE CASCADE SEPARATOR MANHOLE STRUCTURE.
- CONTRACTOR TO PROVIDE JOINT SEALANT BETWEEN ALL STRUCTURE SECTIONS AND ASSEMBLE STRUCTURE.
- CONTRACTOR TO PROVIDE, INSTALL, AND GROUT INLET AND OUTLET PIPES. MATCH PIPE INVERTS WITH ELEVATIONS SHOWN. ALL PIPE CENTERLINES TO MATCH PIPE OPENING CENTERLINES.
- CONTRACTOR TO TAKE APPROPRIATE MEASURES TO ASSURE UNIT IS WATER TIGHT, HOLDING WATER TO FLOWLINE INVERT MINIMUM. IT IS SUGGESTED THAT ALL JOINTS BELOW PIPE INVERTS ARE GROUTED.

CONTECH ENGINEERED SOLUTIONS LLC
www.conteches.com

CS-4 CASCADE SEPARATOR STANDARD DETAIL

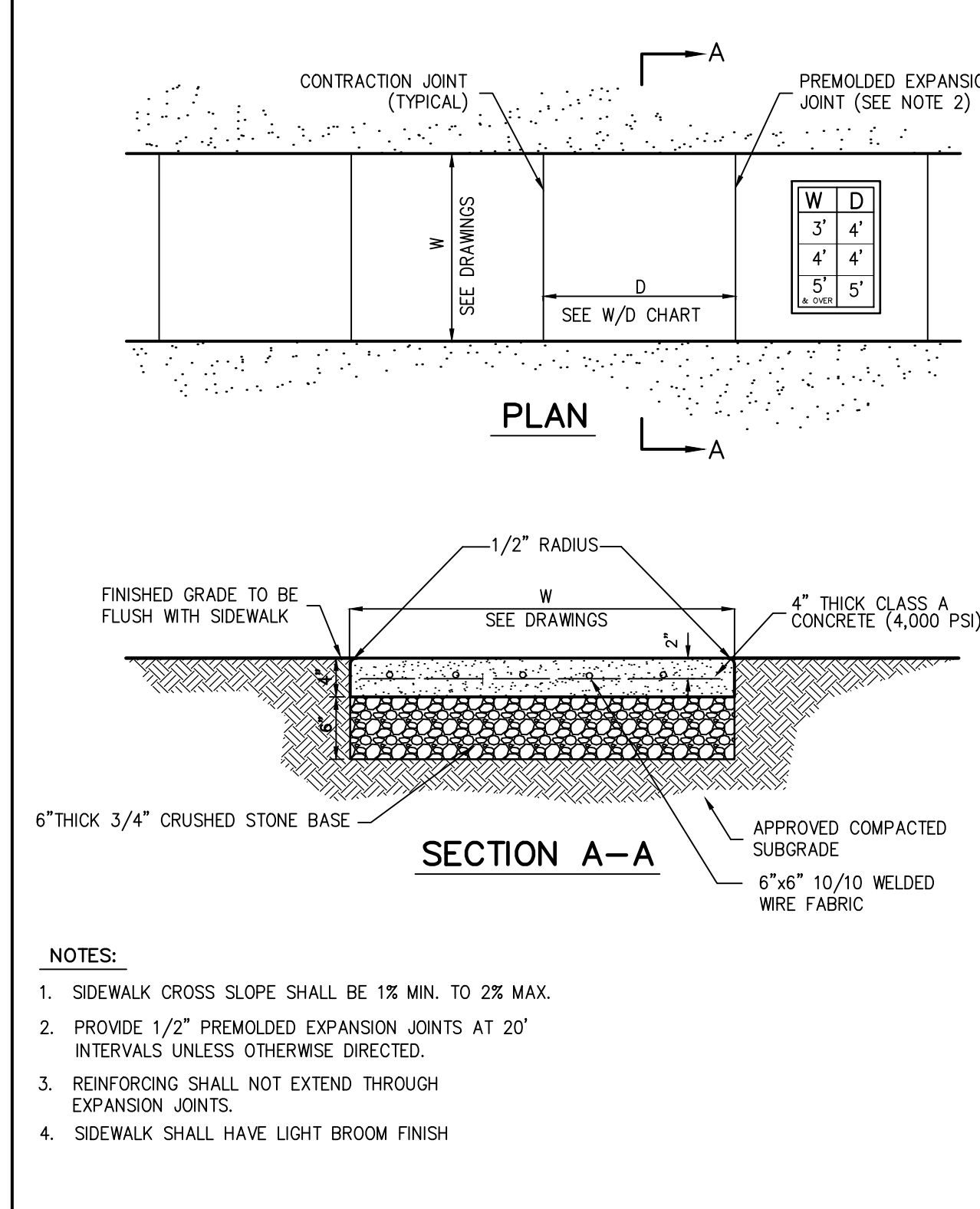
CASCADE SEPARATOR - CS-4

17



SANITARY SEWER SERVICE CONNECTION

18



CONCRETE SIDEWALK

19

JMC

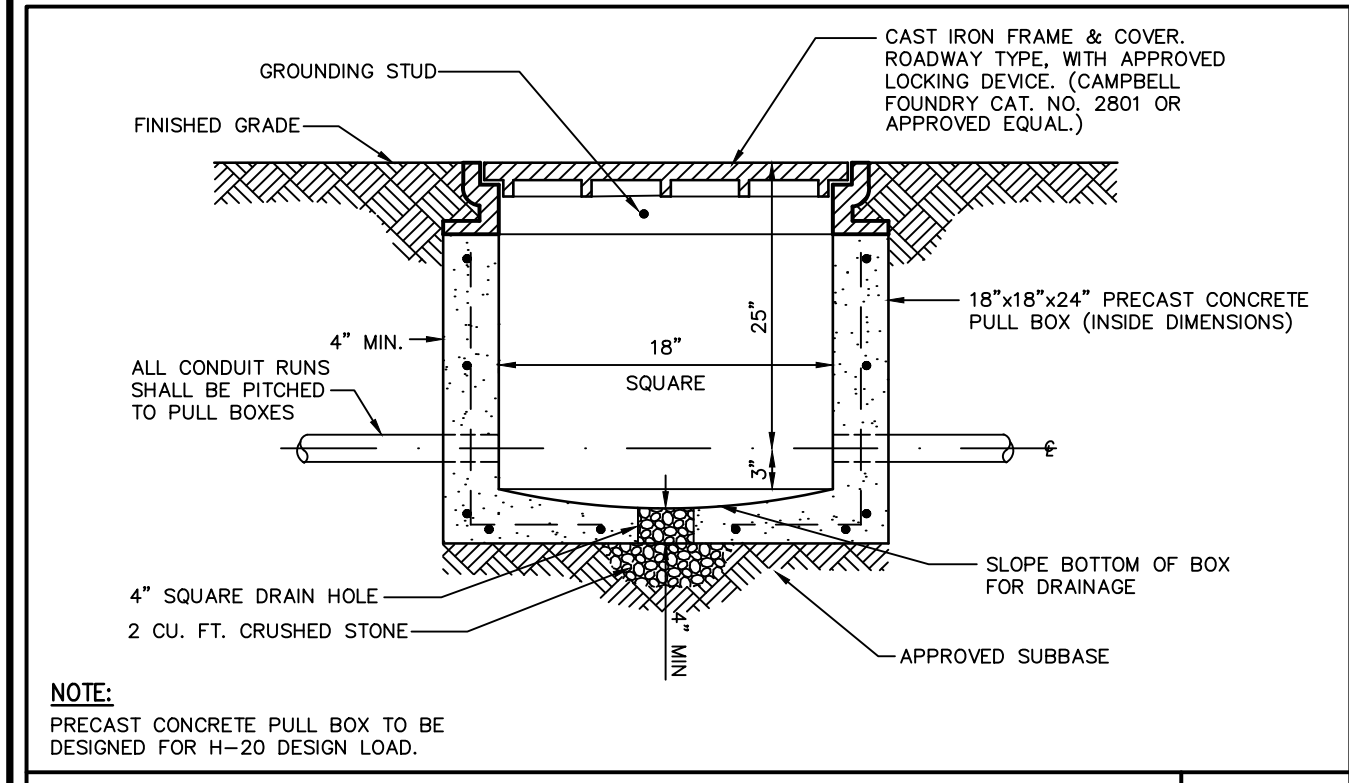
SITE DETAILS

GAS STATION / CONVENIENCE MARKET
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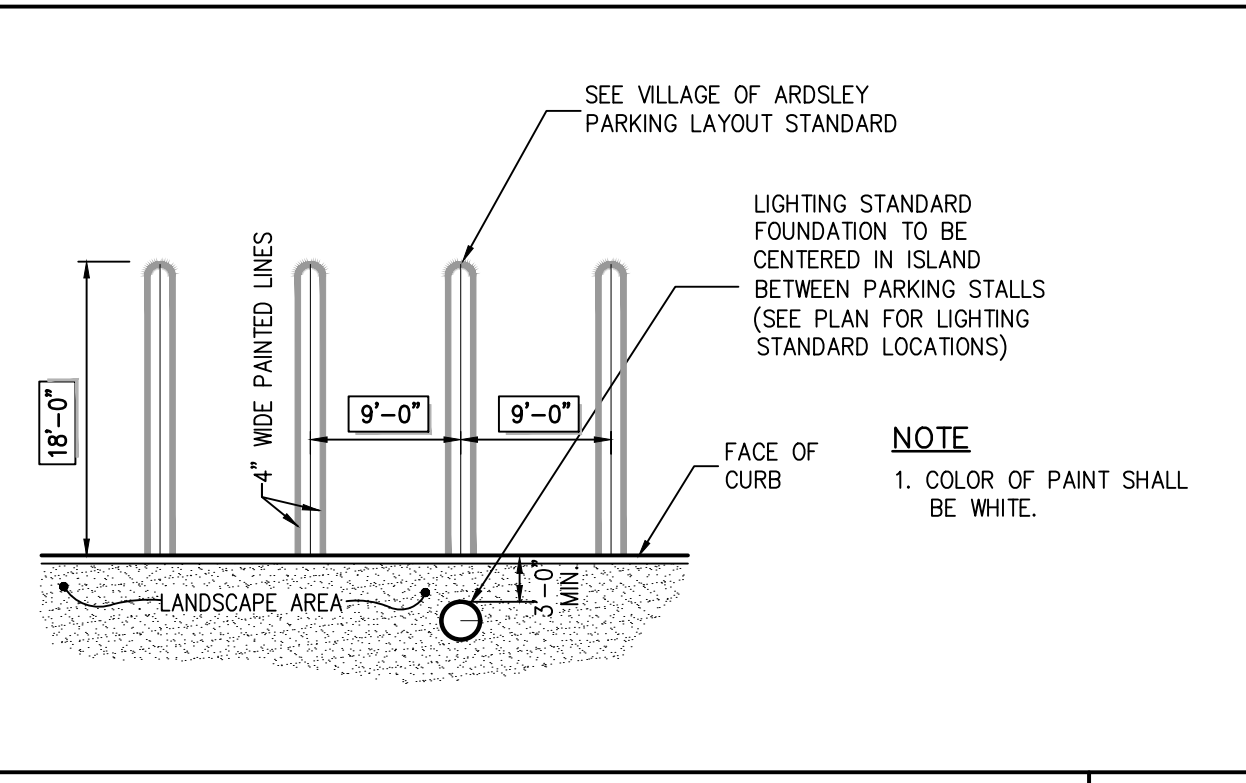
Drawn: **KRM** Approved: **RJP**
Scale: **NOT TO SCALE**
Date: **05/26/2020**
Project No: **18175**
18175-DETAILS C-902
Drawing No: **C-902**

NOT FOR CONSTRUCTION



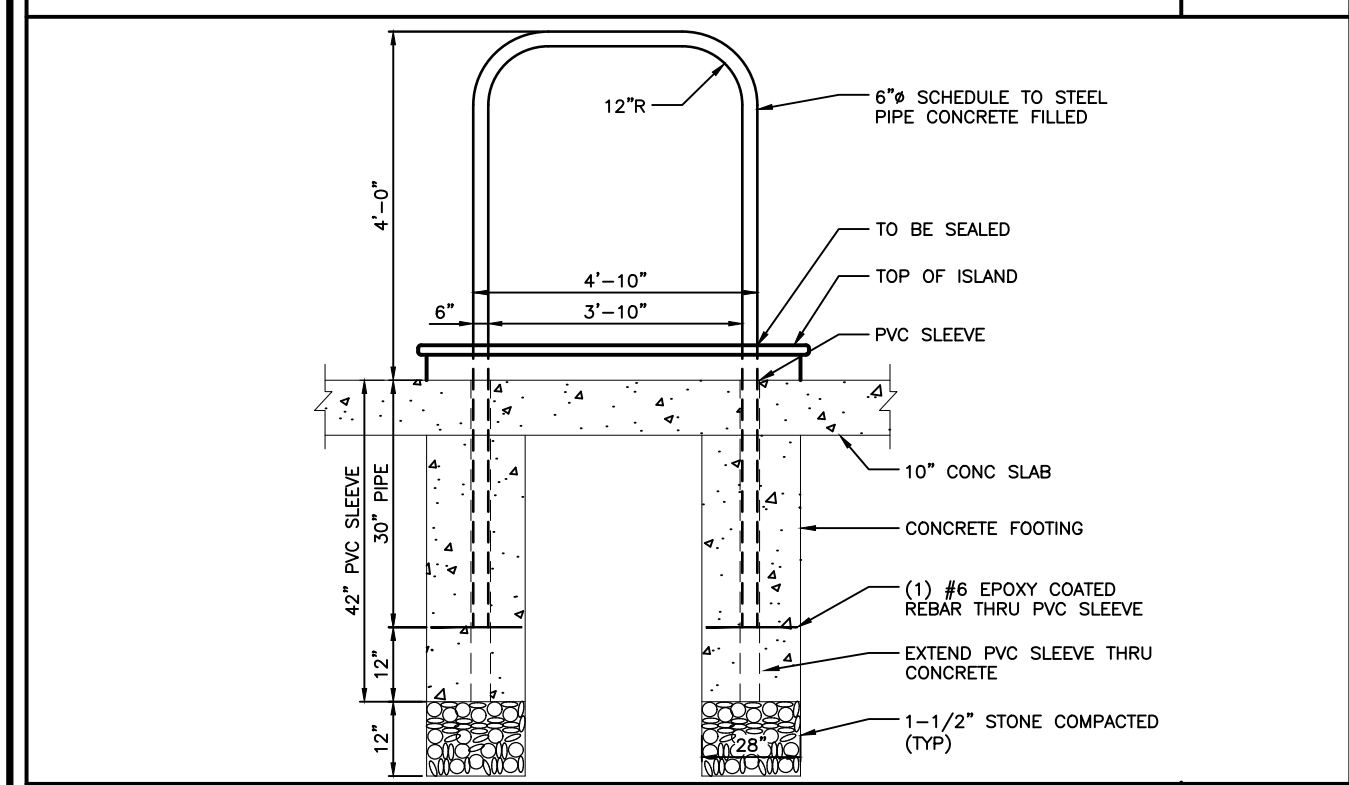
ELECTRICAL PULL BOX

20



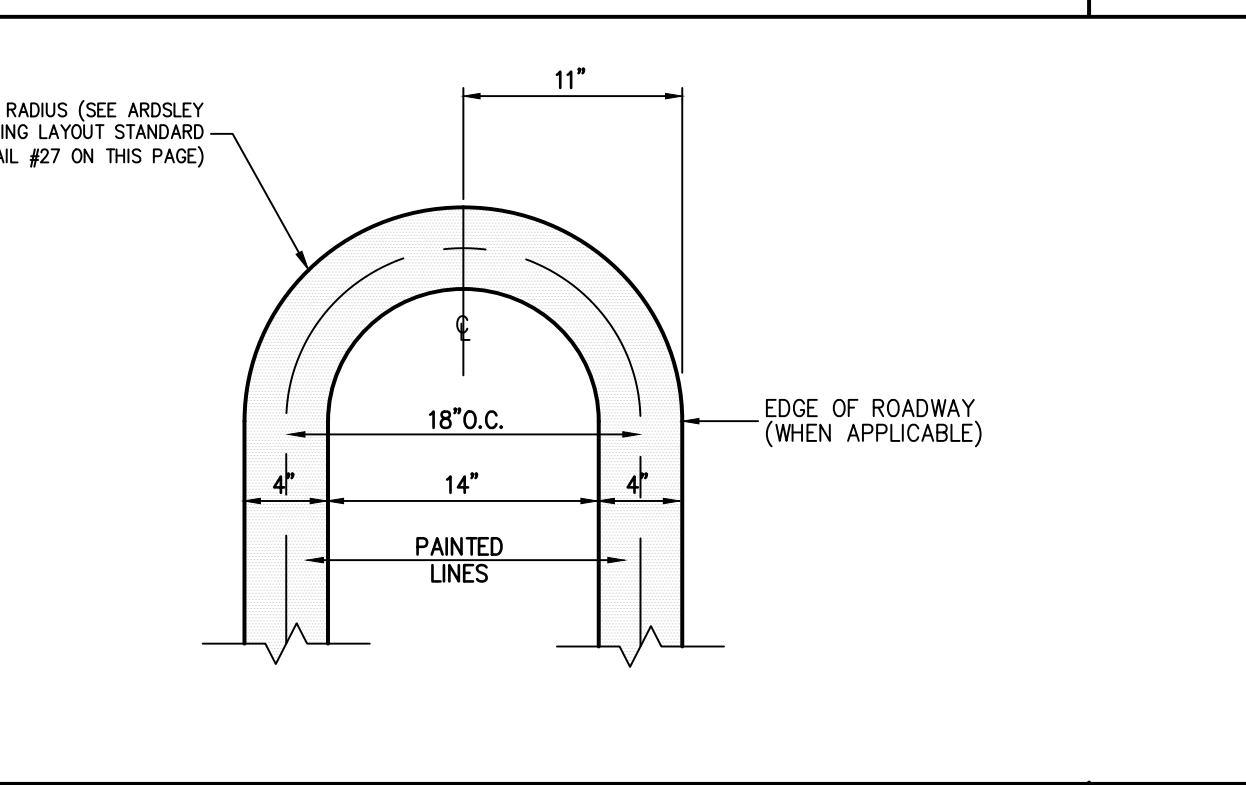
90° PARKING
(DOUBLE STRIPING - CURBED PERIMETER)

22



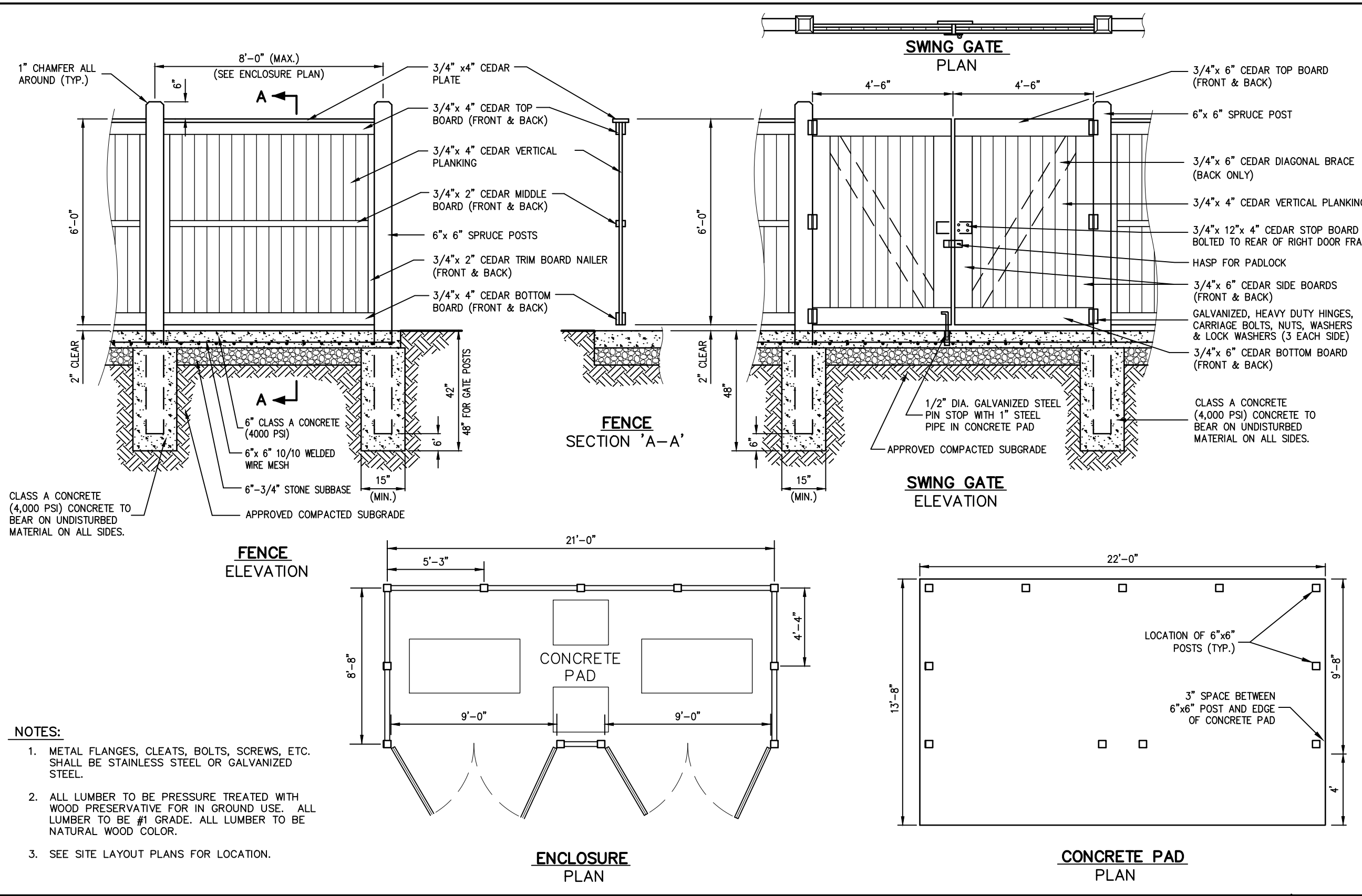
"U" TYPE BOLLARDS

21



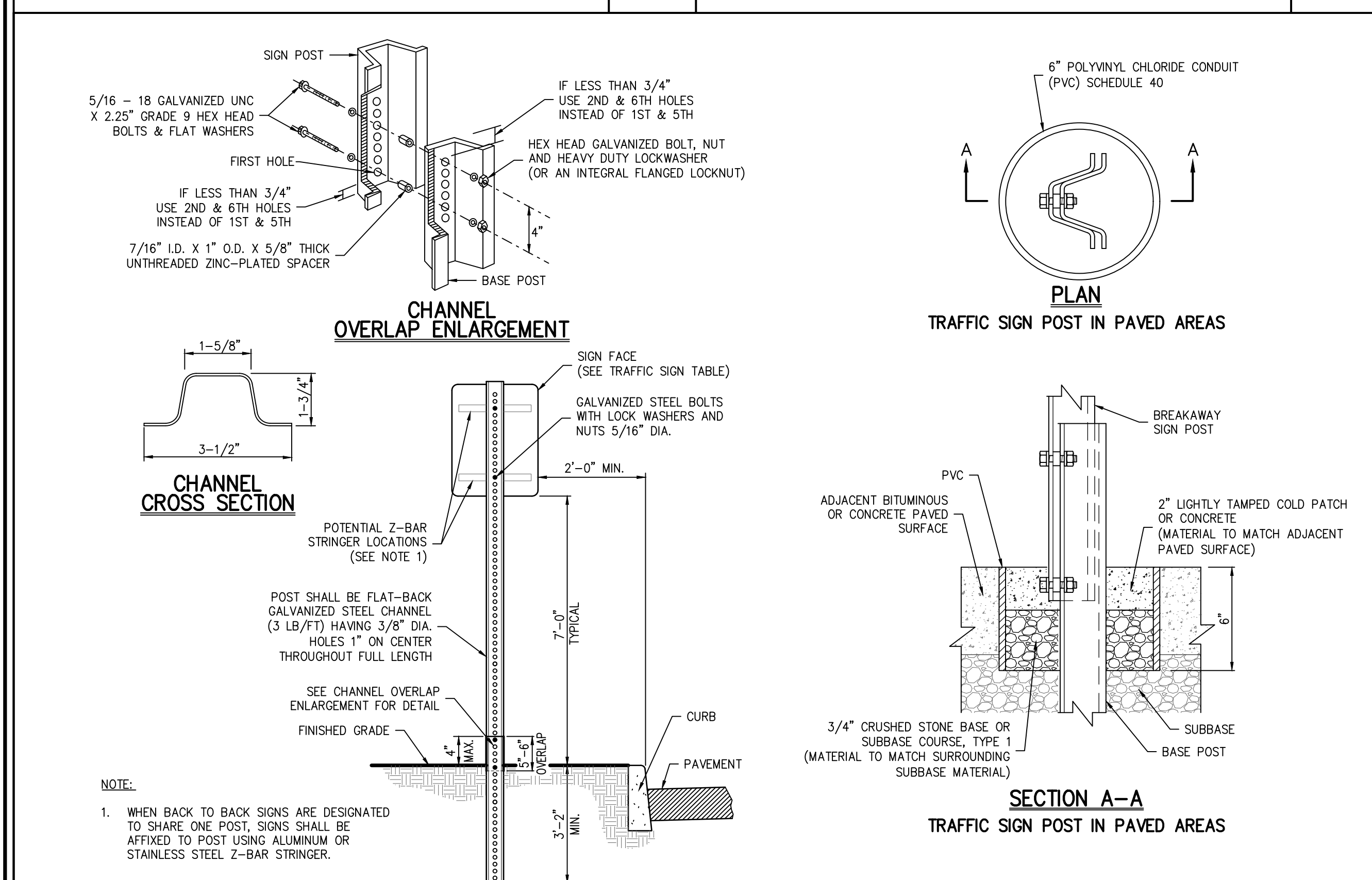
STRIPING END ENLARGEMENT

23



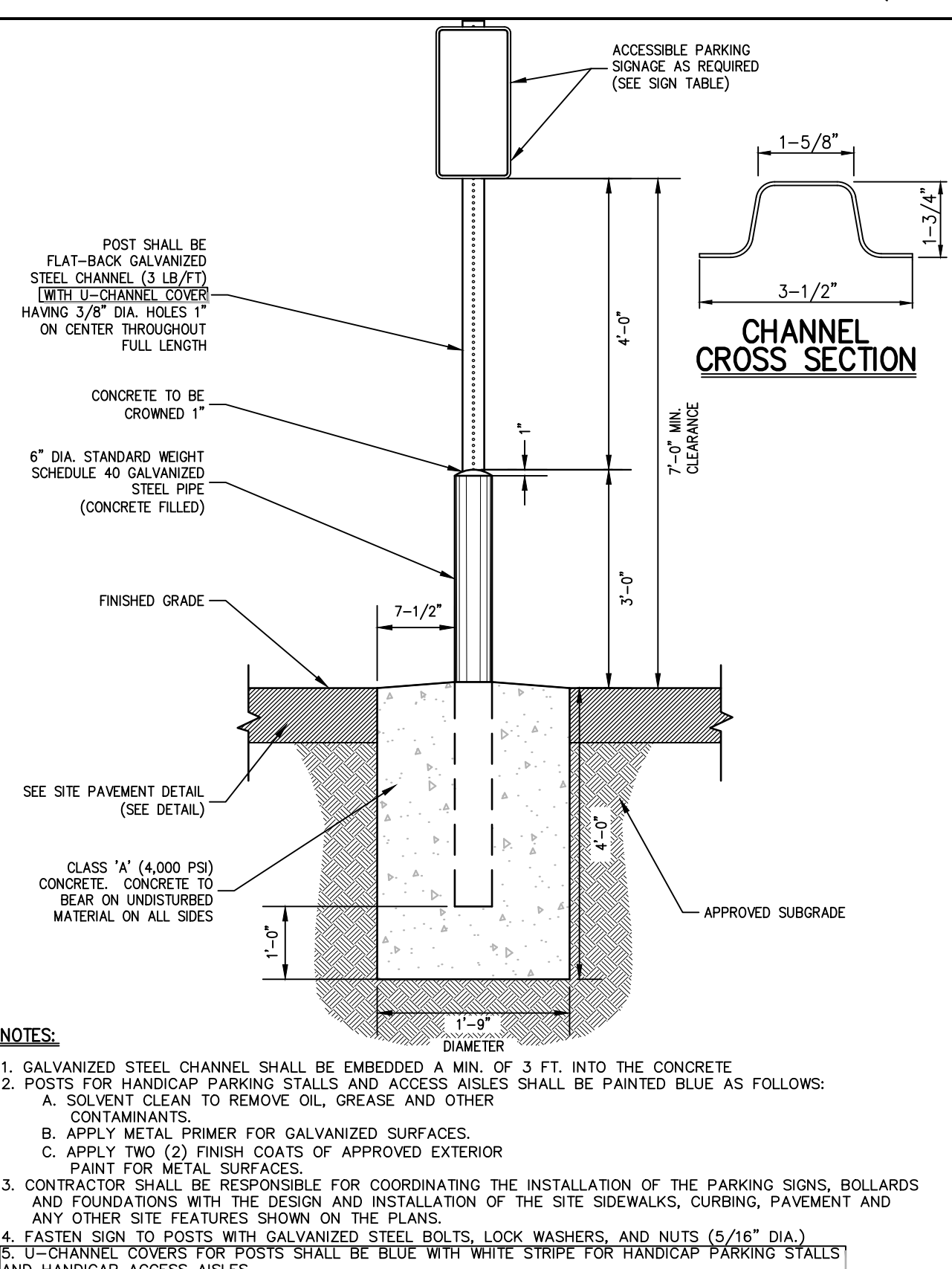
TRASH ENCLOSURE WITH CONCRETE PAD
(WOOD)

24



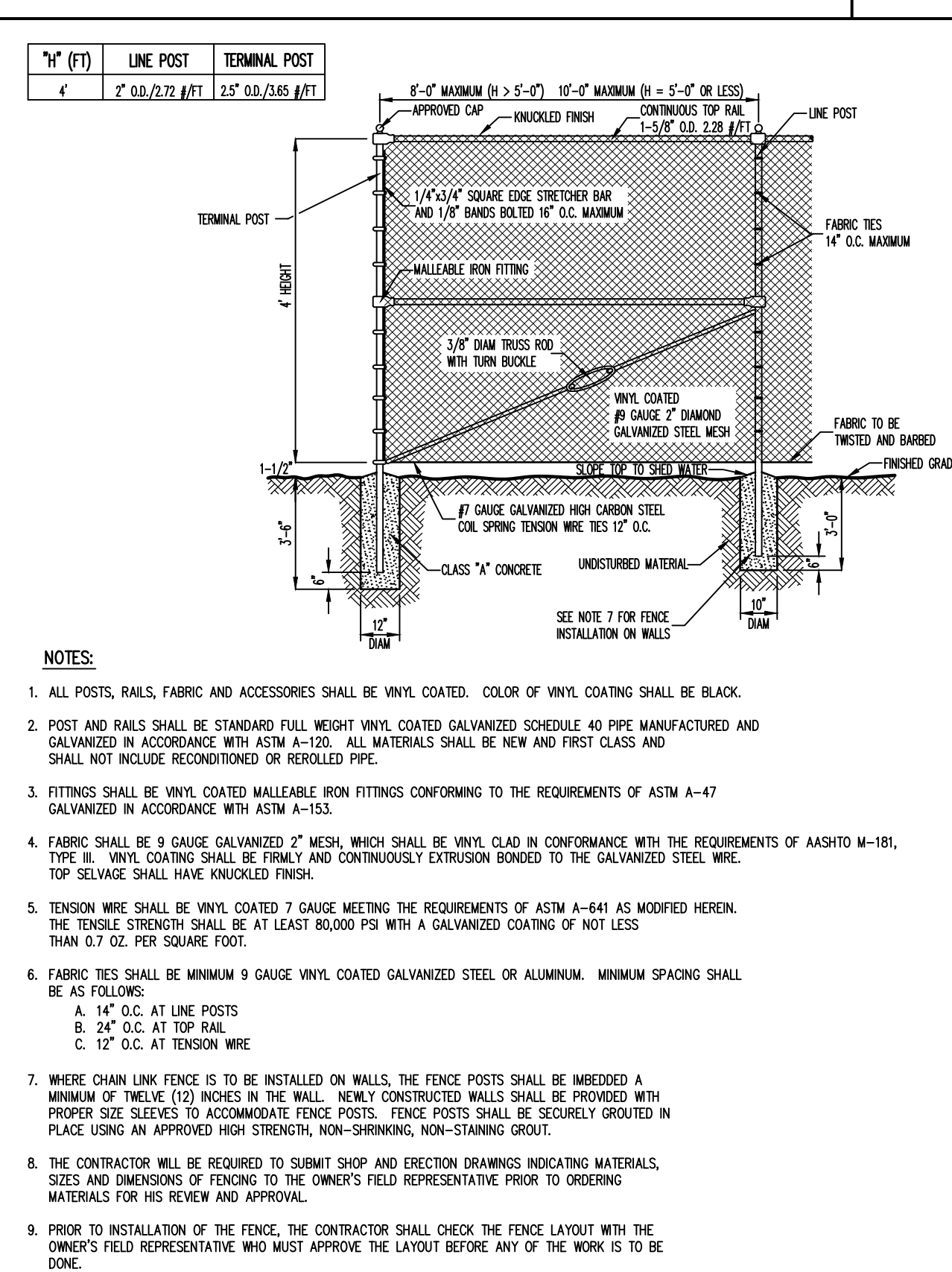
TRAFFIC SIGN POST
(BREAKAWAY STEEL CHANNEL)

25



ACCESSIBLE PARKING SIGN DETAIL

26

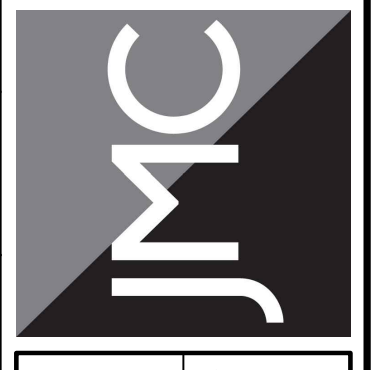


CHAIN LINK FENCE
(VINYL COATED)

27

No.	Revision	Date
1.	REVISED PER TOWN COMMENTS	01/13/2022
2.	REVISED PER BOARD OF TRUSTEES COMMENTS	12/01/2023
3.	REVISED PER BOARD OF TRUSTEES COMMENTS	01/31/2024
4.	REVISED PER BOARD OF TRUSTEES COMMENTS	03/22/2024

JMC Planning, Engineering, Landscape Architecture & Land Surveying, PLLC
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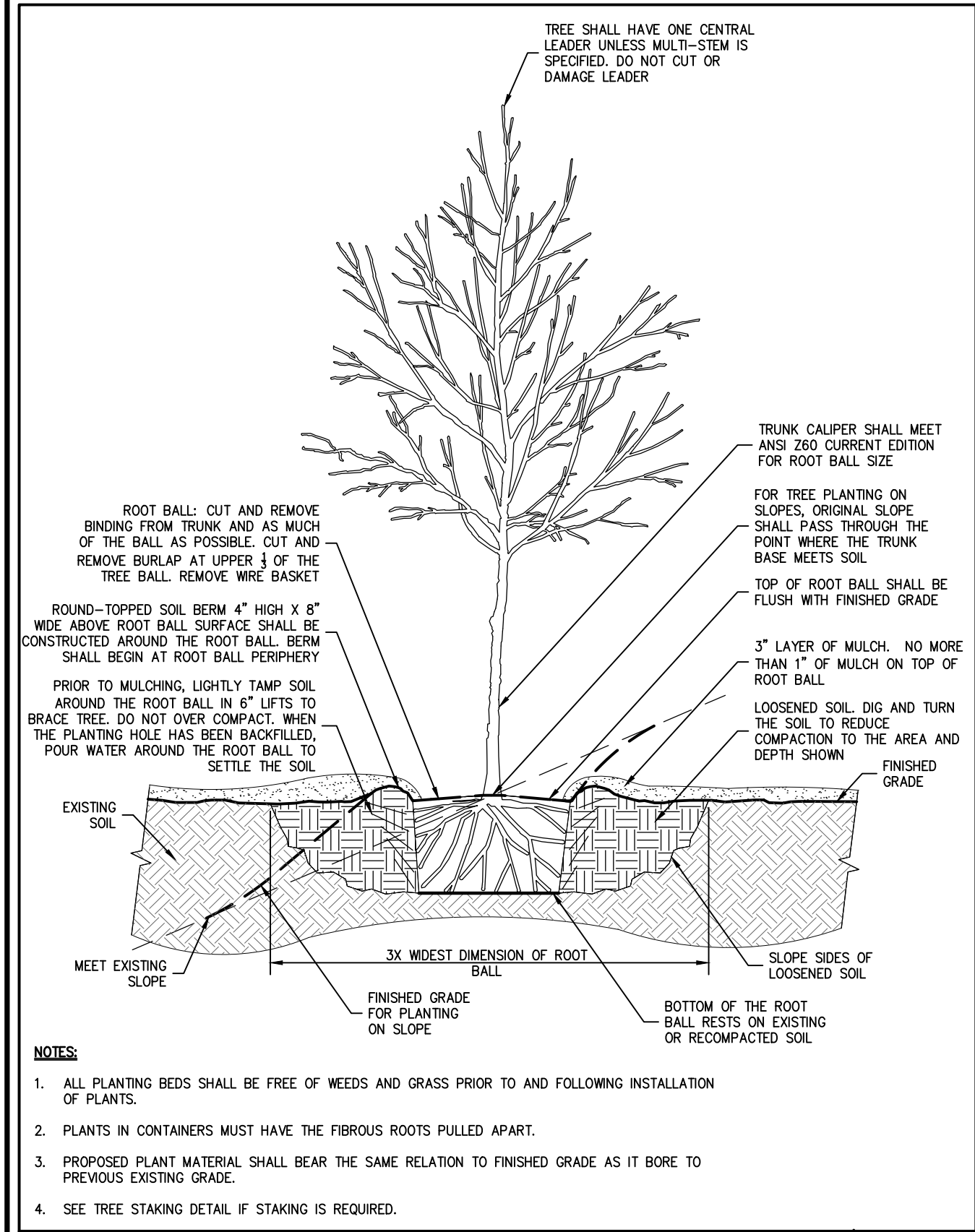


SITE DETAILS
GAS STATION / CONVENIENCE MARKET
657 SAW MILL RIVER ROAD
VILLAGE OF ARDSLEY, NEW YORK

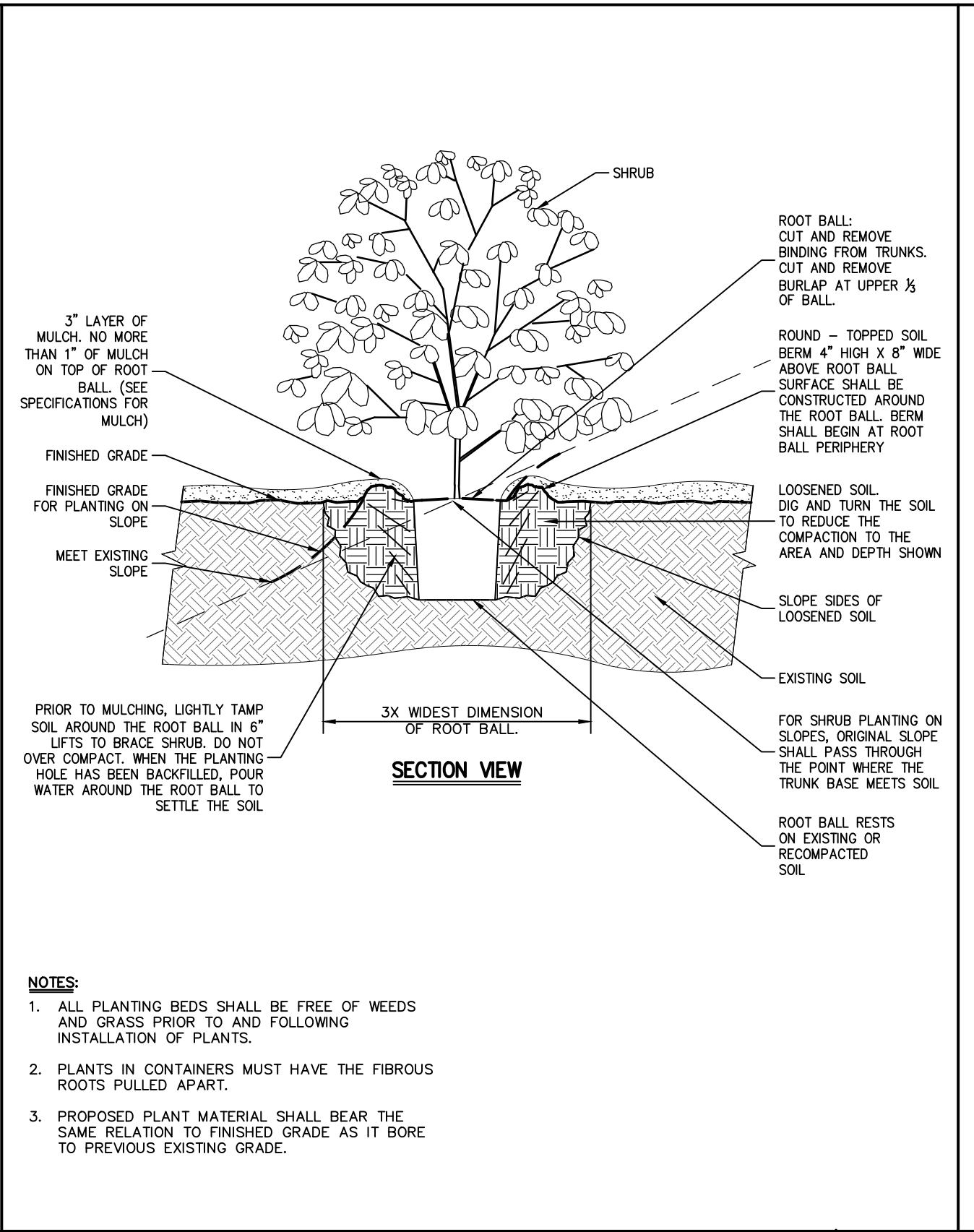
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Drawn: KRM	Approved: RJP
Scale: NOT TO SCALE	
Date: 05/26/2020	
Project No: 18175	
1815-DETAILS	C-903
Drawing No:	C-903

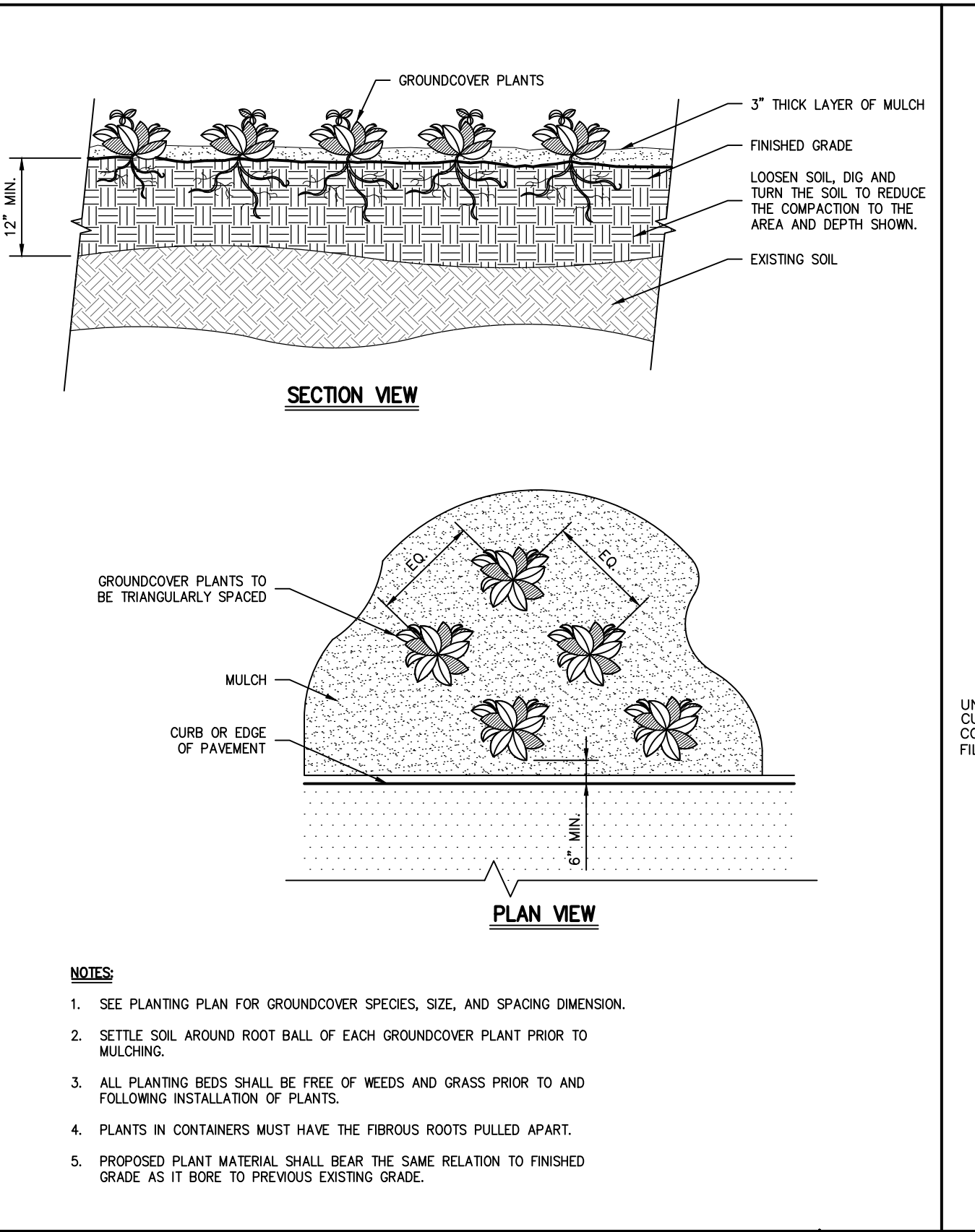
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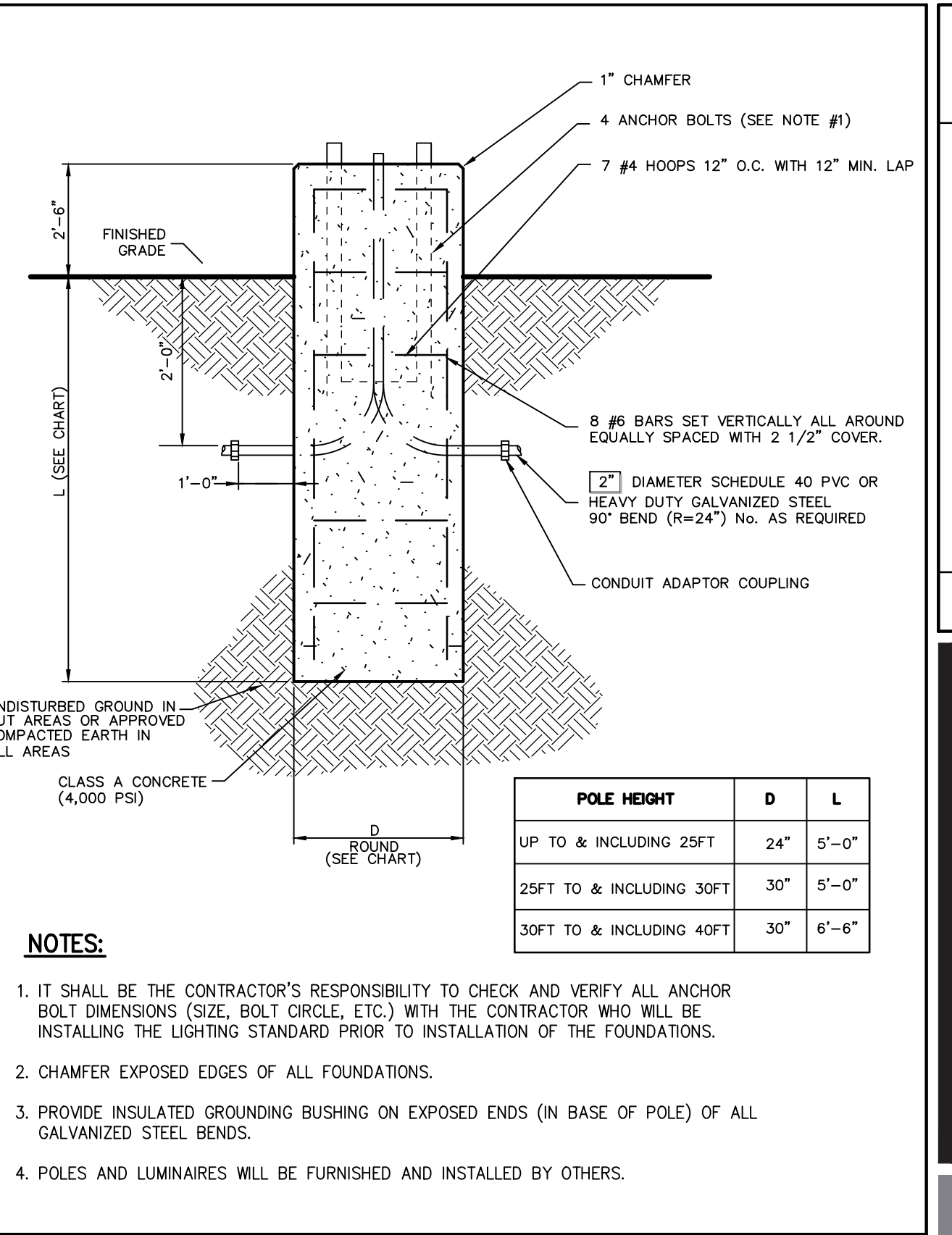
TREE PLANTING
(DECIDUOUS AND EVERGREEN) 28



SHRUB PLANTING 29



GROUND COVER 30



LIGHTING STANDARD FOUNDATION
(ROUND) 31

HERITAGE 1
RADIANT™ LED POST TOPS

Model	Height	Light Output	Beam Spread	Color Temperature	Warranty
HT1-150	150"	1500	30°	3000K	5 Years
HT1-180	180"	1800	30°	3000K	5 Years
HT1-210	210"	2100	30°	3000K	5 Years
HT1-240	240"	2400	30°	3000K	5 Years

POST TOP LIGHT 32

Cavalier 6
Round Bollard

Specifications and Features:

- Radiant™ LED:**
 - Customizable LED light engine
 - CCT: 2700K, 3000K, 3500K, 4000K
 - 30° Beam Spread
- Optical:**
 - Type I
- Electrical:**
 - Input Voltage: 120-277V, 50/60Hz
 - 0-10V Dimmable Driver
 - Standard Input Transformer Included (600V max)
- Controls (Optional):**
 - Motion Sensor (MS)
 - Photo Eye (PE)
 - Manual On/Off Switch (MOS)
- Mounting:**
 - A heavy gauge cast aluminum base secured to ground with 4 anchor bolts, longer ground anchors
- Finish:**
 - Powder coated polyester powder coat finish
 - Custom finishes available, including patina and real life finish
- Lighting & Safety:**
 - 15% beam spread for 100' standard for wet locations
 - 150' x 150' beam
- Warranty:**
 - 5 Year Limited Warranty

Photometric Data

Model	Height	Light Output	Beam Spread	Color Temperature	Warranty
C6-150	150"	1500	30°	3000K	5 Years
C6-180	180"	1800	30°	3000K	5 Years
C6-210	210"	2100	30°	3000K	5 Years
C6-240	240"	2400	30°	3000K	5 Years

BOLLARD WITH LIGHT 33

Crest 15
WALL PACK

Specifications and Features:

- Lighting & Safety:**
 - 15% beam spread for 100' standard for wet locations
 - 150' x 150' beam
- Warranty:**
 - 5 Year Limited Warranty

Photometric Data

Model	Height	Light Output	Beam Spread	Color Temperature	Warranty
C15-150	150"	1500	30°	3000K	5 Years
C15-180	180"	1800	30°	3000K	5 Years
C15-210	210"	2100	30°	3000K	5 Years
C15-240	240"	2400	30°	3000K	5 Years

WALL MOUNTED LIGHT
(BUILDING) 34

ENTERPRISE 30GAR
Square Garage Lighting

Specifications and Features:

- Lighting & Safety:**
 - 15% beam spread for 100' standard for wet locations
 - 150' x 150' beam
- Warranty:**
 - 5 Year Limited Warranty

Photometric Data

Model	Height	Light Output	Beam Spread	Color Temperature	Warranty
E30G-150	150"	1500	30°	3000K	5 Years
E30G-180	180"	1800	30°	3000K	5 Years
E30G-210	210"	2100	30°	3000K	5 Years
E30G-240	240"	2400	30°	3000K	5 Years

CANOPY LIGHT 35

DATE: 12/01/2023
REVISION: 12/13/2023
1. REVISED PER BOARD OF TRUSTEES COMMENTS
2. LIGHTING REVISIONS
3. REVISED PER BOARD OF TRUSTEES COMMENTS
4. REVISED PER BOARD OF TRUSTEES COMMENTS

JMC

SITE DETAILS

GAS STATION / CONVENIENCE MARKET
657 SAW MILL RIVER ROAD
VILLAGE OF ARDSLEY, NEW YORK

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Drawn: **KRM** Approved: **RJP**
Scale: **NOT TO SCALE**
Date: **05/26/2020**
Project No: **18175**
1815-DETAILS C-904
Drawing No: **C-904**

NOT FOR CONSTRUCTION

Boost Charger 200

Ultrafast EV Charging with Integrated Energy Storage

The Boost Charger™ 200 is an ultrafast and flexible DC fast charger for electric vehicles (EVs). The battery-integrated design enables Boost Charger to easily connect to existing electrical infrastructure without costly construction and complex permitting. Boost Charger has a 160 kWh battery capacity with 200 kW output and only 27 kW or less input, making it ready for all EVs including light to heavy duty models.



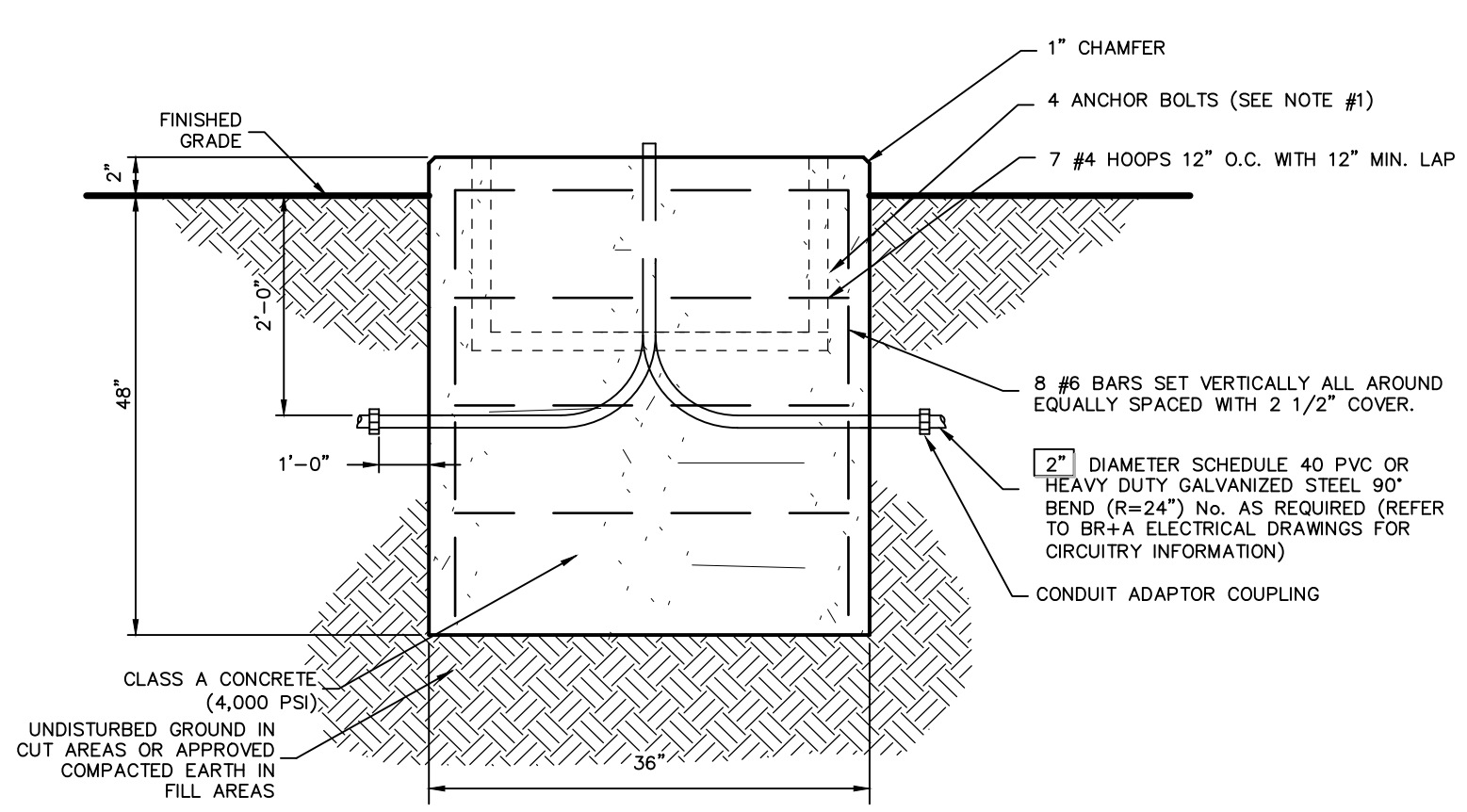
- HEAVY-DUTY**
Ultrafast Charging: adds up to 200 miles of range in 15 minutes
- Dual Charging:** provides simultaneous charging and customizable port configurations including CCS1/CCS2 and CHAdeMO
- High Power:** outputs up to 950 V for charging light to heavy-duty EVs
- FLEXIBLE PLATFORM**
Plug & Play: battery-integrated design connects to the existing low-voltage grid, enabling cost efficient installation in hours
- Small Footprint:** space efficient design means no unsightly and expensive electrical infrastructure
- Flexible Deployment:** easy to relocate depending on charging demand and site
- FUTURE-PROOF**
Smart & Connected: flexible management platform allows you to integrate charger with your business or any third party charging software
- Lower Operating Costs:** energy buffering technology limits input from the grid, reducing costly demand charges

Electrification beyond the grid™

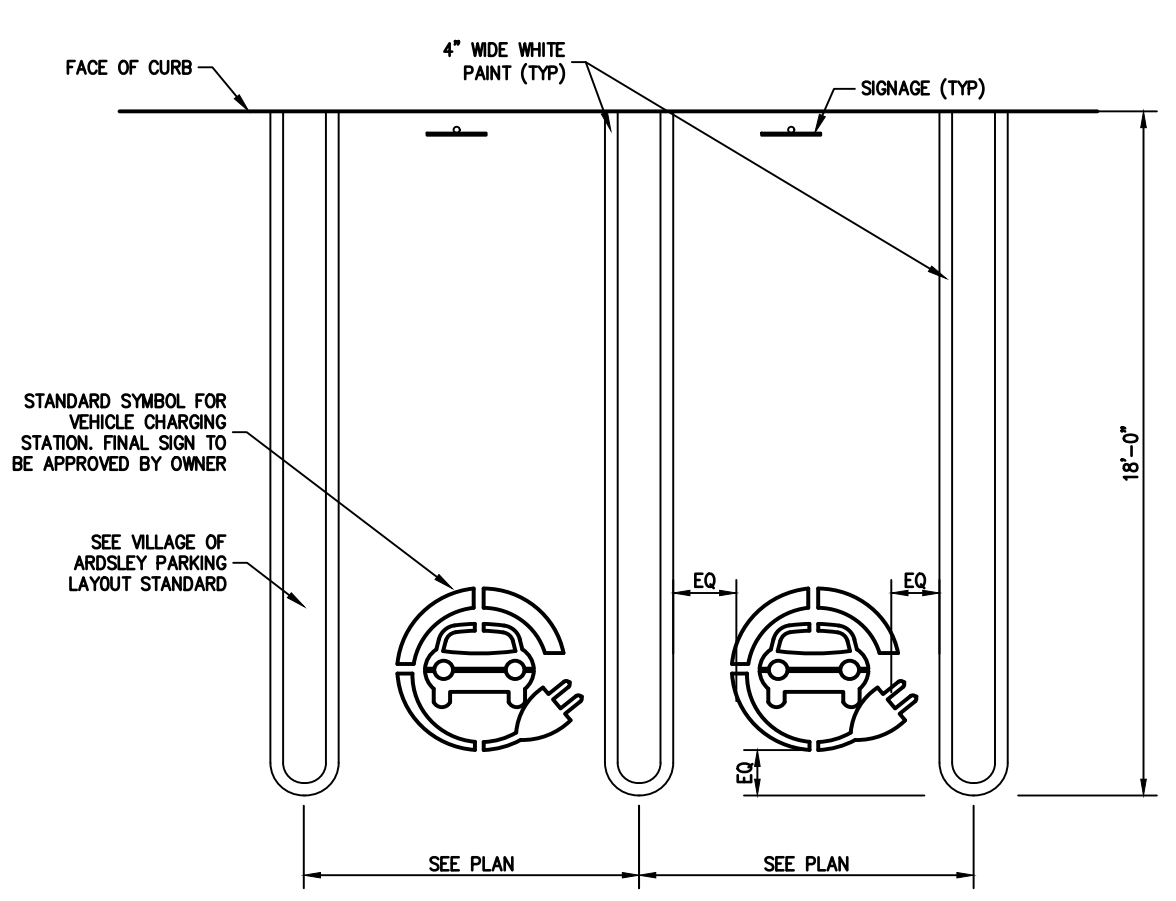
www.freewiretech.com

ENERGY STORAGE	
Energy Chemistry	Lithium-ion (NMC)
Energy Storage Capacity	160 kWh
ELECTRICAL SPECIFICATIONS (OUTPUT)	
Supported Connector Types	CCS1 / CCS2 CHAdeMO
Charge Ports	2
Max Output Power (DC)	CCS: 200 kW CHAdeMO: 100 kW Combined: charge 2 vehicles simultaneously at up to 100 kW each
Voltage	200-1,000 Vac
ELECTRICAL SPECIFICATIONS (INPUT)	
Power (AC)	≤ 27 kW
Voltage (AC)	U.S./Canada: 208 Vac 3-phase, or 240 Vac single-phase UK/EU: 400 Vac 3-phase
Current	U.S./Canada: 208 Vac: 80 amps continuous, or 240 Vac: 120 amps continuous UK/EU: 400 Vac: 40 amps continuous
Frequency	50/60 Hz ± 1%
MECHANICAL SPECIFICATIONS	
Dimensions	108 cm (43") L x 101 cm (40") W x 243 cm (96") H
Cable Length	340 cm (134")
Weight	1,810 kg (3,990 lbs)
ENVIRONMENTAL SPECIFICATIONS	
Installation Location	Outdoor
Enclosure Protection Rating	IP 54
Operating & Storage Temperature	-20° C (-4° F) to +55° C (131° F)
NETWORK & USER INTERACTION	
Network Connection	4G LTE, Ethernet
Communications	OCPP 1.6-J
User Interface Screen	61 cm (24") ruggedized LCD touchscreen
Credit Card Reader	Standard
Payment Methods Accepted	Credit cards, NFC, MFAR, F&C
Access Control & Authentication	RFID ISO 15693, ISO 14443, NFC USA/Canada: UL2202, UL2231-1, UL2231-2, UL919, CAN1973 (battery pack) Canada: CSA No 107.2
Safety & Compliance	EU EN/IEC: 61851-1:2019, EN 61851-2:2014+AC:2015, EN62311:2008, EN 60950-1:2006+A11:2009+A12:2014+12:2011+A2:2013, EN 62368-1:2014+AC:2015

FreeWire Technologies, Inc. | www.freewiretech.com | sales@freewiretech.com | 415.779.9515



- NOTES:**
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CHECK AND VERIFY ALL BOLT DIMENSIONS (SIZE, BOLT CIRCLE, ETC.) WITH THE CONTRACTOR WHO WILL BE INSTALLING THE ELECTRICAL VEHICLE CHARGING STATIONS PRIOR TO INSTALLATION OF THE FOUNDATIONS. REFER TO BASE PLATE TEMPLATE ON THIS DRAWING FOR BOLT AND STUB UP LOCATIONS AND SIZES.
 - CHAMFER EXPOSED EDGES OF ALL FOUNDATIONS.



EV CHARGER & FOUNDATION

36

ELECTRIC VEHICLE PARKING STRIPING

37

8670-26A AIR MACHINE ON OPTIONAL 9819 PEDestal (SOLD SEPARATELY)

MODEL #	AIR	RETRACTABLE HOSE REEL	GAST COMPRESSOR	HIGH OUTPUT DIRECT AIR COMPRESSOR	WALL MOUNTED	COIN ACCEPTOR	WARRANTY	WEIGHT	AMPS REQ.	VOLUME
8670-28GA	*	*	*	*	*	*	12	125	10	120
8670-278GA	*	*	*	*	*	*	12	125	10	120
8651AB-2A	*	*	*	*	*	*	10	100	10	120
8670-26A	*	*	*	*	*	*	12	125	10	120
8670-26A-220V	*	*	*	*	*	*	125	10	20/8/50/6	
8670-278GA	*	*	*	*	*	*	125	10	120	
8670-28GA-220	*	*	*	*	*	*	125	10	20/8/50/6	
8670-2V6A	*	*	*	*	*	*	125	10	120	
8651A-2A	*	*	*	*	*	*	100	10	120	
8670-4A	*	*	*	*	*	*	125	20	120	
8670-4FA	*	*	*	*	*	*	125	20	120	
8670-4VA	*	*	*	*	*	*	125	20	120	

FEATURES

- SSAC 110 volt non-accumulating timer (Replacement Item #8712S55)
- GAST 3/4 HP oil-less air compressor, 90 PSI, 18-month warranty (Replacement Item #9862)
- Dimensions: 16.5"H x 12.5"D x 18.5"W
- High security lock bar system
- Cut resistant 25' x 1/4" wire braid service station quality air hose (Replacement Item #8533-8)
- Imonex mechanical coin acceptor takes quarters (Replacement Item #8124B001)
- Wall, pedestal mounted (Sold Separately Item #8819) or retractable hose reel (Sold Separately Item #8026)
- Optional timers, coin mechs, cycle counters, and coin counters are available
- High output Direct Air 1.8HP air compressor, 110 PSI, 6-month warranty (Replacement Item #8782)
- High output units come with cut resistant 50' x 1/4" wire braid service station quality air hose (Replacement Item #8532-50) with 120 PSI inline air gauge (Replacement Item #8533-101D)

FREE AIR STATION

38

SUPER VAC WITH DIGITAL DISPLAY

MODEL #	MAGNUM	WHEELS	ROVAL DISPLAY	WALL MOUNT	STAINLESS STEEL HOSE	COIN ACCEPTOR	COIN RETURN	WARRANTY	WEIGHT	AMPS REQ.	VOLUME
9200-4	*	*	*	*	Small	*	*	12	148	20	120
9200-4W	*	*	*	*	Small	*	*	148	20	120	
9200-4LD	*	*	*	*	Small	*	*	148	20	120	
9200-4VWLD	*	*	*	*	Small	*	*	148	20	120	
9200-4-220	*	*	*	*	Small	*	*	148	10	20/8/50/6	
9200-6	*	*	*	*	Large	*	*	157	30	120	
9200-6W	*	*	*	*	Large	*	*	157	30	120	
9200-6LD	*	*	*	*	Large	*	*	157	30	120	
9200-6VWLD	*	*	*	*	Large	*	*	157	30	120	

FEATURES

- Double service doors offer easy access to clean out compartment and 4 filter bag system (Replacement Item #8076)
- Digital display timer with built-in coin counter, scrolls messages, prices for service and counts down remaining time (Replacement Item #8000-10)
- Visible and audible last coin alarm
- Imonex coin acceptor takes quarters (Replacement Item #8149)
- Coin box secured with pin locks (Replacement Item #8638)
- Facelpate secured with 2 Medeco cam locks (Replacement Item #8953)
- Lighted dome available in red, blue, yellow, dark green, light green, purple and white
- Hoses: 2' x 15', swivel cuff and nozzle included (15', 25', and 50' available in 1/2" or 2")
- Optional coin mechs, motors, colored hoses, extra security, and clean-out containers are available

PROGRAMMER

8000-30 Remote control programmer for digital display, 8 oz.

DECALS

9200-11 Yellow decals
 9200-12 Blue decals
 9200-13 Violet decals
 9200-14 Black decals (standard)

SUPER VAC 9200-4

VACUUM STATION

39

MBE-2300-0015

ICONIC

MATERIALS: The legs are aluminum castings. The boards are made from lpe wood. All brackets are made of steel.

FINISH: The Maglin Powdercoat system provides a durable finish on all aluminum castings. The wood boards are treated with penetrating sealers. The steel brackets are e-coated and powdercoated.

INSTALLATION: The bench is delivered pre-assembled. The legs have 7/16" holes for anchoring.

TO SPECIFY: Select MBE-2300-0015
 Choose:
 - Powdercoat Color

HEIGHT: 33 1/8" (84cm) **LENGTH:** 70" (177.8cm) **DEPTH:** 25 1/2" (64.7cm) **WEIGHT:** 115 lbs (52.1kg)

MAGLIN
 Site Furniture
 7 800 716 9508
 8 877 260 3199
 www.maglin.com
 sales@maglin.com

MAGLIN BACKED BENCH

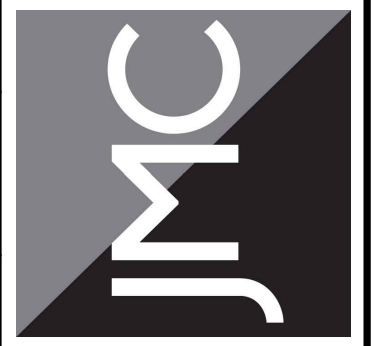
40

FLUSH MOUNT PAVER DETAIL

SEAT WALL DETAIL

SEAT WALL DETAIL

42



SITE DETAILS

GAS STATION / CONVENIENCE MARKET
 657 SAW MILL RIVER ROAD
 VILLAGE OF ARDSLEY, NEW YORK

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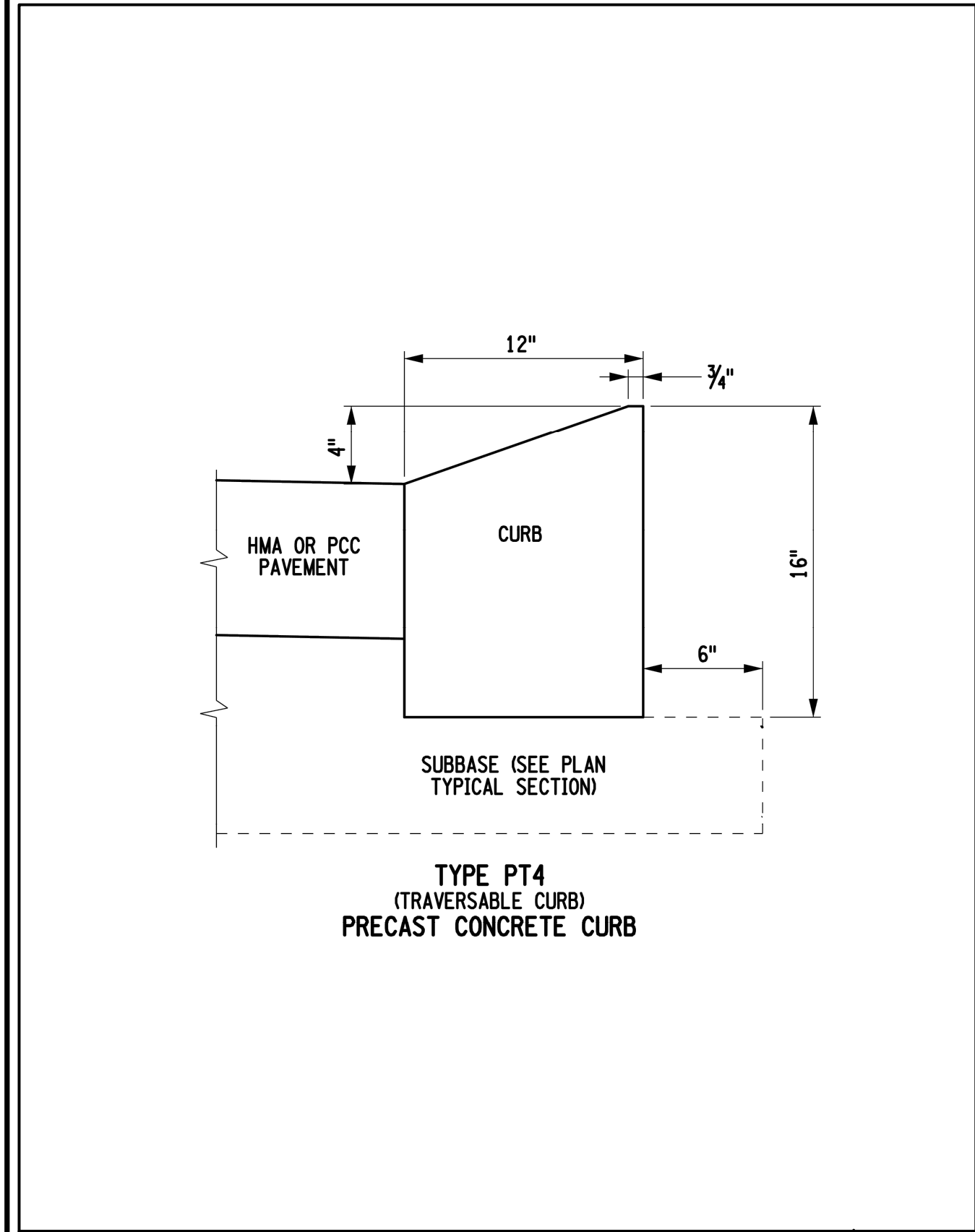
Drawn: KRM	Approved: RJP
Scale: NOT TO SCALE	
Date: 05/26/2020	
Project No: 18175	
REV#-DETAILS	C-905
Drawing No:	

C-905

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NYSDOT STANDARD T4 MOUNTABLE CURB 43

MINI-CRETA 3' ARCHITECTURAL
DESCRIPTION: Wall double-sided TEXTURE: Split face with straight edged corners

PALLET OVERVIEW

Specifications per pallet	Imperial	Metric
Cubing	24 ft ³	2.23 m ³
Approx. Weight	95.01 lin. ft. / 2,465 lbs	28.96 lin. m / 1,118 kg
Minimum radius	7 ft	2.1 m
Number of rows	8	
Coverage per row	3 ft ²	0.28 m ²
Linear coverage per row	11.58 lin. ft.	3.62 lin. m

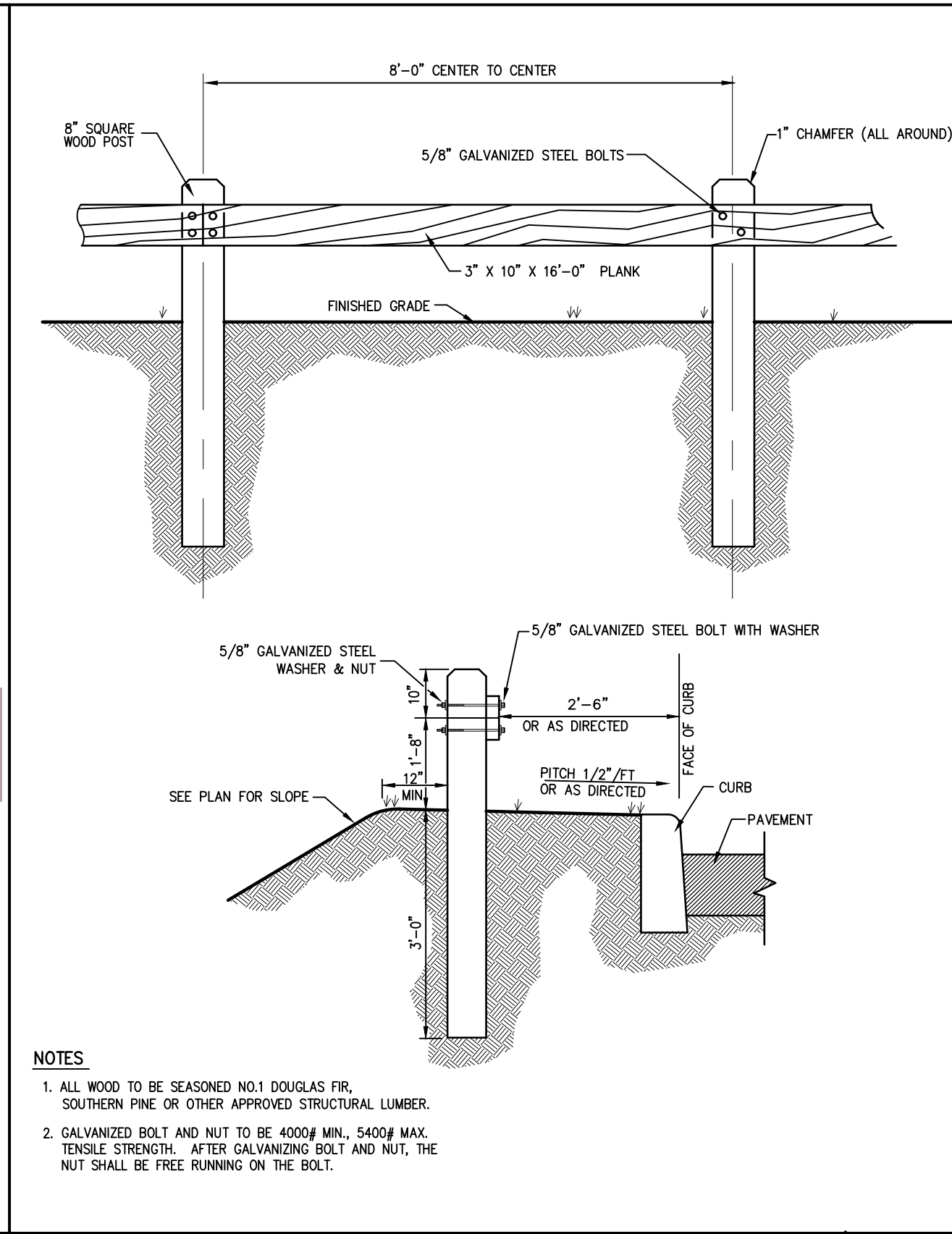
Unit dimensions	in	mm	Units/pallet
Height	2 1/4"	75	32 units
Depth	9 3/4"	250	
Length 1	9 3/4"	250	
Length 2	7 1/4"	180	
Height	2 1/4"	75	24 units
Depth	9 3/4"	250	
Length 1	11 1/4"	300	
Length 2	9 3/4"	250	
Height	2 1/4"	75	8 units
Depth	9 3/4"	250	
Length 1	11 1/4"	300	
Length 2	11 3/4"	300	
Height	2 1/4"	75	16 units
Depth	9 3/4"	250	
Length 1	14 1/2"	375	
Length 2	12 1/4"	325	
Height	2 1/4"	75	16 units
Depth	9 3/4"	250	
Length 1	14 1/2"	375	8 right corners
Length 2	13 1/2"	350	8 left corners

COMPATIBLE CAPS
See page 140 for product compatibility.

NOTES
When building a double-sided wall one pallet will cover an average of 31.76 ft².
Unit can be used as a regular or vertical unit.
See page 135 to 156 for more technical information.

Color swatches: Onyx Blue, Onyx Green, Sandstone, Onyx Grey, Dark Grey, Onyx Black.

TECHO BLOC WALL 44



WOOD GUIDE RAIL 45

X

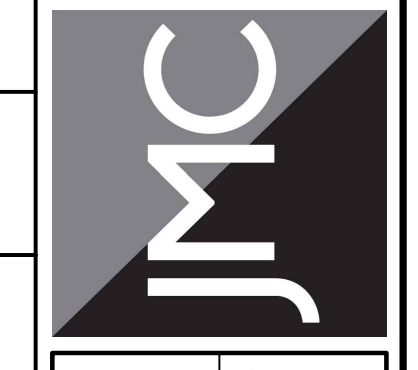
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No.	Revision	Date
1.	REVISED PER BOARD OF TRUSTEES COMMENTS	12/01/2023
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JMC Site Development Consultants, LLC
John Meyer Consulting, Inc.
120 BEDFORD ROAD • ARMONK, NY 10504
voice 914.273.5225 • fax 914.273.2102
www.jmcplc.com



DOT SITE DETAILS
GAS STATION / CONVENIENCE MARKET
657 SAW MILL RIVER ROAD
VILLAGE OF ARDSLEY, NEW YORK

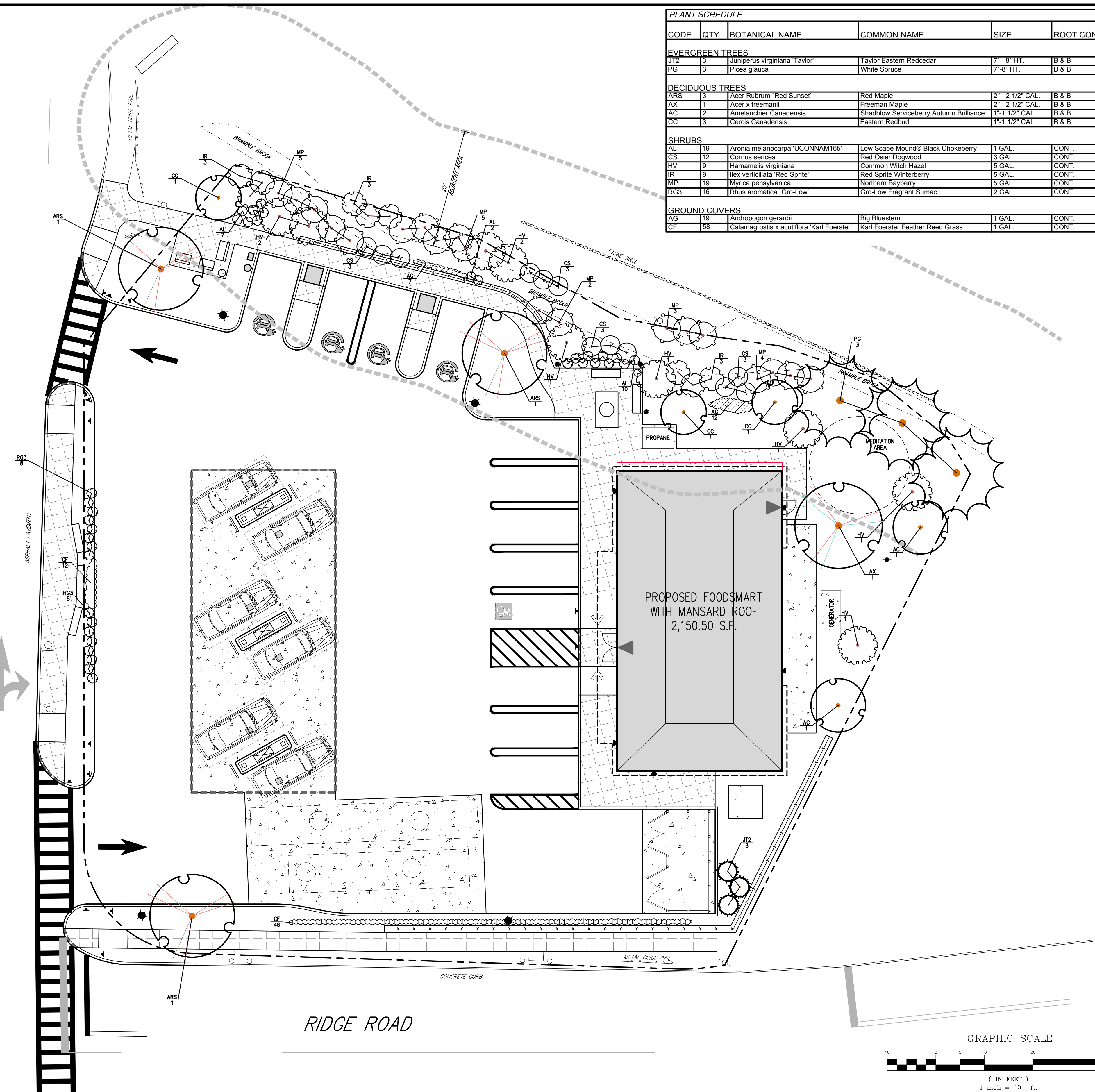
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Drawn: **KRM** Approved: **RJP**
Scale: **NOT TO SCALE**
Date: **05/26/2020**
Project No: **18175**

18175-DETAILS C-906 -
Drawing No: **C-906**

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SAW MILL RIVER ROAD
(NY 9A)
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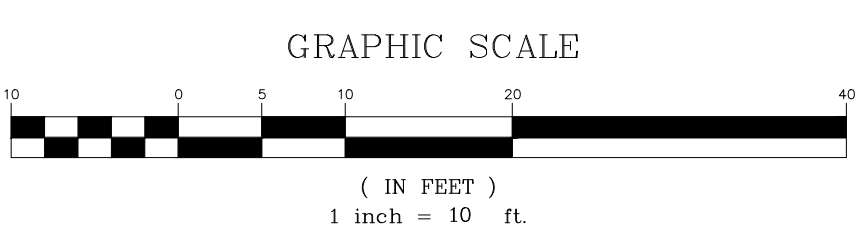


PLANT SCHEDULE						
CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT COND.	REMARKS
EVERGREEN TREES						
JT2	3	Juniperus virginiana 'Taylor'	Taylor Eastern Redcedar	7' - 8' HT.	B & B	
PG	3	Picea glauca	White Spruce	7' - 8' HT.	B & B	
DECIDUOUS TREES						
ARS	3	Acer Rubrum 'Red Sunset'	Red Maple	2" - 2 1/2" CAL.	B & B	
AX	1	Acer x freemanii	Freeman Maple	2" - 2 1/2" CAL.	B & B	
AC	2	Amelanchier Canadensis	Shadblow Serviceberry Autumn Brilliance	1" - 1 1/2" CAL.	B & B	
CC	3	Cercis Canadensis	Eastern Redbud	1" - 1 1/2" CAL.	B & B	
SHRUBS						
AL	19	Aronia melanocarpa 'UCONNAM185'	Low Scape Mound® Black Chokeberry	1 GAL.	CONT.	
CS	12	Cornus sericea	Red Osier Dogwood	3 GAL.	CONT.	
HV	9	Hamamelis virginiana	Common Witch Hazel	5 GAL.	CONT.	
IR	9	Ilex verticillata 'Red Sprite'	Red Sprite Winterberry	5 GAL.	CONT.	
MP	19	Myrica pensylvanica	Northern Bayberry	5 GAL.	CONT.	
RG3	16	Rhus aromatica 'Gro-Low'	Gro-Low Fragrant Sumac	2 GAL.	CONT.	
GROUND COVERS						
AG	19	Andropogon gerardii	Big Bluestem	1 GAL.	CONT.	
CF	58	Calamagrostis x acutiflora 'Karl Foerster'	Karl Foerster Feather Reed Grass	1 GAL.	CONT.	

LEGEND	
	EXISTING PROPERTY LINE
	ADJACENT PROPERTY LINE
	EXISTING SETBACK LINE
	EXISTING BUILDING OVERHANG
	EXISTING BUILDING EDGE
	EXISTING PAVEMENT EDGE
	EXISTING CURB LINE
	EXISTING STONE WALL
	EXISTING RETAINING WALL
	EXISTING GUIDE RAIL
	EXISTING TREE AND DESIGNATION
	EXISTING DIRECTIONAL ARROWS
	EXISTING PAINT
	EXISTING UTILITY POLE
	EXISTING LIGHT POLE
	EXISTING SIGN
	PROPOSED BUILDING LINE
	PROPOSED CONCRETE CURB
	PROPOSED ACCESSIBLE PARKING SPACES
	PROPOSED PARKING SPACES
	PROPOSED HEAVY DUTY PAVEMENT
	PROPOSED PERVIOUS PAVEMENT
	PROPOSED CONCRETE APRON
	PROPOSED RETAINING WALL (DESIGN BY OTHERS)
	PROPOSED SHADE TREE
	PROPOSED FLOWERING TREE
	PROPOSED CONIFEROUS TREE
	PROPOSED SHRUBS
	PROPOSED SHRUB MASSING

- NOTES:**
- ALL PLANT MATERIAL SHALL BE FIRST QUALITY STOCK, PLANTED MATERIAL AND METHODS OF INSTALLATION SHALL CONFORM TO THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION, AMERICAN STANDARD FOR NURSERY STOCK, LATEST EDITION.
 - ALL AREAS OF THE SITE NOT OCCUPIED BY BUILDING OR PAVEMENT AND NOT SPECIFIED AS BEING PLANTED WITH TREES, SHRUBS OR GROUND COVER SHALL BE LAWN.
 - ALL PLANTING BEDS SHALL BE MULCHED WITH 3" OF BROWN MULCH. MULCH SHALL BE CLEAN, NON-DYED, TOXIC FREE, SHREDDED HARDWOOD.
 - PLANT MATERIALS AS SPECIFIED ON THE DRAWINGS AND DELIVERED TO THE SITE SHALL BE NURSERY GROWN AND CERTIFIED TRUE TO THEIR GENUS, SPECIES AND VARIETY. SUBSTITUTIONS ARE NOT PERMITTED WITHOUT THE PROJECT LANDSCAPE ARCHITECT'S WRITTEN APPROVAL.
 - ALL LANDSCAPING SHALL CONTINUE TO BE MAINTAINED IN A HEALTHY GROWING CONDITION THROUGHOUT THE DURATION OF THE PROJECT. ANY PLANTING NOT SO MAINTAINED SHALL BE REPLACED WITH NEW PLANTS AT THE BEGINNING OF THE NEXT, IMMEDIATELY FOLLOWING, GROWING SEASON.
 - ALL TREES AND SHRUBS SHALL BE PRUNED AND SHAPED AND BE SUBJECT TO THE APPROVAL OF THE PROJECT LANDSCAPE ARCHITECT AND GOVERNMENTAL AUTHORITIES HAVING JURISDICTION.
 - PLANTING STOCK SHALL BE WELL-BRANCHED AND WELL-FORMED, SOUND, VIGOROUS, HEALTHY, FREE FROM DISEASE, SUN-SCALE, WINDBURN, ABRASION, AND HARMFUL INSECTS OR INSECT EGGS; AND SHALL HAVE HEALTHY, NORMAL, UNBROKEN ROOT SYSTEMS. DECIDUOUS TREES AND SHRUBS SHALL BE SYMMETRICALLY DEVELOPED, OF UNIFORM HABIT OF GROWTH, WITH STRAIGHT TRUNKS OR STEMS, AND FREE FROM OBJECTIONABLE DISFIGUREMENTS. EVERGREEN TREES AND SHRUBS SHALL HAVE WELL-DEVELOPED SYMMETRICAL TOPS WITH TYPICAL SPREAD OF BRANCHES FOR EACH PARTICULAR SPECIES OR VARIETY. ONLY LINES AND GROUND COVER PLANTS WELL ESTABLISHED IN REMOVAL CONTAINERS, INTEGRAL CONTAINERS, OR FORMED HOMOGENEOUS SOIL SECTIONS SHALL BE USED. PLANTS SHALL BE GROWN UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT.
 - ALL STOCK SHALL BE BALLED AND BURLAPPED OR CONTAINER GROWN STOCK, UNLESS OTHERWISE SPECIFIED. BARERoot STOCK OF ANY KIND IS UNACCEPTABLE UNLESS SPECIFIED.
 - ALL PLANTING BEDS, LAWNS AND LANDSCAPED AREAS SHALL RECEIVE A MINIMUM 4" THICK LAYER OF TOPSOIL, UNLESS OTHERWISE SPECIFIED.

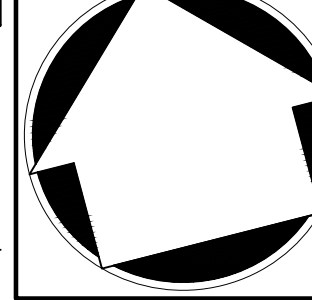
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3.	REVISED PER TOWN COMMENTS	01/13/2022	CDF
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5.	LIGHTING REVISIONS	12/13/2022	DK
6.	REVISED PER BOARD OF TRUSTEES COMMENTS	01/31/2024	RB
7.	REVISED PER BOARD OF TRUSTEES COMMENTS	03/22/2024	RB

APPLICANT/OWNER
THORNWOOD FOUR CORNERS LLC.
25 SAINT CHARLES STREET
THORNWOOD, NY 10594

JMC Planning, Engineering, Landscape Architecture & Land Surveying, PLLC
JMC Site Development Consultants, LLC
John Meyer Consulting, Inc.
120 BEDFORD ROAD • ARMONK, NY 10504
voice 914.273.5225 • fax 914.273.2102
www.jmcpic.com



LANDSCAPING PLAN
GAS STATION / CONVENIENCE MARKET
657 SAW MILL RIVER ROAD
VILLAGE OF ARDSLEY, NEW YORK

Drawn: **KRM** Approved: **RJP**
Scale: **1" = 10'**
Date: **05/26/2020**
Project No: **18175**
1875-LM L-100-LM LAY
Drawing No:

L-100
Previous Editions Obsolete

SITE PLAN APPROVAL DRAWINGS

GAS STATION / CONVENIENCE MARKET

TAX MAP SECTION 650 | BLOCK 35 | LOT 10
WESTCHESTER COUNTY
657 SAW MILL RIVER ROAD
VILLAGE OF ARDSLEY, NEW YORK

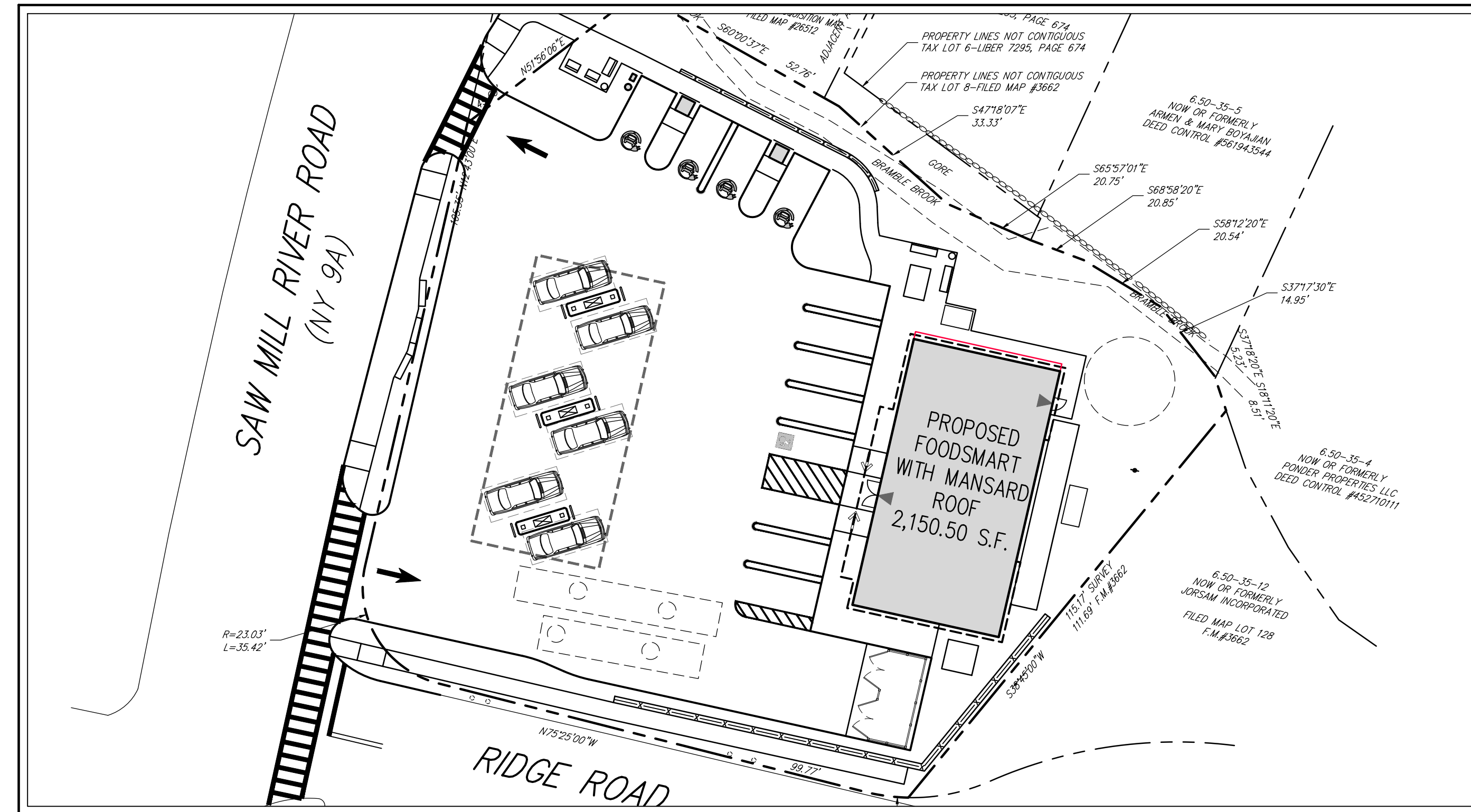
Applicant:
THORNWOOD FOUR CORNERS LLC.
 25 SAINT CHARLES STREET
 THORNWOOD, NY 10594

**Site Planner, Civil & Traffic Engineer
 and Landscape Architect:**
JMC
120 BEDFORD ROAD
ARMONK, NY 10504
(914) 273-5225

Attorney:
 DELBELLO DONNELLAN WEINGARTEN WISE & WIEDERKEHR, LLP
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 WHITE PLAINS, NEW YORK, 10601
 (914) 681-0200

Surveyor:
THOMAS C. MERRITS LAND SURVEYORS, P.C.
 394 BEDFORD ROAD
 PLEASANTVILLE, NEW YORK, 10570
 (914) 769-8899

Architect:
gk+a Architects, P.C.
 36 AMES AVENUE,
 RUTHERFORD, NJ 07070
 (201) 896-9469



JMC Drawing List:

- C-000 COVER SHEET
- C-010 EXISTING CONDITIONS MAP AND SITE REMOVALS PLAN
- C-100 LAYOUT PLAN
- C-110 TURNING ANALYSIS PLAN
- C-120 TURNING ANALYSIS PLAN
- C-200 GRADING PLAN
- C-300 UTILITIES PLAN
- C-400 EROSION AND SEDIMENT CONTROL PLAN
- C-600 LIGHTING PLAN
- C-700 IMPERVIOUS COVERAGE COMPARISON PLAN
- C-900 SITE DETAILS
- C-901 SITE DETAILS
- C-902 SITE DETAILS
- C-903 SITE DETAILS
- C-904 SITE DETAILS
- C-905 SITE DETAILS
- C-906 SITE DETAILS
- L-100 LANDSCAPING PLAN

TABLE OF LAND USE

SECTION 6.50, BLOCK 35, LOT 10
 ZONE "B-1" - "GENERAL BUSINESS DISTRICT"
 PROPOSED USE: GAS STATION WITH CONVENIENCE MARKET
 FIRE DISTRICT: ARDSLEY FIRE DISTRICT
 SEWER DISTRICT: SAW MILL SEWER DISTRICT

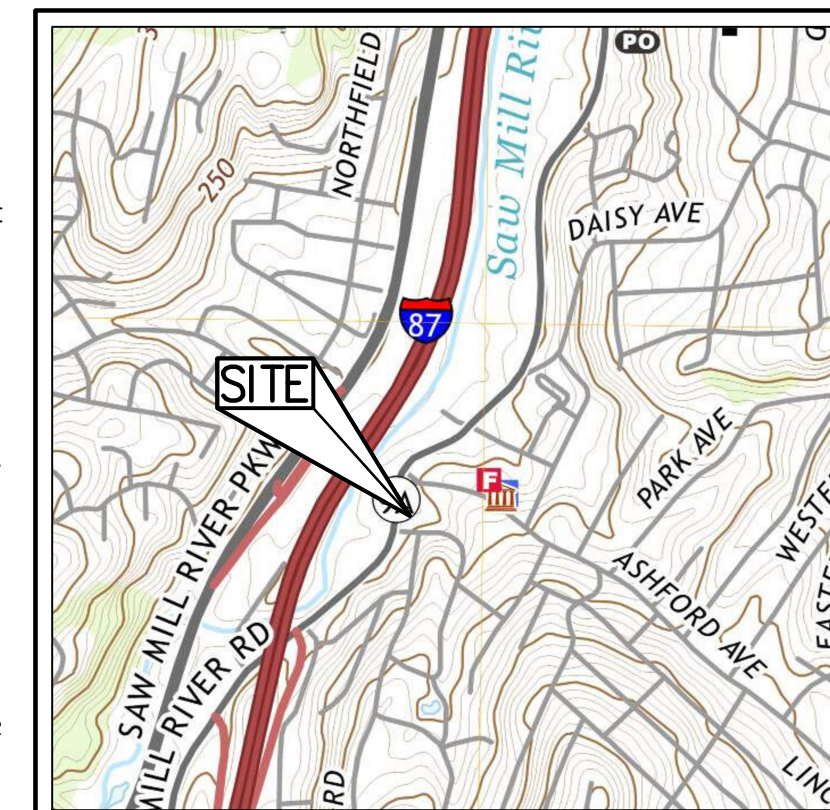
DESCRIPTION	REQUIRED	EXISTING	PROPOSED
LOT AREA (SQUARE FEET)	5,000 MIN.	22,732 ⁽⁵⁾	22,732 ⁽⁵⁾
LOT COVERAGE BY BUILDING (PERCENT)	65 MAX.	10.3	18.3
BUILDING HEIGHT (FEET / STORIES)	45/4 MAX.	-/-	21/1 ⁽⁴⁾
YARDS			
FRONT BUILDING SETBACK (FEET)	10 MIN.	±39.6	±22 ⁽⁷⁾
SIDE BUILDING SETBACK (FEET)	0 ⁽⁵⁾	±44.2	±25 ⁽⁶⁾
REAR BUILDING SETBACK (FEET)	0 ⁽⁵⁾	±30.7	±6 ⁽⁶⁾
PARKING			
TOTAL SPACES	12	-	12 ⁽²⁾⁽⁴⁾
STANDARD SPACES	11	-	11
ACCESSIBLE SPACES	1	-	1

TABLE OF LAND USE NOTES:

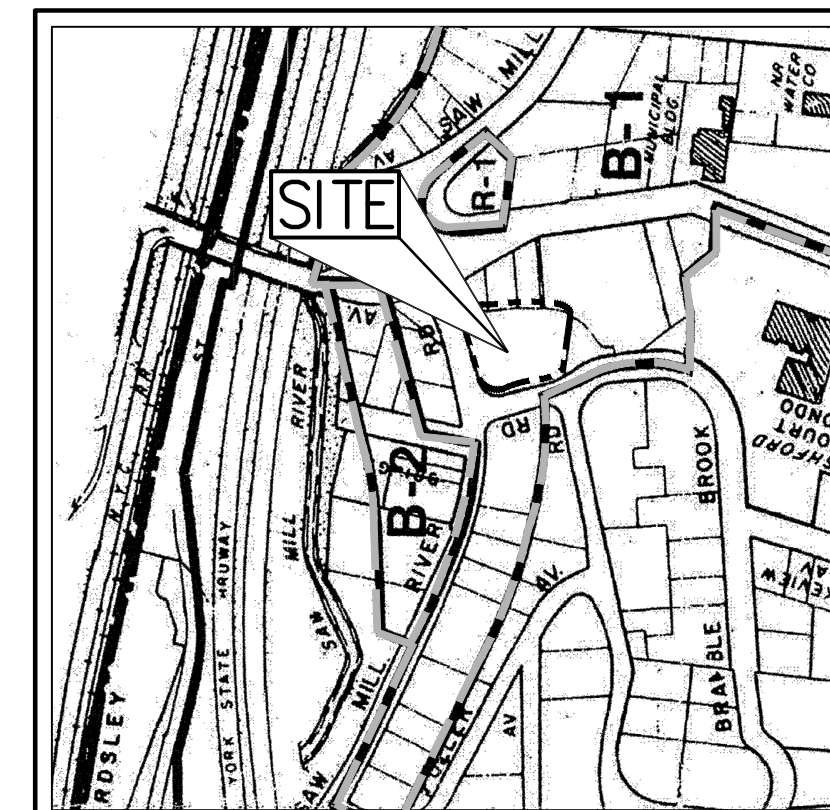
1. LOT COVERAGE AREA INCLUDES 2,150.50 S.F. PROPOSED CONVENIENCE STORE AND 2,018.50 S.F. PROPOSED GASOLINE PUMP CANOPY.
2. THE 6 FUELING SPACES LOCATED UNDER THE PROPOSED CANOPY ARE NOT INCLUDED AS PART OF THE 12 SPACES REQUIRED/ PROVIDED.
3. VILLAGE CODE SECTION 200-70 STATES THAT NO SIDE OR REAR YARD SHALL BE REQUIRED; HOWEVER, IF EITHER IS PROVIDED, ITS LEAST DIMENSION SHALL NOT BE LESS THAN SIX FEET.
4. THE MAXIMUM ROOF HEIGHT WAS TAKEN FROM FINISHED SIDEWALK TO TOP OF MANSARD PARAPET.
5. THE LOT AREA WAS CALCULATED BY THE SURVEYED LOT AREA OF 23,224 LESS 75% OF THE WATERCOURSE AREA, 656 S.F. = 22,732.
6. THE BREAKDOWN OF REQUIRED/ PROVIDED SPACES IS: 1 ACCESSIBLE SPACE, 4 EV CHARGING SPACES & 7 STANDARD SPACES.
7. MEASURED FROM RIDGE ROAD.

GENERAL CONSTRUCTION NOTES APPLY TO ALL WORK HEREIN:

1. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL CALL 811 "DIG SAFELY" (1-800-962-7962) TO HAVE UNDERGROUND UTILITIES LOCATED. EXPLORATORY EXCAVATIONS SHALL COMPLY WITH CODE 753 REQUIREMENTS. NO WORK SHALL COMMENCE UNTIL ALL THE OPERATORS HAVE NOTIFIED THE CONTRACTOR THAT THEIR UTILITIES HAVE BEEN LOCATED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PRESERVATION OF ALL PUBLIC AND PRIVATE UNDERGROUND AND SURFACE UTILITIES AND STRUCTURES AT OR ADJACENT TO THE SITE OF CONSTRUCTION, INsofar AS THEY MAY BE ENDANGERED BY THE CONTRACTOR'S OPERATIONS. THIS SHALL HOLD TRUE WHETHER OR NOT THEY ARE SHOWN ON THE CONTRACT DRAWINGS. IF THEY ARE SHOWN ON THE DRAWINGS, THEIR LOCATIONS ARE NOT GUARANTEED EVEN THOUGH THE INFORMATION WAS OBTAINED FROM THE BEST AVAILABLE SOURCES, AND IN ANY EVENT, OTHER UTILITIES ON THESE PLANS MAY BE ENCOUNTERED IN THE FIELD. THE CONTRACTOR SHALL, AT HIS OWN EXPENSE, IMMEDIATELY REPAIR OR REPLACE ANY STRUCTURES OR UTILITIES THAT HE DAMAGES, AND SHALL CONSTANTLY PROCEED WITH CAUTION TO PREVENT UNDESIRABLE INTERRUPTION OF UTILITY SERVICE.
2. CONTRACTOR SHALL HAND DIG TEST PITS TO VERIFY THE LOCATION OF ALL EXISTING UNDERGROUND UTILITIES PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR SHALL VERIFY EXISTING UTILITIES DEPTHS AND ADVISE OF ANY CONFLICTS WITH PROPOSED UTILITIES. IF CONFLICTS ARE PRESENT, THE OWNER'S FIELD REPRESENTATIVE, JMC, PLLC AND THE APPLICABLE MUNICIPALITY OR AGENCY SHALL BE NOTIFIED IN WRITING. THE EXISTING/PROPOSED UTILITIES RELOCATION SHALL BE DESIGNED BY JMC, PLLC.
3. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ANY AND ALL LOCAL PERMITS REQUIRED.
4. ALL WORK SHALL BE DONE IN STRICT COMPLIANCE WITH ALL APPLICABLE NATIONAL, STATE, AND LOCAL CODES, STANDARDS, ORDINANCES, RULES, AND REGULATIONS. ALL CONSTRUCTION WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL SAFETY CODES. APPLICABLE SAFETY CODES MEAN THE LATEST EDITION INCLUDING ANY AND ALL AMENDMENTS, REVISIONS, AND ADDITIONS THERETO, TO THE FEDERAL DEPARTMENT OF LABOR, OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION'S OCCUPATIONAL SAFETY AND HEALTH STANDARDS (OSHA); AND APPLICABLE SAFETY, HEALTH REGULATIONS AND BUILDING CODES FOR CONSTRUCTION IN THE STATE OF NEW YORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR GUARDING AND PROTECTING ALL OPEN EXCAVATIONS IN ACCORDANCE WITH THE PROVISION OF SECTION 107-05 (SAFETY AND HEALTH REQUIREMENTS) OF THE NYS DOT STANDARD SPECIFICATIONS. IF THE CONTRACTOR PERFORMS ANY HAZARDOUS CONSTRUCTION PRACTICES, ALL OPERATIONS IN THE AFFECTED AREA SHALL BE DISCONTINUED AND IMMEDIATE ACTION SHALL BE TAKEN TO CORRECT THE SITUATION TO THE SATISFACTION OF THE APPROVAL AUTHORITY HAVING JURISDICTION.
5. CONTRACTOR SHALL MAINTAIN ACCESS TO ALL PROPERTIES AFFECTED BY THE SCOPE OF WORK SHOWN HEREON AT ALL TIMES TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE. RAMPING CONSTRUCTION TO PROVIDE ACCESS MAY BE CONSTRUCTED WITH SUBBASE MATERIAL EXCEPT THAT TEMPORARY ASPHALT CONCRETE SHALL BE PLACED AS DIRECTED BY THE ENGINEER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING SAFE PEDESTRIAN ACCESS AT ALL TIMES.
6. CONTRACTOR SHALL MAINTAIN THE INTEGRITY OF EXISTING PAVEMENT TO REMAIN.



VICINITY MAP
 SCALE: 1" = 1,000'
 SOURCE: USGS / 2019



ZONING MAP
 SCALE: 1" = 1,000'
 SOURCE: VILLAGE OF ARDSLEY / 2013

AREA MAP
 SCALE: 1" = 20'

ZONING MAP LEGEND

- ▬▬▬▬▬▬ SITE PROPERTY LINE
- ▬▬▬▬▬▬ ZONING BOUNDARY
- R-1 RESIDENTIAL ZONE
- B-1 GENERAL BUSINESS ZONE

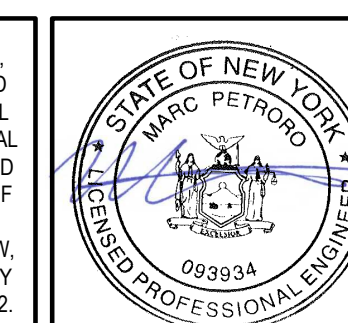
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Previous Editions Obsolete

SUBSURFACE UTILITY LOCATIONS ARE BASED ON A COMPILED LIST OF FIELD EVIDENCE, AVAILABLE RECORD PLANS AND/OR UTILITY MARK-OUTS. THE LOCATION OR COMPLETENESS OF UNDERGROUND INFORMATION CANNOT BE GUARANTEED. VERIFY THE ACTUAL LOCATION OF ALL UTILITIES PRIOR TO EXCAVATION OR CONSTRUCTION.



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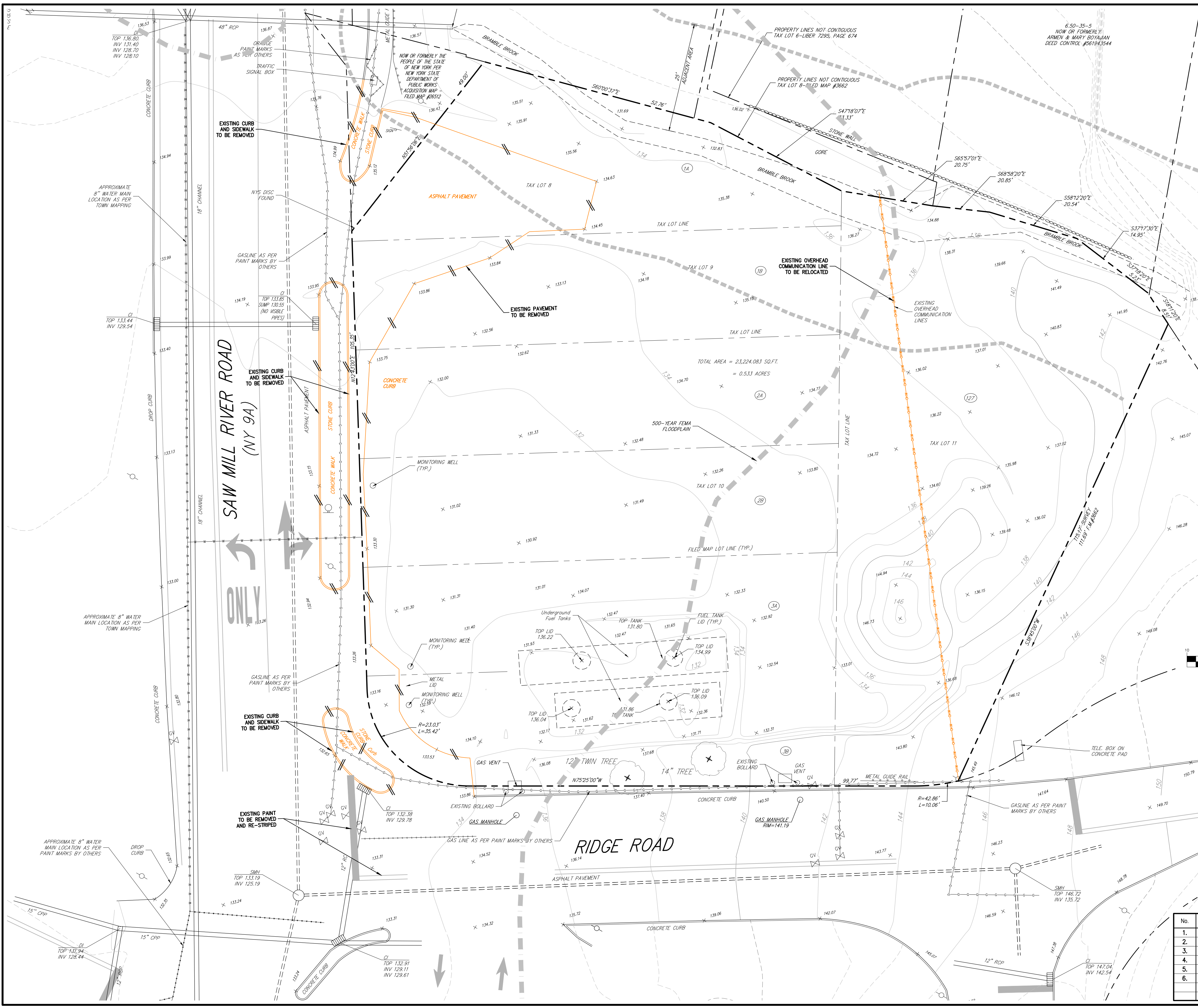


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Drawn: **KRM** Approved: **RJP**
 Scale: **NOT TO SCALE**
 Date: **06/26/2020**
 Project No: **18175**
 18175-SE C-000-COVER COVER.ar
 Drawing No: **C-000**

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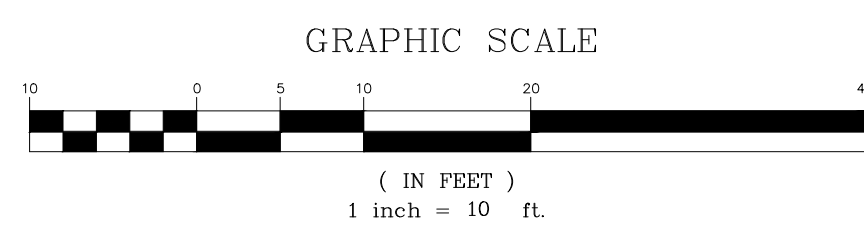
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LEGEND

- EXISTING PROPERTY LINE
- ADJACENT PROPERTY LINE
- EXISTING EASEMENT LINE
- EXISTING WETLAND LINE
- EXISTING ADJACENT AREA
- EXISTING PAVEMENT EDGE
- EXISTING CURB LINE
- EXISTING CONTOUR
- EXISTING INDEX CONTOUR
- EXISTING STONE WALL
- EXISTING RETAINING WALL
- EXISTING GUIDE RAIL
- EXISTING FENCE
- EXISTING TREE AND DESIGNATION
- EXISTING DIRECTIONAL ARROWS
- EXISTING PAINT
- EXISTING PEDESTRIAN CROSSING
- EXISTING STORM DRAIN LINE AND SIZE
- EXISTING SANITARY LINE AND SIZE
- EXISTING WATER LINE
- EXISTING GAS LINE
- EXISTING OVERHEAD WIRES
- EXISTING DRAIN INLET
- EXISTING MANHOLE
- EXISTING BOLLARD
- EXISTING FIRE HYDRANT
- EXISTING GAS VALVE
- EXISTING WATER VALVE
- EXISTING UTILITY POLE
- EXISTING LIGHT POLE
- EXISTING SIGN
- EXISTING FEATURE TO BE REMOVED
- FEMA 500-YEAR FLOOD LINE

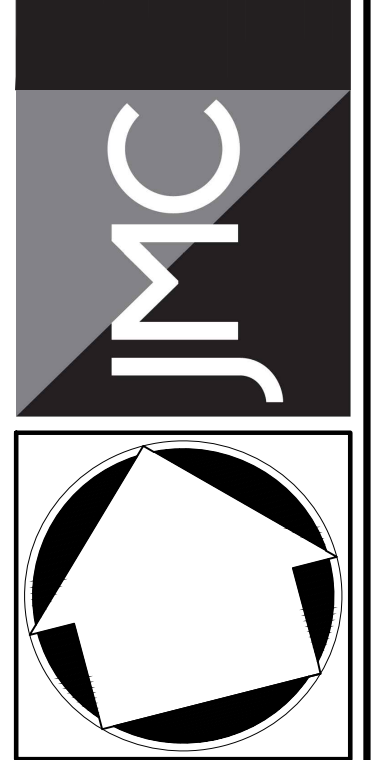
- NOTES**
- EXISTING CONDITIONS DEPICTED ON THIS PLAN HAVE BEEN TAKEN FROM A SURVEY TITLED, "TOPOGRAPHY OF PROPERTY," PREPARED BY THOMAS C. MERRITT'S LAND SURVEYORS, P.C., LAST REVISED 11/17/2020.
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APPLICANT/OWNER:
THORNWOOD FOUR CORNERS LLC.
25 SAINT CHARLES STREET
THORNWOOD, NY 10594

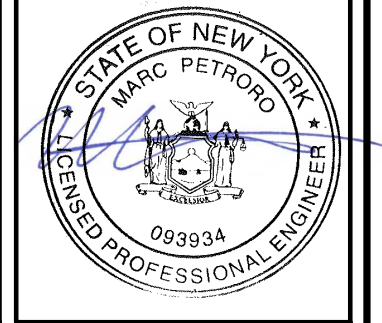
ARCHITECT:
GK+A ARCHITECTS, PC
36 AMES AVENUE
RUTHERFORD, NEW JERSEY 07070

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JMC Site Development Consultants, LLC
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EXISTING CONDITIONS MAP AND SITE REMOVALS PLAN

GAS STATION / CONVENIENCE MARKET
657 SAW MILL RIVER ROAD
VILLAGE OF ARDSLEY, NEW YORK



No.	Revision	Date	By
1.	PLANNING BOARD & BAR SUBMISSION	03/30/2021	MTP
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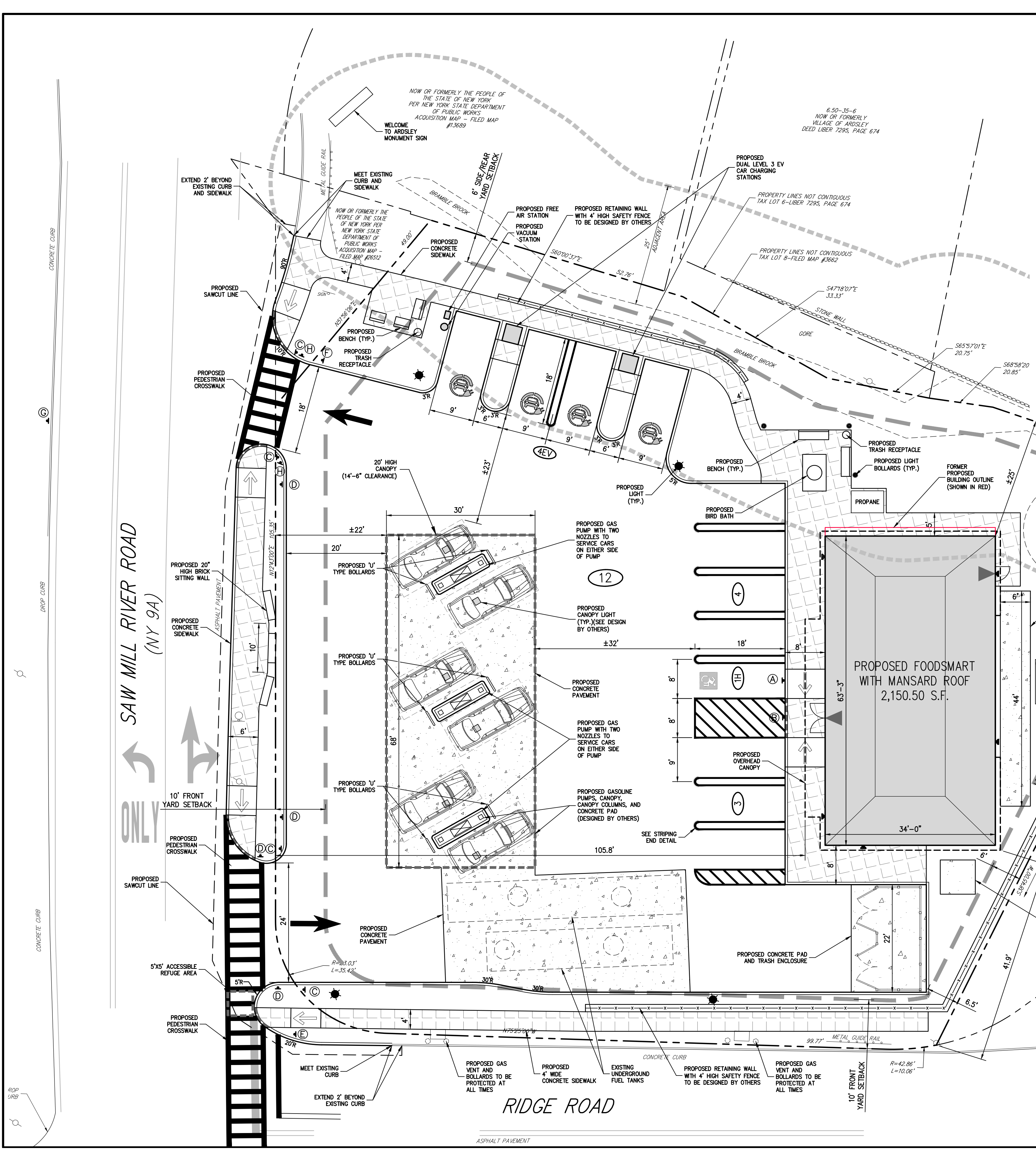
Drawn: **KRM** Approved: **RJP**
Scale: **1" = 10'**
Date: **05/26/2020**
Project No: **18175**
18175-SE C-010-EXIST EXIST.acx
Drawing No:

C-010

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SIGN TABLE

DESCRIPTION NUMBER	SYMBOL	SIZE	DESCRIPTION	PAVING TYPE	MAINTENANCE	REGULATORY	REPLACEMENT
A	[Symbol]	12"x18"	GREEN & BLUE ON WHITE	STEEL CHANNEL	7'-0"	R7-B	X
B	[Symbol]	12"x18"	GREEN ON WHITE	STEEL CHANNEL	7'-0"	R7-BA	X
C	[Symbol]	30"x30"	RED ON WHITE	STEEL CHANNEL	7'-0"	R5-1	X
D	[Symbol]	36"x12"	WHITE ARROW ON BLACK	STEEL CHANNEL	7'-0"	R6-1R	X
E	[Symbol]	30"x30"	WHITE ON RED	STEEL CHANNEL	7'-0"	R1-1	X
F	[Symbol]	30"x30"	WHITE ON RED	STEEL CHANNEL	7'-0"	R1-1	X
G	[Symbol]	24"x24"	BLACK ON RED AND WHITE	STEEL CHANNEL	7'-0"	R3-2	X
H	[Symbol]	36"x12"	WHITE ARROW ON BLACK	STEEL CHANNEL	7'-0"	R6-1L	X
I	[Symbol]	12"x18"	GREEN ON WHITE	WOOD POST IN PVC SLEEVE	7'-0"	31-0559 MODIFIED	X
	[Symbol]	12"x6"	GREEN ON WHITE	WOOD POST IN PVC SLEEVE	7'-0"	R7-R&P MODIFIED	X

LEGEND

- EXISTING PROPERTY LINE
- ADJACENT PROPERTY LINE
- FORMER TAX LOT LINE
- EXISTING SETBACK LINE
- EXISTING WATERCOURSE
- EXISTING WATERCOURSE BUFFER
- EXISTING PAVEMENT EDGE
- EXISTING CURB LINE
- EXISTING STONE WALL
- EXISTING RETAINING WALL
- EXISTING GUIDE RAIL
- EXISTING TREE AND DESIGNATION
- EXISTING DIRECTIONAL ARROWS
- EXISTING PAINT
- EXISTING UTILITY POLE
- EXISTING LIGHT POLE
- EXISTING SIGN
- EXISTING BOLLARD
- PROPOSED BUILDING LINE
- PROPOSED GAS PUMP CANOPY
- PROPOSED CONCRETE CURB
- PROPOSED FLUSH CONCRETE CURB
- PROPOSED T4 MOUNTABLE CURB
- PROPOSED DROP CURB & RAMP
- PROPOSED SAWCUT LINE
- PROPOSED ACCESSIBLE PARKING SPACES WITH NUMBER OF SPACES INDICATED (REFER TO STRIPING DETAILS)
- PROPOSED PARKING SPACES WITH NUMBER OF SPACES INDICATED (REFER TO STRIPING DETAILS)
- PROPOSED CONCRETE SIDEWALK
- PROPOSED MONOLITHIC CONCRETE SIDEWALK & CURB
- PROPOSED DROP CURB AND RAMP
- PROPOSED HEAVY DUTY PAVEMENT
- PROPOSED CONCRETE PAVEMENT/PAD
- PROPOSED RETAINING WALL (DESIGN BY OTHERS)
- PROPOSED GUIDE RAIL
- PROPOSED FENCE
- PROPOSED ARROW MARKING ON PAVEMENT
- PROPOSED TRAFFIC SIGN LOCATION & DESIGNATION
- PROPOSED POLE MOUNTED LIGHT
- PROPOSED BOLLARD LIGHT
- PROPOSED BUILDING LIGHT
- PROPOSED "U" TYPE BOLLARD

NOTES:

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GRAPHIC SCALE
 10 0 5 10 20 30 40
 (IN FEET)
 1 inch = 10 ft.

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ARCHITECT: **GK+A ARCHITECTS, PC**
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JMC

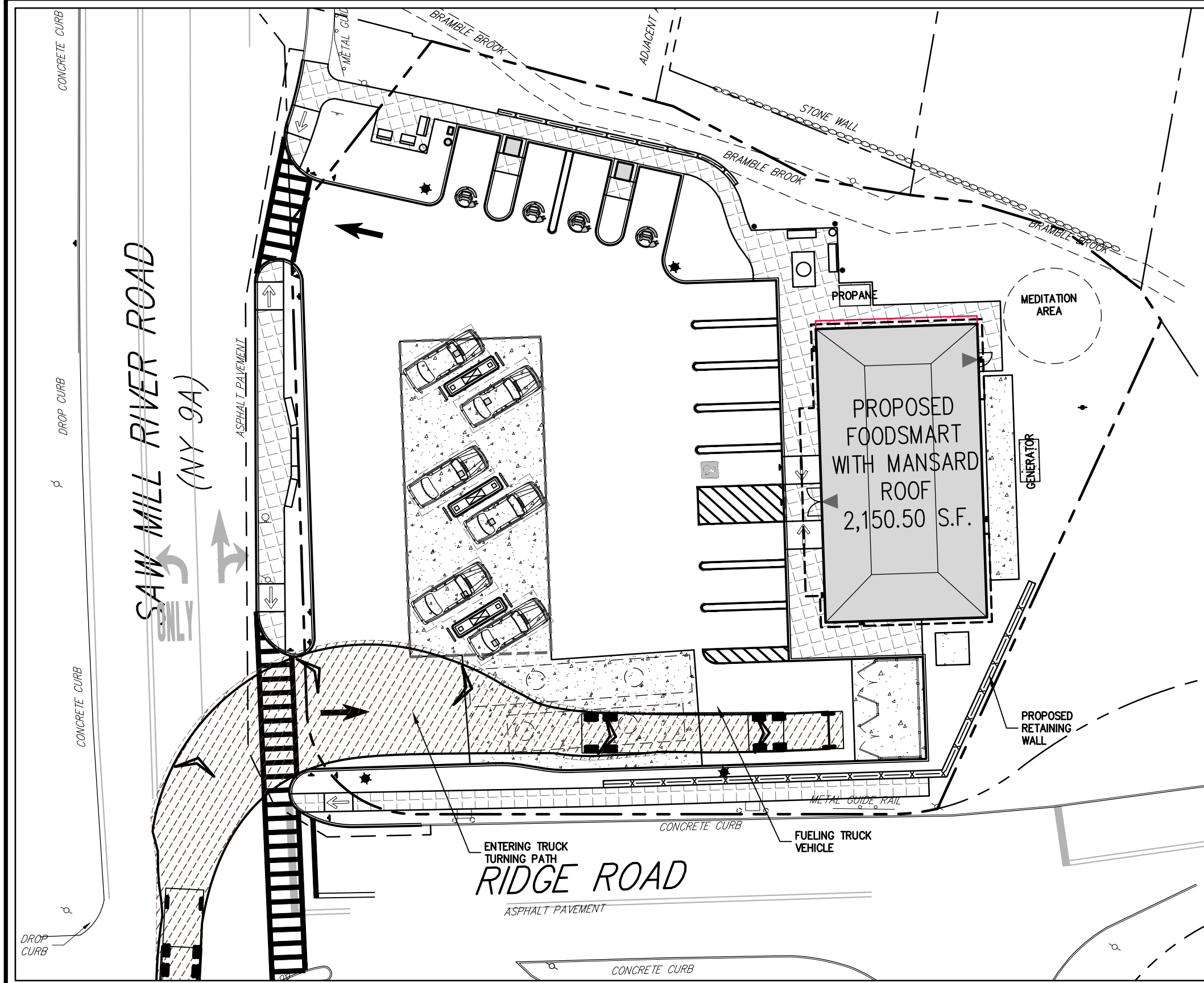
LAYOUT PLAN

GAS STATION / CONVENIENCE MARKET
 657 SAW MILL RIVER ROAD
 VILLAGE OF ARDSLEY, NEW YORK

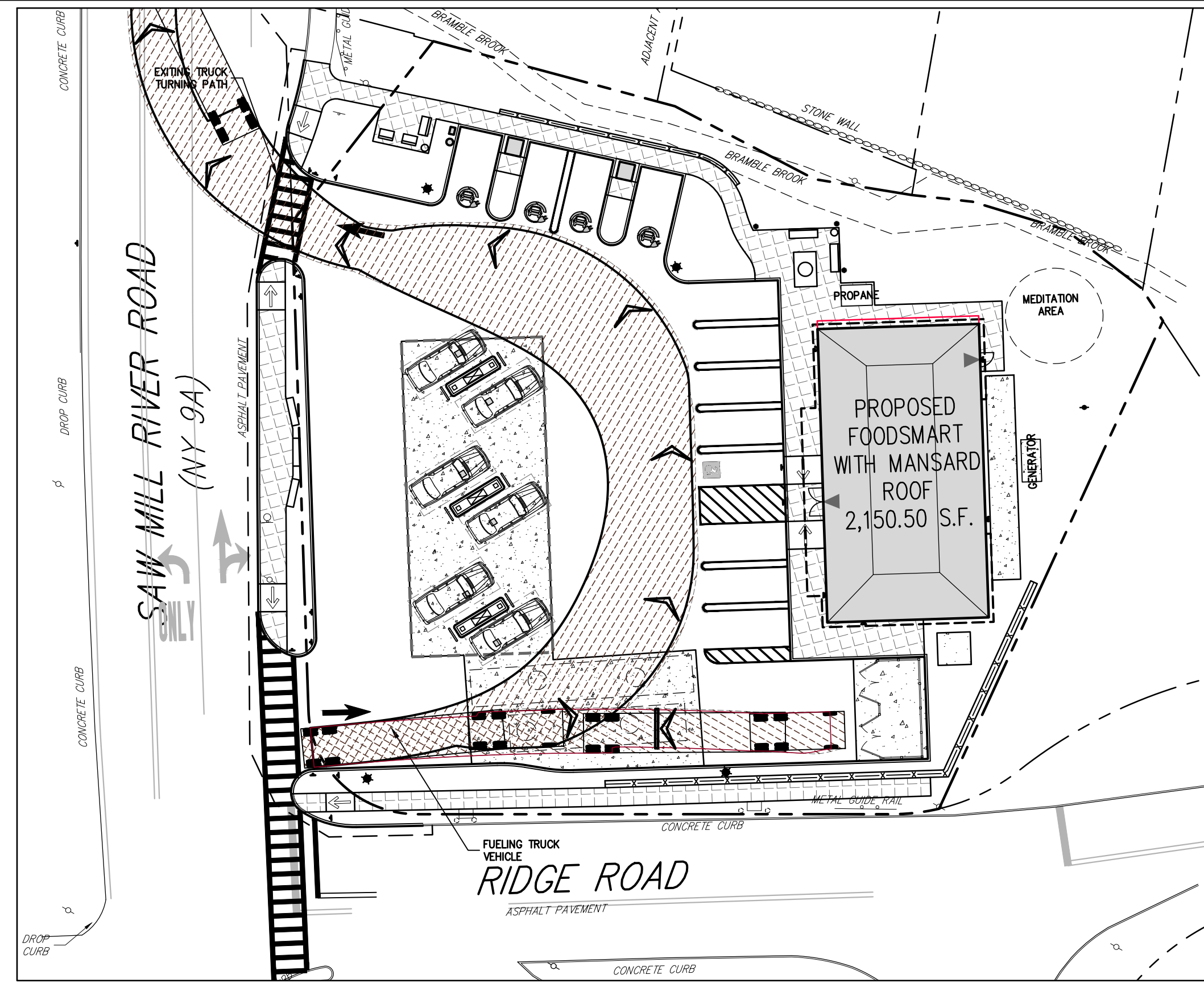
STATE OF NEW YORK
 JAMES PETROPO
 09334
 REGISTERED PROFESSIONAL ENGINEER

Drawn: **KRM** Approved: **RJP**
 Scale: **1" = 10'**
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 Project No: **18175**
 1815-SI C-100-LAY 1_JJA1.ar
 Drawing No:
C-100
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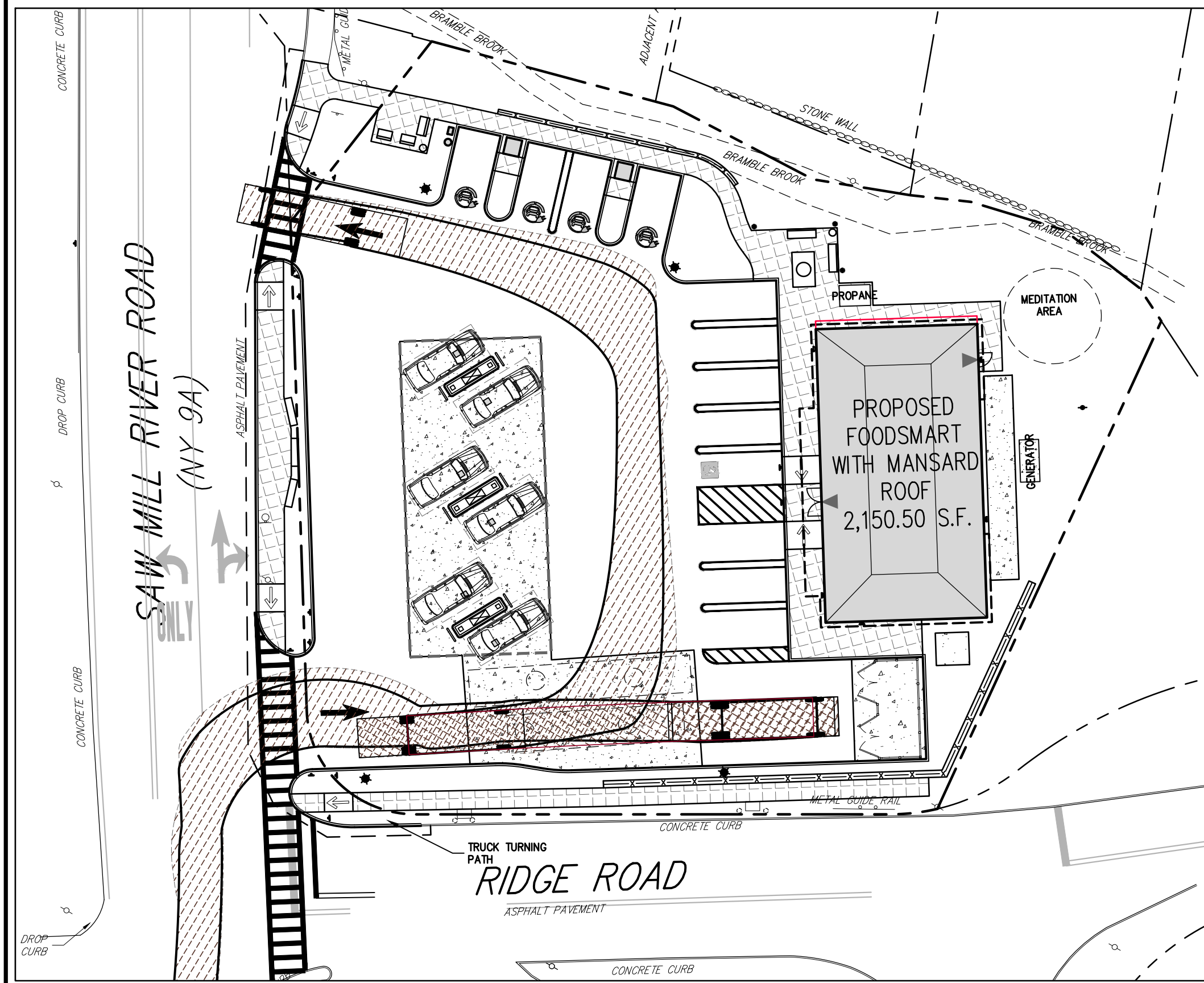
No.	Revision	Date	By
1.	REVISED PER VILLAGE PLANNING BOARD COMMENTS	09/23/2022	EKG
2.	REV. TO ELIMINATE 3 PARKING SPACES PER PL. ED. COMMENTS	12/14/2022	DK
3.	REVISED PER PL. ED CHAIR COMMENTS	02/28/2023	APN
4.	REVISED PER BOARD OF TRUSTEES COMMENTS	12/01/2023	SMN
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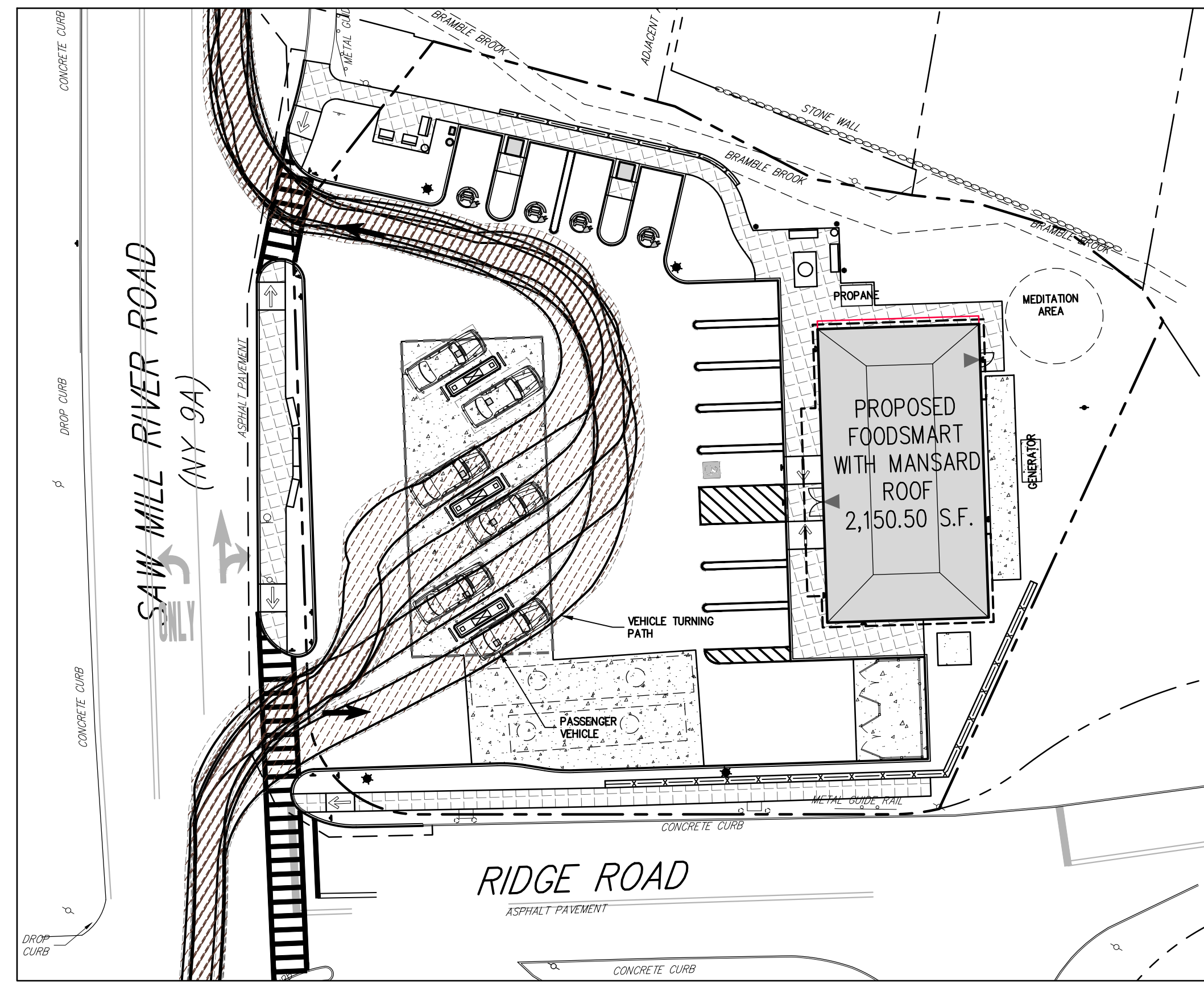
FUELING TRUCK ENTERING TURNING ANALYSIS



FUELING TRUCK EXITING TURNING ANALYSIS

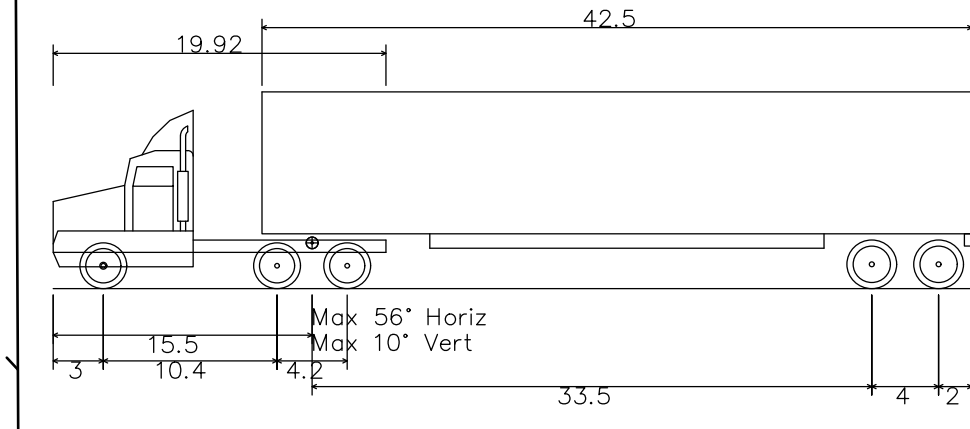


GARBAGE TRUCK TURNING ANALYSIS

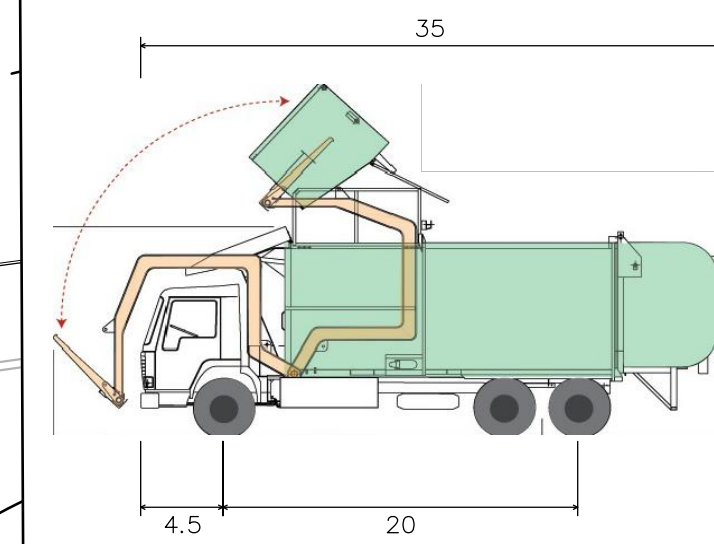


PASSENGER VEHICLE TURNING ANALYSIS

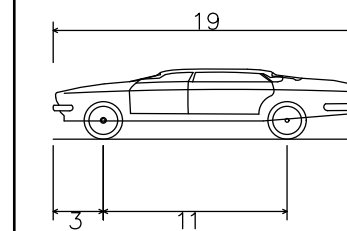
VEHICLE PROFILES



WB-50 - Intermediate Semi-Trailer
 Overall Length 55.00ft
 Overall Width 8.500ft
 Overall Body Height 12.052ft
 Min Body Ground Clearance 1.334ft
 Max Track Width 8.500ft
 Lock-to-lock time 6.00s
 Max Steering Angle (Virtual) 17.90°



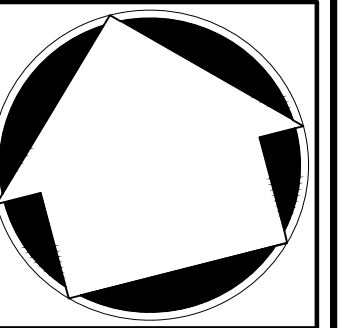
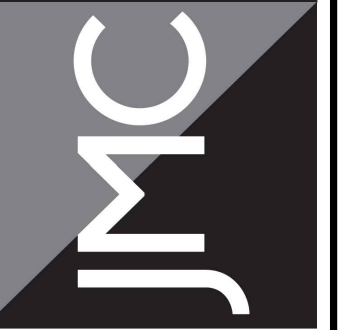
Front-Load Garbage Truck
 Overall Length 35.00ft
 Overall Width 8.375ft
 Overall Body Height 10.546ft
 Min Body Ground Clearance 1.000ft
 Track Width 8.375ft
 Lock-to-lock time 6.00s
 Curb to Curb Turning Radius 29.300ft



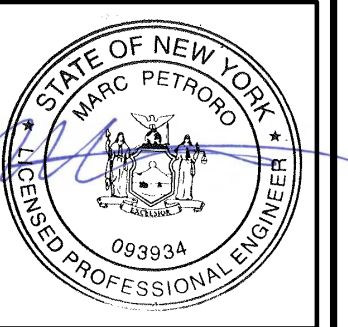
P - Passenger Car
 Overall Length 19.00ft
 Overall Width 7.00ft
 Overall Body Height 4.30ft
 Min Body Ground Clearance 1.115ft
 Track Width 5.00ft
 Lock-to-lock time 4.00s
 Max Steering Angle (Virtual) 51.60°

APPLICANT/OWNER:
THORNWOOD FOUR CORNERS LLC.
 25 SAINT CHARLES STREET
 THORNWOOD, NY 10594
 ARCHITECT:
GK+A ARCHITECTS, PC
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TURNING ANALYSIS PLAN
 GAS STATION / CONVENIENCE MARKET
 657 SAW MILL RIVER ROAD
 VILLAGE OF ARDSLEY, NEW YORK



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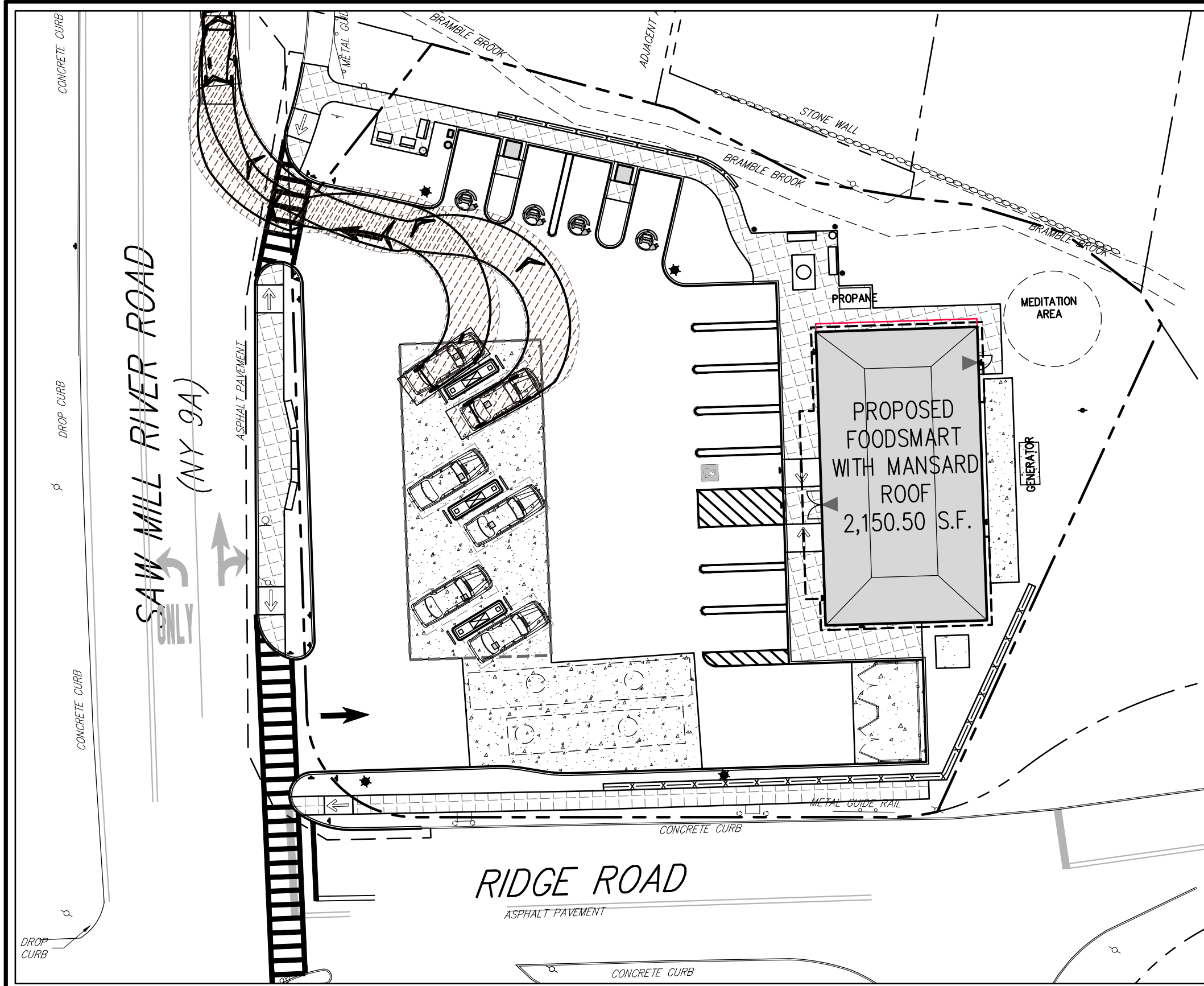
No.	Revision	Date	By
1.	PLANNING BOARD & BAR SUBMISSION	03/30/2021	MTP
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3.	REVISED PER TOWN COMMENTS	01/13/2022	CDF
4.	REVISED PER BOARD OF TRUSTEES COMMENTS	12/01/2023	SMN
5.	LIGHTING REVISIONS	12/13/2023	DK
6.	REVISED PER BOARD OF TRUSTEES COMMENTS	01/31/2024	RB
7.	REVISED PER BOARD OF TRUSTEES COMMENTS	03/22/2024	RB

Previous Editions Obsolete

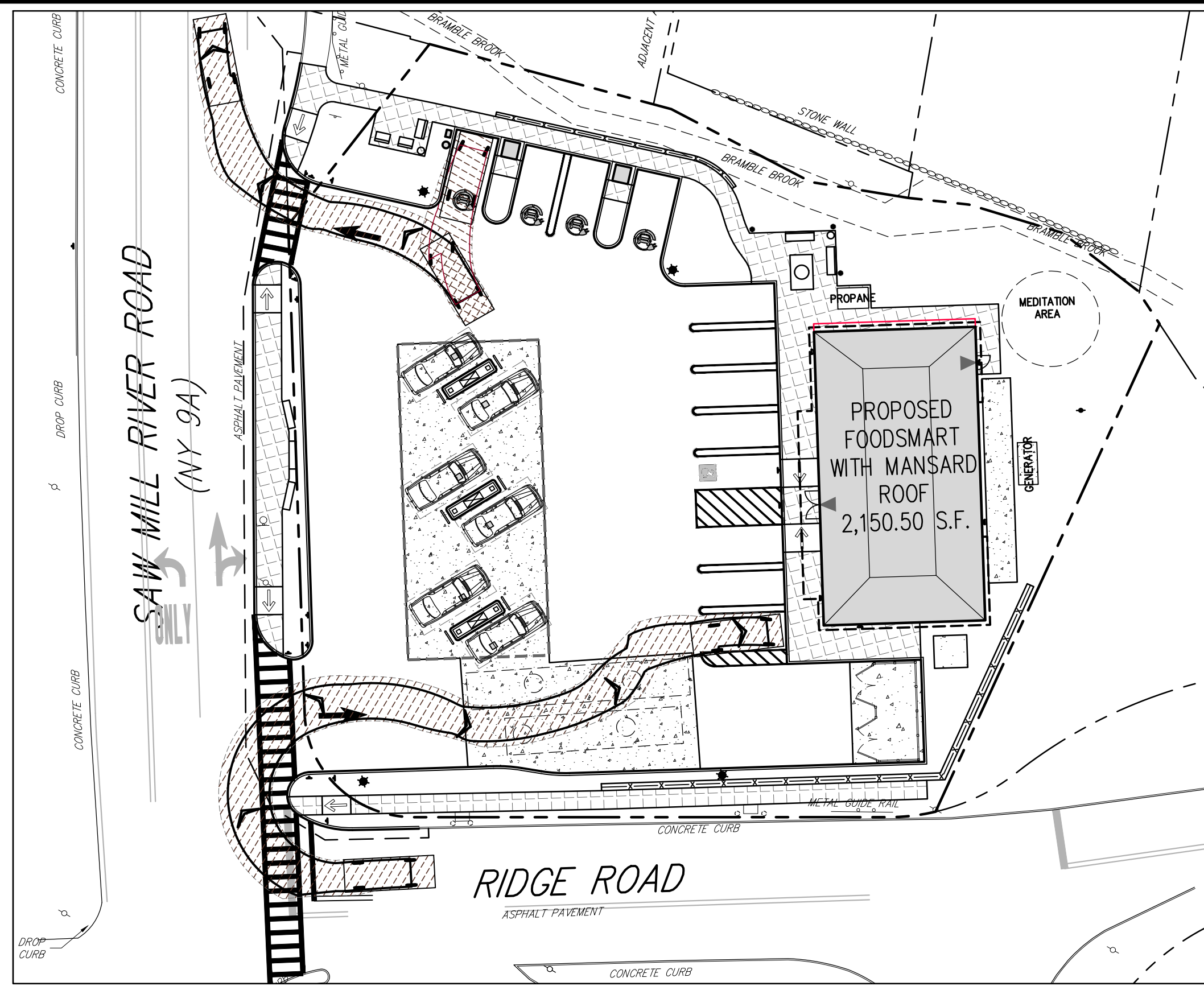
Drawn: **KRM** Approved: **RJP**
 Scale: 1" = 20'
 Date: 05/26/2020
 Project No: 18175
 1815-SE C-110-MOE 1A-VB10r
 Drawing No: **C-110**

NOT FOR CONSTRUCTION

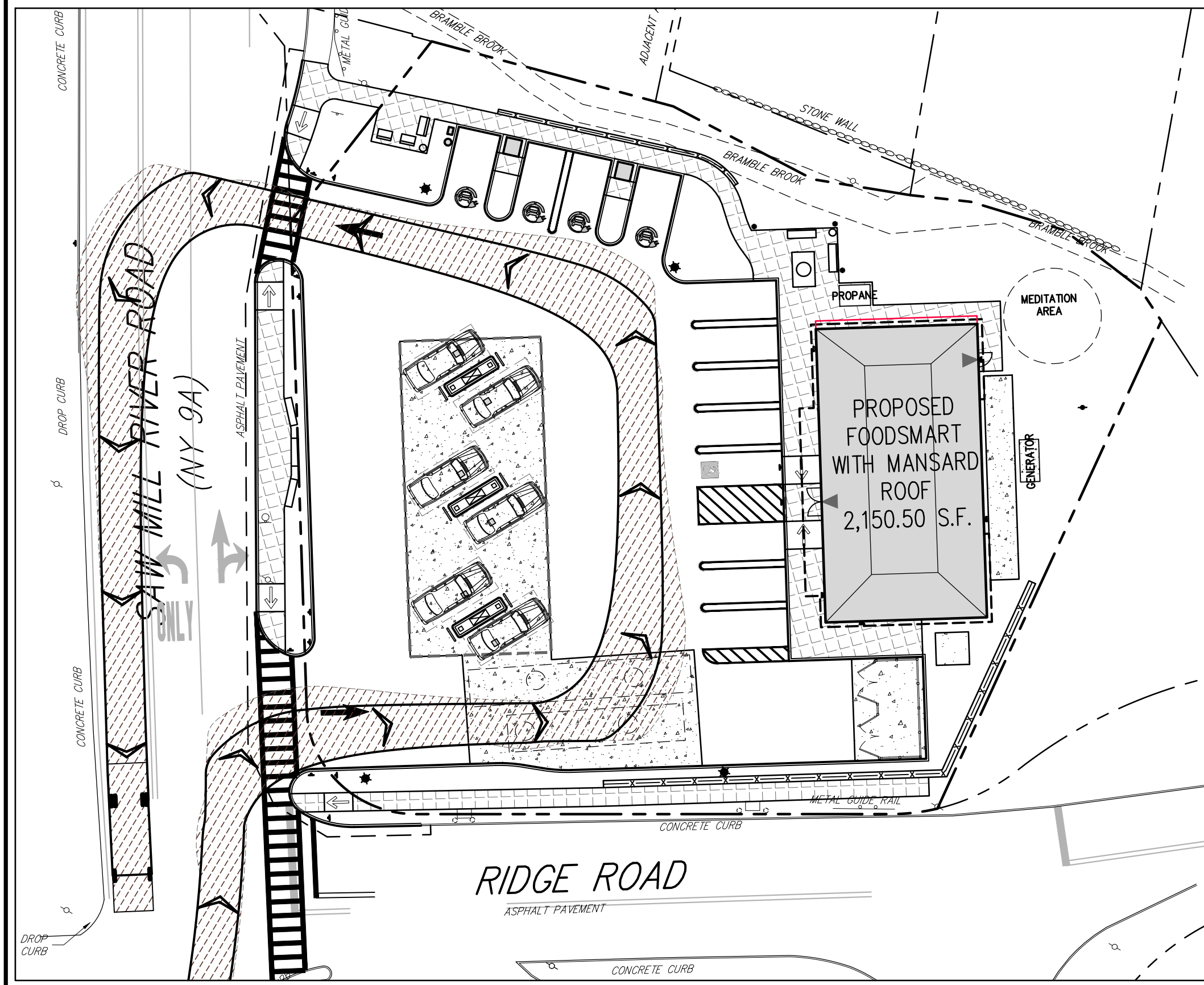
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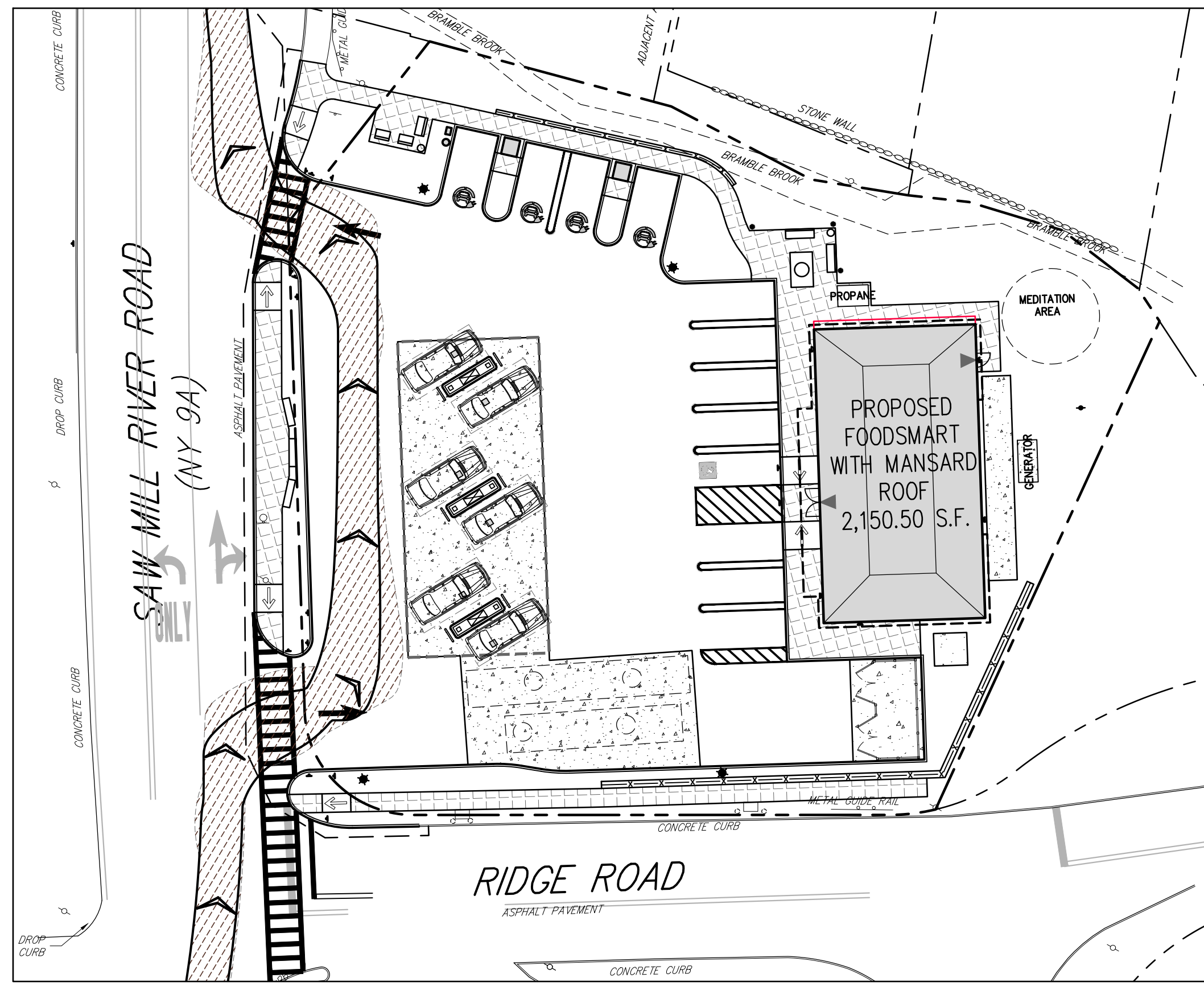
PASSENGER VEHICLE EXITING PUMPS
TURNING ANALYSIS



PASSENGER VEHICLE TURNING ANALYSIS

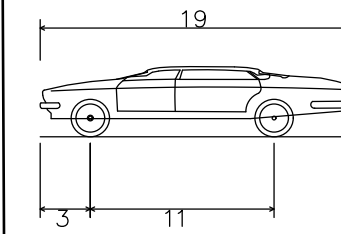


FIRE TRUCK CIRCULATING SITE TURNING
ANALYSIS

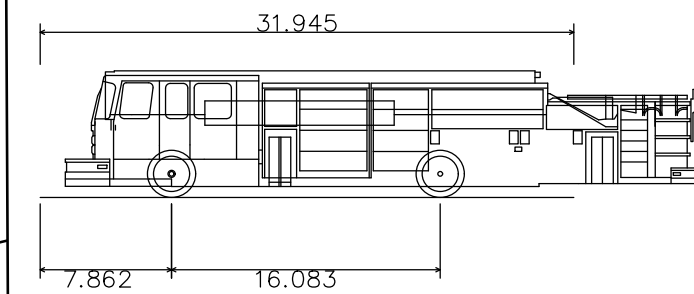


FIRE TRUCK CIRCULATING SITE TURNING
ANALYSIS

VEHICLE
PROFILES



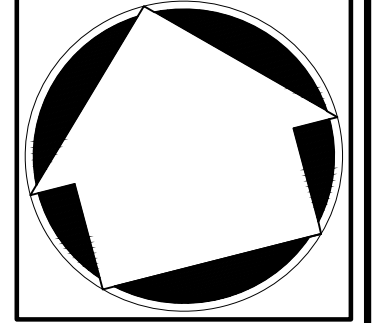
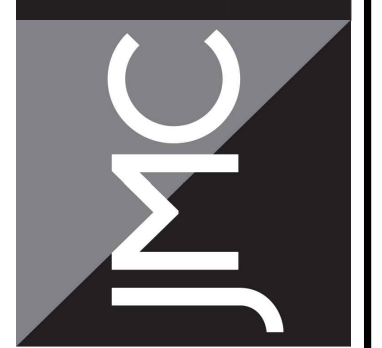
P - Passenger Car
 Overall Length 19.00ft
 Overall Width 7.00ft
 Overall Body Height 4.30ft
 Min Body Ground Clearance 1.115ft
 Track Width 6.00ft
 Lock-to-lock time 4.00s
 Max Steering Angle (Virtual) 31.60°



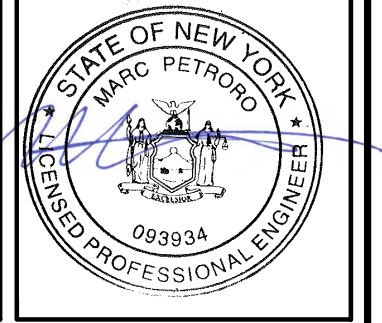
SPARTAN GLADIATOR MFD 10RR
 Overall Length 31.945ft
 Overall Width 8.25ft
 Overall Body Height 7.759ft
 Min Body Ground Clearance 0.670ft
 Track Width 8.25ft
 Lock-to-lock time 5.00s
 Max Wheel Angle 45.00°

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TURNING ANALYSIS PLAN
 GAS STATION / CONVENIENCE MARKET
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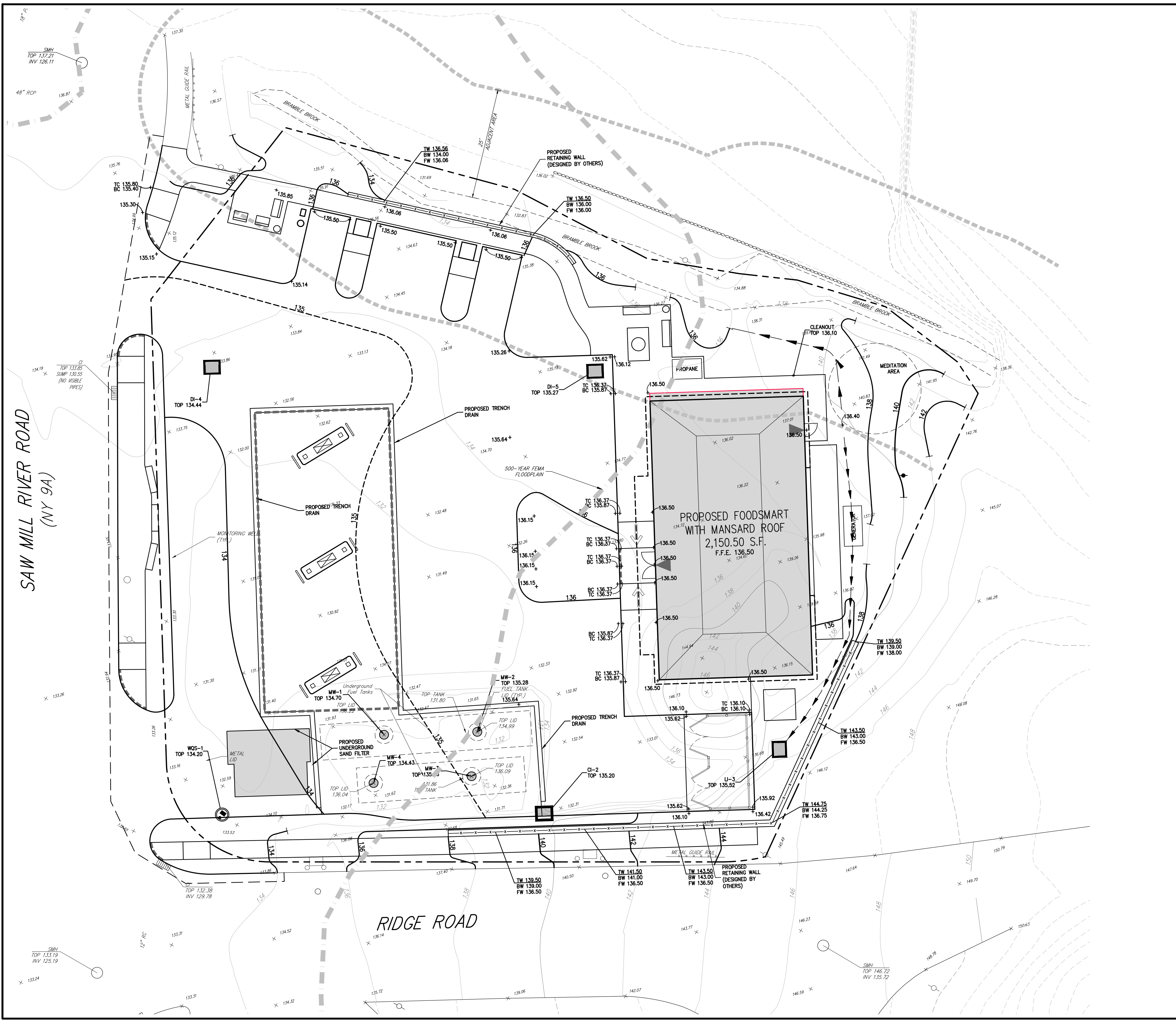
No.	Revision	Date	By
1.	REVISED PER BOARD OF TRUSTEES COMMENTS	01/31/2024	RB
2.	REVISED PER BOARD OF TRUSTEES COMMENTS	03/22/2024	RB

Drawn: **KRM** Approved: **RJP**
 Scale: 1" = 20'
 Date: 05/26/2020
 Project No: 18175
 1875-SE C-120-WVE 1A-VH10r
 Drawing No:
C-120

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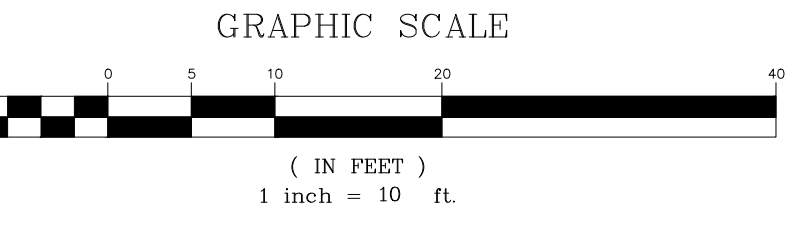
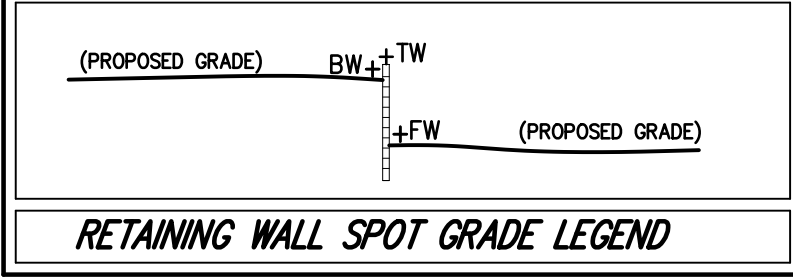
NOT FOR CONSTRUCTION



LEGEND

- EXISTING PROPERTY LINE
- ADJACENT PROPERTY LINE
- FORMER PROPERTY LINE
- EXISTING SETBACK LINE
- EXISTING WATERCOURSE
- EXISTING WATERCOURSE BUFFER
- EXISTING PAVEMENT EDGE
- EXISTING CURB LINE
- EXISTING CONTOUR
- EXISTING INDEX CONTOUR
- EXISTING STONE WALL
- EXISTING RETAINING WALL
- EXISTING GUIDE RAIL
- EXISTING DRAIN INLET
- EXISTING MANHOLE
- EXISTING UTILITY POLE
- EXISTING SIGN
- EXISTING FUEL MANWAY
- PROPOSED TYPE CI DRAIN INLET
- PROPOSED TYPE DI OR LI DRAIN INLET
- PROPOSED BUILDING LINE
- PROPOSED EDGE OF PAVEMENT/CURB LINE
- PROPOSED CONCRETE SIDEWALK
- PROPOSED DROP CURB AND RAMP
- PROPOSED MAJOR CONTOUR
- PROPOSED MINOR CONTOUR
- PROPOSED SPOT GRADE
- PROPOSED RETAINING WALL (DESIGN BY OTHERS)
- PROPOSED GUIDE RAIL
- FEMA 500-YEAR FLOOD LINE

- NOTES:**
- EXISTING CONDITIONS DEPICTED ON THIS PLAN HAVE BEEN TAKEN FROM SURVEY TITLED "TOPOGRAPHY OF PROPERTY" PREPARED BY THOMAS C. MERRITTS LAND SURVEYORS, P.C., LAST REVISED 11/17/2020.
 - EXISTING CONDITIONS DEPICTED ON THIS PLAN HAVE BEEN SUPPLEMENTED UTILIZING NEW YORK STATE GIS CLEARINGHOUSE ORTHOMAGERY. THIS INFORMATION SHOULD BE CONSIDERED APPROXIMATE AND USED FOR PLANNING PURPOSES ONLY.
 - EXISTING CONDITIONS DEPICTED ON THIS PLAN HAVE ALSO BEEN SUPPLEMENTED WITH INFORMATION FROM "SITE LOCATION PLAN" PREPARED BY DRE ENVIRONMENTAL, INC., DATED 11/1/2016.
 - ALL STORMWATER MANAGEMENT PRACTICES SHALL REMAIN UNDISTURBED AND BE PROTECTED FROM HEAVY MACHINERY TRAFFIC DURING CONSTRUCTION. HOWEVER DURING CONSTRUCTION OF THE PRACTICE THE CONTRACTOR SHALL MINIMIZE AND AVOID HEAVY MACHINERY TRAFFIC TO THE MAXIMUM EXTENT PRACTICABLE. THERE SHALL BE NO STORAGE OF MATERIALS WITHIN AREAS TO BE USED FOR STORMWATER MANAGEMENT PRACTICES. THE CONTRACTOR SHALL INSTALL CONSTRUCTION FENCE AROUND THE PRACTICE TO DISCOURAGE VEHICLE TRAFFIC.
 - THE FEMA 100-YEAR BASE FLOOD ELEVATION IS 132.33.
 - THE CONSTRUCTION OF ALL WALLS GREATER THAN FOUR (4) FEET IN HEIGHT SHALL BE INSPECTED AND CERTIFIED TO THEIR COMPLIANCE WITH THE APPROVED DESIGN BY THE DESIGN PROFESSIONAL PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY/COMPLETION.

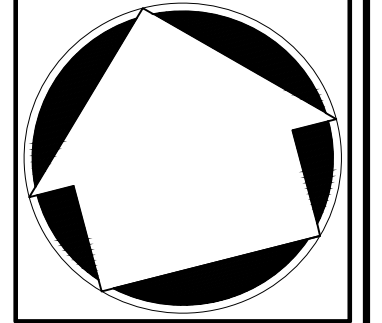


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 25 SAINT CHARLES STREET
 THORNWOOD, NY 10594

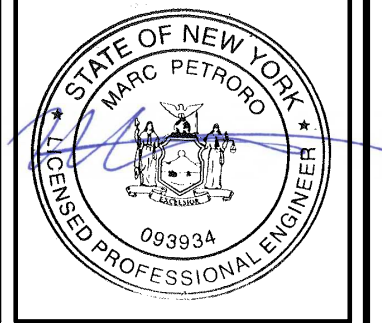
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GRADING PLAN

GAS STATION / CONVENIENCE MARKET
 657 SAW MILL RIVER ROAD
 VILLAGE OF ARDSLEY, NEW YORK

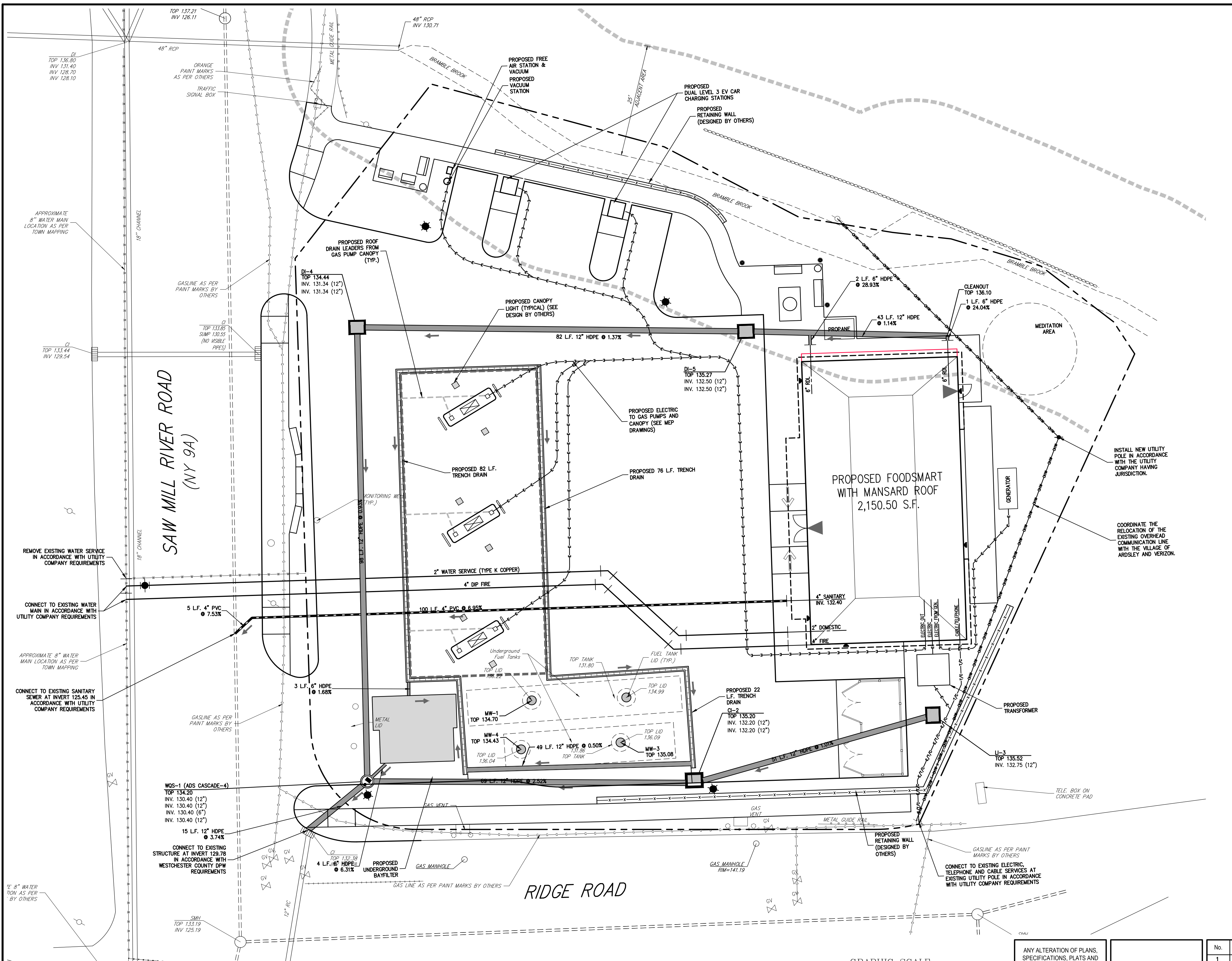


No.	Revision	Date	By
1.	PLANNING BOARD & BAR SUBMISSION	03/30/2021	MTP
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5.	REVISED PER BOARD OF TRUSTEES COMMENTS	01/31/2024	RB
6.	REVISED PER BOARD OF TRUSTEES COMMENTS	03/22/2024	RB

Previous Editions Obsolete

Drawn: **KRM** Approved: **RJP**
 Scale: **1" = 10'**
 Date: **05/26/2020**
 Project No: **18175**
 1875-SE C-200-GR40 GR40.scr
 Drawing No:
C-200

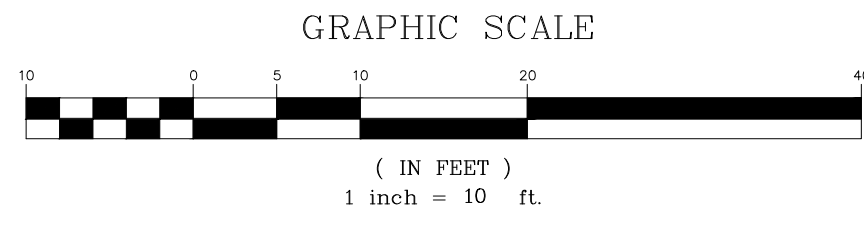
NOT FOR CONSTRUCTION



LEGEND

- EXISTING PROPERTY LINE
- ADJACENT PROPERTY LINE
- FORMER PROPERTY LINE
- EXISTING SETBACK LINE
- EXISTING WATERCOURSE
- EXISTING WATERCOURSE BUFFER
- EXISTING PAVEMENT EDGE
- EXISTING CURB LINE
- EXISTING STONE WALL
- EXISTING RETAINING WALL
- EXISTING GUIDE RAIL
- EXISTING FENCE
- EXISTING STORM DRAIN LINE AND SIZE
- EXISTING SANITARY LINE AND SIZE
- EXISTING WATER LINE
- EXISTING GAS LINE
- EXISTING OVERHEAD WIRES
- EXISTING DRAIN INLET
- EXISTING MANHOLE
- EXISTING BOLLARD
- EXISTING FIRE HYDRANT
- EXISTING GAS VALVE
- EXISTING WATER VALVE
- EXISTING UTILITY POLE
- PROPOSED BUILDING LINE
- PROPOSED EDGE OF PAVEMENT/CURB LINE
- PROPOSED CONCRETE SIDEWALK
- PROPOSED DROP CURB AND RAMP
- PROPOSED FUEL MANWAY
- PROPOSED WATER QUALITY STRUCTURE
- PROPOSED TYPE CI DRAIN INLET
- PROPOSED TYPE DI OR LI DRAIN INLET
- PROPOSED TRENCH DRAIN
- PROPOSED STORM DRAIN LINE AND SIZE
- PROPOSED SANITARY SEWER LINE & SIZE
- PROPOSED WATER LINE & SIZE
- PROPOSED ELECTRIC LINE
- PROPOSED TELEPHONE/CABLE LINE
- PROPOSED ELECTRIC/TELEPHONE/CABLE
- PROPOSED RETAINING WALL (DESIGN BY OTHERS)

- NOTES**
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 - UNLESS OTHERWISE SPECIFIED, PIPE FOR SANITARY SEWER GRAVITY LINES SHALL BE POLYETHYLENE GLYCOL PIPE (PE) 300-35, WITH PUSH-ON JOINTS IN ACCORDANCE WITH ASTM D-3034 AND D-3212.
 - UNLESS OTHERWISE SPECIFIED, PIPE FOR WATER LINES SHALL BE DOUBLE CEMENT-LINED DUCTILE IRON PIPE (DIP), CLASS 54, WITH PUSH-ON JOINTS AND FIELD-LOK GASKETS IN ACCORDANCE WITH AWWA C-150, C-151, C-104 AND C-111.
 - ALL COPPER SERVICE LINES SHALL BE SEAMLESS TYPE "K" COPPER IN ACCORDANCE WITH ASTM-88 WITH COMPRESSION OR FLARED JOINTS.
 - ELECTRIC, TELEPHONE, AND CABLE TELEVISION LINES SHALL BE INSTALLED UNDERGROUND IN CONDUIT IN ACCORDANCE WITH THE REQUIREMENTS OF THE UTILITY COMPANY HAVING JURISDICTION.
 - CONTRACTOR SHALL MAINTAIN A MINIMUM OF 4 FEET OF COVER OVER ALL WATER MAINS.
 - CONTRACTOR SHALL MAINTAIN MINIMUM HORIZONTAL AND VERTICAL CROSSING DISTANCES PER THE WESTCHESTER COUNTY DEPARTMENT OF HEALTH REQUIREMENTS. IF MINIMUM DISTANCES CANNOT BE MAINTAINED, THE CONTRACTOR SHALL USE CONTROLLED LOW STRENGTH MATERIAL FOR BACKFILL AROUND CROSSINGS.
 - ALL UTILITY CONNECTIONS AT BUILDING SHALL BE COORDINATED WITH THE PLUMBING, MECHANICAL AND ELECTRICAL BUILDING CONTRACTORS.
 - SEE DRAWINGS FROM OTHERS FOR DESIGN OF UTILITY CONNECTIONS, CONDUITS, WIRING, ETC. FOR SITE LIGHTING Pylon SIGN, OTHER ILLUMINATED SIGNAGE, AIR/VACUUM MACHINE, PROPANE FUELING, AND GENERATOR CONNECTIONS.
 - IT IS THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE ALL UTILITY CONNECTIONS/EXTENSIONS/RELOCATIONS WITH APPROPRIATE UTILITY COMPANIES AS REQUIRED. INSTALLATION OF ALL UTILITIES SHALL CONFORM TO UTILITY COMPANY REQUIREMENTS.
 - ALL FUELING RELATED FACILITIES/EQUIPMENT TO BE DESIGNED AND PERMITTED BY OTHERS. CONTRACTOR SHALL BE RESPONSIBLE TO INSPECT ALL PETROLEUM DISPENSING AND STORAGE SYSTEMS TO ENSURE THAT CONSTRUCTION IS IN ACCORDANCE WITH ALL FEDERAL, STATE AND LOCAL LAWS, CODES, RULES AND ORDINANCES.



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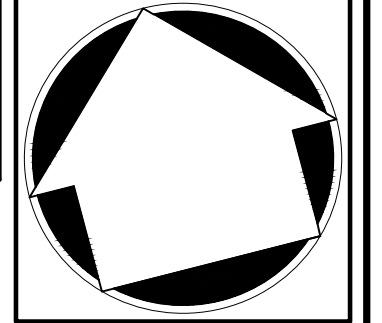
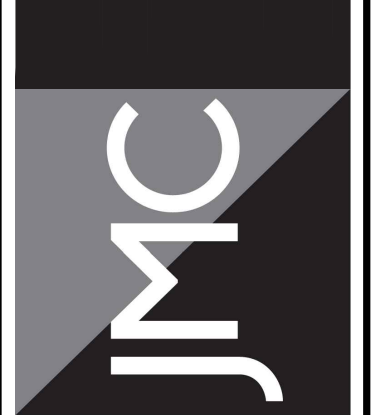
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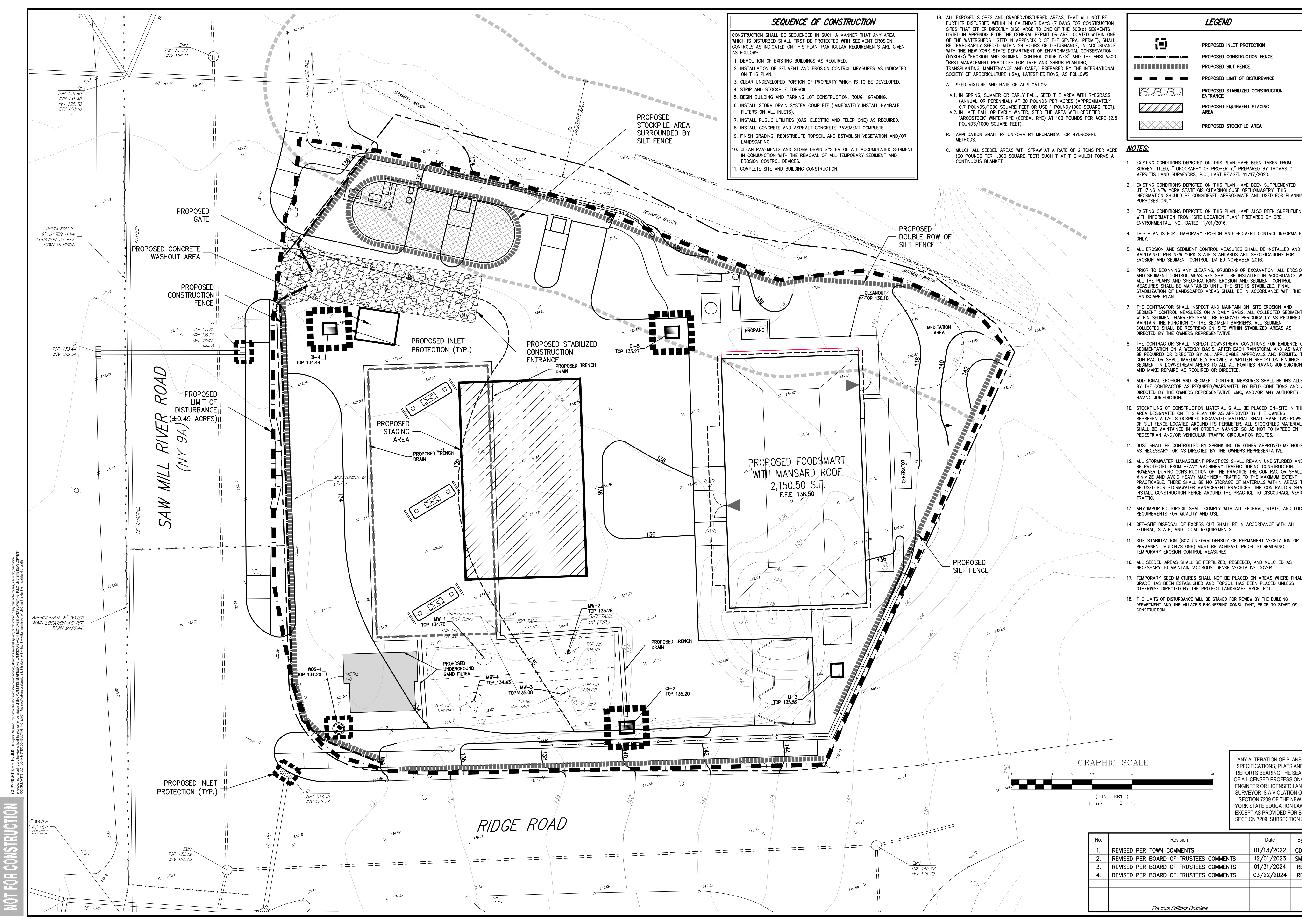


UTILITIES PLAN

GAS STATION / CONVENIENCE MARKET
657 SAW MILL RIVER ROAD
VILLAGE OF ARDSLEY, NEW YORK



Drawn: **KRM** Approved: **RJP**
Scale: **1" = 10'**
Date: **06/26/2020**
Project No: **18175**
1875-SE C-300-UTIL UTIL.sxd
Drawing No:
C-300



SEQUENCE OF CONSTRUCTION

CONSTRUCTION SHALL BE SEQUENCED IN SUCH A MANNER THAT ANY AREA WHICH IS DISTURBED SHALL FIRST BE PROTECTED WITH SEDIMENT EROSION CONTROLS AS INDICATED ON THIS PLAN. PARTICULAR REQUIREMENTS ARE GIVEN AS FOLLOWS:

- DEMOLITION OF EXISTING BUILDINGS AS REQUIRED.
- INSTALLATION OF SEDIMENT AND EROSION CONTROL MEASURES AS INDICATED ON THIS PLAN.
- CLEAR UNDEVELOPED PORTION OF PROPERTY WHICH IS TO BE DEVELOPED.
- STRIP AND STOCKPILE TOPSOIL.
- BEGIN BUILDING AND PARKING LOT CONSTRUCTION, ROUGH GRADING.
- INSTALL STORM DRAIN SYSTEM COMPLETE (IMMEDIATELY INSTALL HAYBALE FILTERS ON ALL INLETS).
- INSTALL PUBLIC UTILITIES (GAS, ELECTRIC AND TELEPHONE) AS REQUIRED.
- INSTALL CONCRETE AND ASPHALT CONCRETE PAVEMENT COMPLETE.
- FINISH GRADING, REDISTRIBUTE TOPSOIL AND ESTABLISH VEGETATION AND/OR LANDSCAPING.
- CLEAN PAVEMENTS AND STORM DRAIN SYSTEM OF ALL ACCUMULATED SEDIMENT IN CONJUNCTION WITH THE REMOVAL OF ALL TEMPORARY SEDIMENT AND EROSION CONTROL DEVICES.
- COMPLETE SITE AND BUILDING CONSTRUCTION.

19. ALL EXPOSED SLOPES AND GRADED/DISTURBED AREAS, THAT WILL NOT BE FURTHER DISTURBED WITHIN 14 CALENDAR DAYS (7 DAYS FOR CONSTRUCTION SITES THAT EITHER DIRECTLY DISCHARGE TO ONE OF THE 303(d) SEGMENTS LISTED IN APPENDIX E OF THE GENERAL PERMIT OR ARE LOCATED WITHIN ONE OF THE WATERSHEDS LISTED IN APPENDIX C OF THE GENERAL PERMIT), SHALL BE TEMPORARILY SEEDED WITHIN 24 HOURS OF DISTURBANCE, IN ACCORDANCE WITH THE NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION (NYSDEC) "EROSION AND SEDIMENT CONTROL GUIDELINES" AND THE ANSI A300 "BEST MANAGEMENT PRACTICES FOR TREE AND SHRUB PLANTING, TRANSPLANTING, MAINTENANCE AND CARE," PREPARED BY THE INTERNATIONAL SOCIETY OF ARBORICULTURE (ISA), LATEST EDITIONS, AS FOLLOWS:

A. SEED MIXTURE AND RATE OF APPLICATION:

1. IN SPRING, SUMMER OR EARLY FALL, SEED THE AREA WITH RYEGRASS (ANNUAL OR PERENNIAL) AT 30 POUNDS PER ACRE (APPROXIMATELY 0.7 POUNDS/1000 SQUARE FEET) OR USE 1 POUND/1000 SQUARE FEET.
2. IN LATE FALL OR EARLY WINTER, SEED THE AREA WITH CERTIFIED "AROSTOOK" WINTER RYE (CEREAL RYE) AT 100 POUNDS PER ACRE (2.5 POUNDS/1000 SQUARE FEET).

B. APPLICATION SHALL BE UNIFORM BY MECHANICAL OR HYDROSEED METHODS.

C. MULCH ALL SEEDING AREAS WITH STRAW AT A RATE OF 2 TONS PER ACRE (90 POUNDS PER 1,000 SQUARE FEET) SUCH THAT THE MULCH FORMS A CONTINUOUS BLANKET.

LEGEND

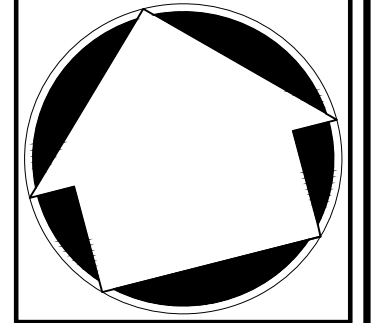
- PROPOSED INLET PROTECTION
- PROPOSED CONSTRUCTION FENCE
- PROPOSED SILT FENCE
- PROPOSED LIMIT OF DISTURBANCE
- PROPOSED STABILIZED CONSTRUCTION ENTRANCE
- PROPOSED EQUIPMENT STAGING AREA
- PROPOSED STOCKPILE AREA

- NOTES:**
- EXISTING CONDITIONS DEPICTED ON THIS PLAN HAVE BEEN TAKEN FROM SURVEY TITLED, "TOPOGRAPHY OF PROPERTY," PREPARED BY THOMAS C. MERRITS LAND SURVEYORS, P.C., LAST REVISED 11/27/2020.
 - EXISTING CONDITIONS DEPICTED ON THIS PLAN HAVE BEEN SUPPLEMENTED UTILIZING NEW YORK STATE GIS CLEARINGHOUSE ORTHOPHOTOGRAPHY. THIS INFORMATION SHOULD BE CONSIDERED APPROXIMATE AND USED FOR PLANNING PURPOSES ONLY.
 - EXISTING CONDITIONS DEPICTED ON THIS PLAN HAVE ALSO BEEN SUPPLEMENTED WITH INFORMATION FROM "SITE LOCATION PLAN" PREPARED BY DRE ENVIRONMENTAL, INC., DATED 11/01/2016.
 - THIS PLAN IS FOR TEMPORARY EROSION AND SEDIMENT CONTROL INFORMATION ONLY.
 - ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED PER NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL, DATED NOVEMBER 2016.
 - PRIOR TO BEGINNING ANY CLEARING, GRUBBING OR EXCAVATION, ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH ALL THE PLANS AND SPECIFICATIONS. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED UNTIL THE SITE IS STABILIZED. FINAL STABILIZATION OF LANDSCAPED AREAS SHALL BE IN ACCORDANCE WITH THE LANDSCAPE PLAN.
 - THE CONTRACTOR SHALL INSPECT AND MAINTAIN ON-SITE EROSION AND SEDIMENT CONTROL MEASURES ON A DAILY BASIS. ALL COLLECTED SEDIMENT WITHIN SEDIMENT BARRIERS SHALL BE REMOVED PERIODICALLY AS REQUIRED TO MAINTAIN THE FUNCTION OF THE SEDIMENT BARRIERS. ALL SEDIMENT COLLECTED SHALL BE RESPREAD ON-SITE WITHIN STABILIZED AREAS AS DIRECTED BY THE OWNERS REPRESENTATIVE.
 - THE CONTRACTOR SHALL INSPECT DOWNSTREAM CONDITIONS FOR EVIDENCE OF SEDIMENTATION ON A WEEKLY BASIS. AFTER EACH DISTURBANCE, AND AS MAY BE REQUIRED OR DIRECTED BY ALL APPLICABLE APPROVALS AND PERMITS, THE CONTRACTOR SHALL IMMEDIATELY PROVIDE A WRITTEN REPORT ON FINDINGS OF SEDIMENT IN DOWNSTREAM AREAS TO ALL AUTHORITIES HAVING JURISDICTION AND MAKE REPAIRS AS REQUIRED OR DIRECTED.
 - ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED BY THE CONTRACTOR AS REQUIRED/WARRANTED BY FIELD CONDITIONS AND AS DIRECTED BY THE OWNERS REPRESENTATIVE, JMC, AND/OR ANY AUTHORITY HAVING JURISDICTION.
 - STOCKPILING OF CONSTRUCTION MATERIAL SHALL BE PLACED ON-SITE IN THE AREA DESIGNATED ON THIS PLAN OR AS APPROVED BY THE OWNERS REPRESENTATIVE. STOCKPILED EXCAVATED MATERIAL SHALL HAVE TWO ROWS OF SILT FENCE LOCATED AROUND ITS PERIMETER. ALL STOCKPILED MATERIAL SHALL BE MAINTAINED IN AN ORDERLY MANNER SO AS NOT TO IMPED ON PEDESTRIAN AND/OR VEHICULAR TRAFFIC CIRCULATION ROUTES.
 - DUST SHALL BE CONTROLLED BY SPRINKLING OR OTHER APPROVED METHODS AS NECESSARY, OR AS DIRECTED BY THE OWNERS REPRESENTATIVE.
 - ALL STORMWATER MANAGEMENT PRACTICES SHALL REMAIN UNDISTURBED AND BE PROTECTED FROM HEAVY MACHINERY TRAFFIC DURING CONSTRUCTION. HOWEVER DURING CONSTRUCTION OF THE PRACTICE THE CONTRACTOR SHALL MINIMIZE AND AVOID HEAVY MACHINERY TRAFFIC TO THE MAXIMUM EXTENT PRACTICABLE. THERE SHALL BE NO STORAGE OF MATERIALS WITHIN AREAS TO BE USED FOR STORMWATER MANAGEMENT PRACTICES. THE CONTRACTOR SHALL INSTALL CONSTRUCTION FENCE AROUND THE PRACTICE TO DISCOURAGE VEHICLE TRAFFIC.
 - ANY IMPORTED TOPSOIL SHALL COMPLY WITH ALL FEDERAL, STATE, AND LOCAL REQUIREMENTS FOR QUALITY AND USE.
 - OFF-SITE DISPOSAL OF EXCESS CUT SHALL BE IN ACCORDANCE WITH ALL FEDERAL, STATE, AND LOCAL REQUIREMENTS.
 - SITE STABILIZATION (BOX UNIFORM DENSITY OF PERMANENT VEGETATION OR PERMANENT MULCH/STONE) MUST BE ACHIEVED PRIOR TO REMOVING TEMPORARY EROSION CONTROL MEASURES.
 - ALL SEEDING AREAS SHALL BE FERTILIZED, RESEEDING, AND MULCHED AS NECESSARY TO MAINTAIN VIGOROUS, DENSE VEGETATIVE COVER.
 - TEMPORARY SEED MIXTURES SHALL NOT BE PLACED ON AREAS WHERE FINAL GRADE HAS BEEN ESTABLISHED AND TOPSOIL HAS BEEN PLACED UNLESS OTHERWISE DIRECTED BY THE PROJECT LANDSCAPE ARCHITECT.
 - THE LIMITS OF DISTURBANCE WILL BE STAKED FOR REVIEW BY THE BUILDING DEPARTMENT AND THE VILLAGE'S ENGINEERING CONSULTANT, PRIOR TO START OF CONSTRUCTION.

APPLICANT/OWNER:
THORNWOOD FOUR CORNERS LLC.
 25 SAINT CHARLES STREET
 THORNWOOD, NY 10594

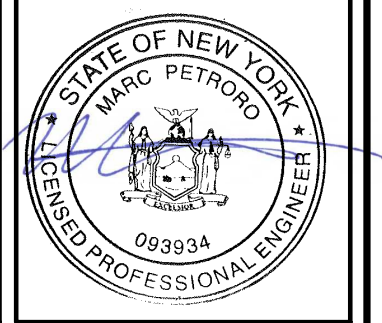
ARCHITECT:
GK+A ARCHITECTS, PC
 36 AMES AVENUE
 RUTHERFORD, NEW JERSEY 07070

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 JMC Site Development Consultants, LLC
 John Meyer Consulting, Inc.
 120 BEDFORD ROAD - HERNON, NY 10504
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EROSION AND SEDIMENT CONTROL PLAN

GAS STATION / CONVENIENCE MARKET
 657 SAW MILL RIVER ROAD
 VILLAGE OF ARDSLEY, NEW YORK



ANY ALTERATION OF PLANS, SPECIFICATIONS, PLATS AND REPORTS BEARING THE SEAL OF A LICENSED PROFESSIONAL ENGINEER OR LICENSED LAND SURVEYOR IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW, EXCEPT AS PROVIDED FOR BY SECTION 7209, SUBSECTION 2.

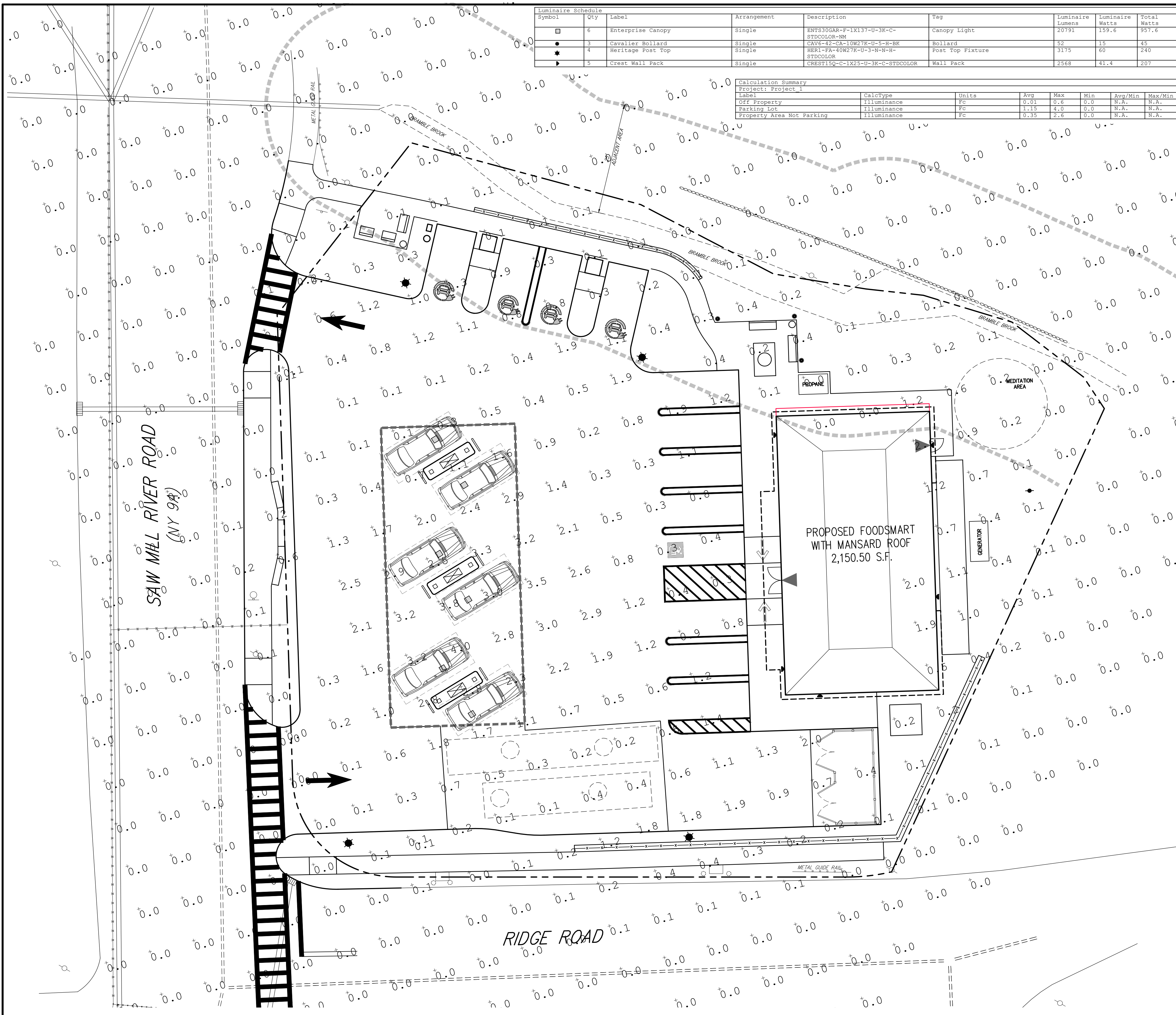
No.	Revision	Date	By
1.	REVISED PER TOWN COMMENTS	01/13/2022	CDF
2.	REVISED PER BOARD OF TRUSTEES COMMENTS	12/01/2023	SMN
3.	REVISED PER BOARD OF TRUSTEES COMMENTS	01/31/2024	RB
4.	REVISED PER BOARD OF TRUSTEES COMMENTS	03/22/2024	RB

Drawn: **KRM** Approved: **RJP**
 Scale: **1" = 10'**
 Date: **06/26/2020**
 Project No: **18175**
 1815-SE C-400-SE SE.ar
 Drawing No:
C-400

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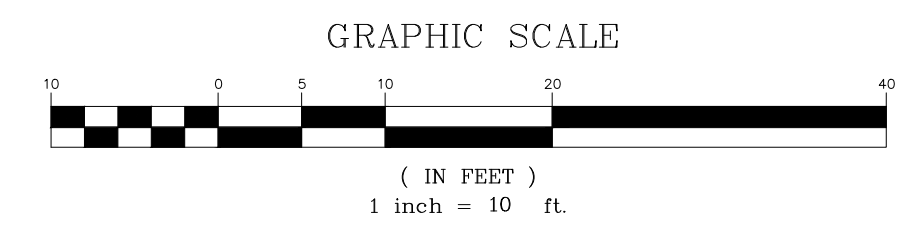
Symbol	Qty	Label	Arrangement	Description	Tag	Luminaire Lumens	Luminaire Watts	Total Watts
□	6	Enterprise Canopy	Single	ENTS10GAR-F-1X137-U-3K-C-STD/COLOR-MM	Canopy Light	20791	159.6	957.6
●	3	Cavalier Bollard	Single	CAYE-K2-CR-10W27K-U-5-H-BK	Bollard	52	15	45
★	4	Heritage Post Top	Single	HERI-FA-40W27K-U-3-N-N-H-STD/COLOR	Post Top Fixture	3175	60	240
▶	5	Crest Wall Pack	Single	CRES115G-C-1X25-U-3K-C-STD/COLOR	Wall Pack	2568	41.4	207

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Off Property	Illuminance	Fc	0.31	0.6	0.0	N.A.	37.5
Parking Lot	Illuminance	Fc	1.15	4.0	0.0	N.A.	N.A.
Property Area Not Parking	Illuminance	Fc	0.35	2.6	0.0	N.A.	N.A.

LIGHTING LEGEND

- EXISTING UTILITY POLE
- EXISTING LIGHT POLE
- GAS CANOPY LIGHTING (DESIGN BY OTHERS)
- ▶ WALL MOUNTED LIGHTING (MOUNTING HT. 12')
- ★ POLE MOUNTED LIGHT
- BOLLARD LIGHTING
- 0.1 NEW ILLUMINANCE IN FOOT-CANDLES

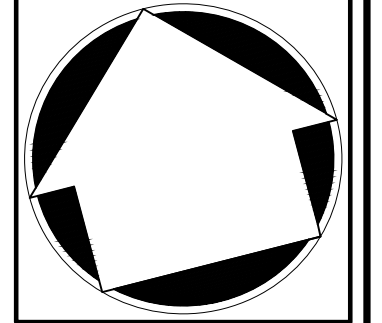
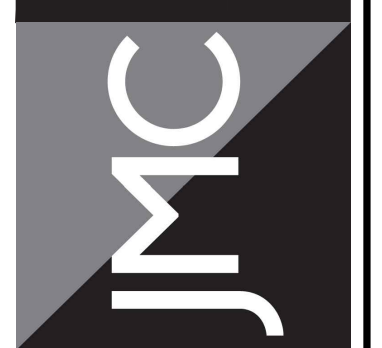
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 - THE LIGHTING DESIGN SHOWN HEREON WAS PROVIDED BY SYNERGY LIGHTING AND DATED 11/10/2023.
 - ALL PROPOSED LIGHTING SHALL BE DARK SKY COMPLIANT.



APPLICANT/OWNER:
THORNWOOD FOUR CORNERS LLC.
 25 SAINT CHARLES STREET
 THORNWOOD, NY 10594

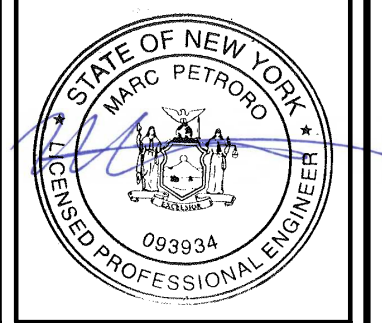
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GK+A ARCHITECTS, PC
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LIGHTING PLAN

GAS STATION / CONVENIENCE MARKET
 657 SAW MILL RIVER ROAD
 VILLAGE OF ARDSLEY, NEW YORK



No.	Revision	Date	By
1.	REVISED PER BOARD OF TRUSTEES COMMENTS	12/01/2023	SMN
2.	LIGHTING REVISIONS	12/13/2023	DK
3.	REVISED PER BOARD OF TRUSTEES COMMENTS	01/31/2024	RB
4.	REVISED PER BOARD OF TRUSTEES COMMENTS	03/22/2024	RB

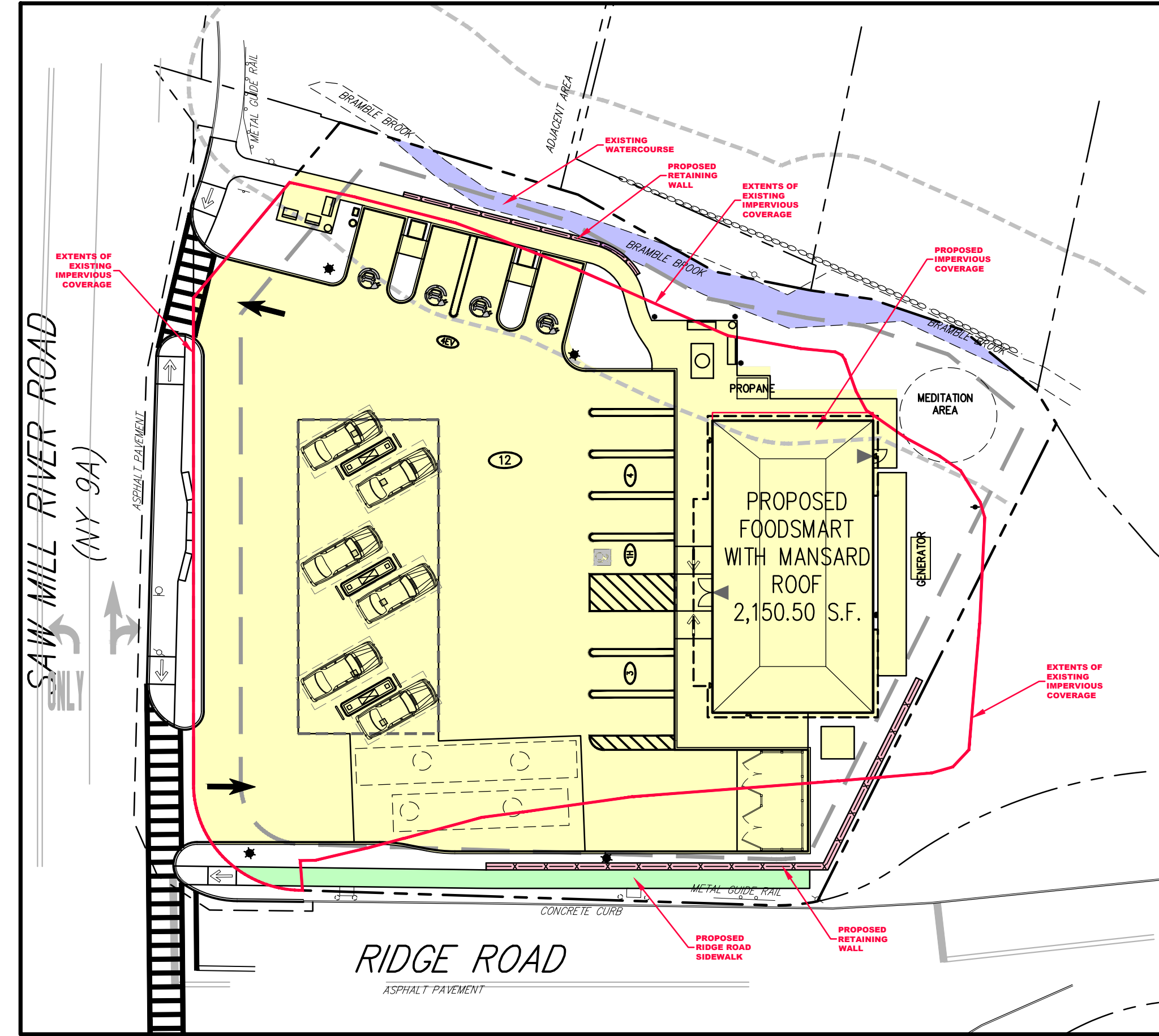
Drawn: **KRM** Approved: **RJP**
 Scale: **1" = 10'**
 Date: **05/26/2020**
 Project No: **18175**
 18175-SE C-600-LIGHT U311.sxd
 Drawing No:
C-600

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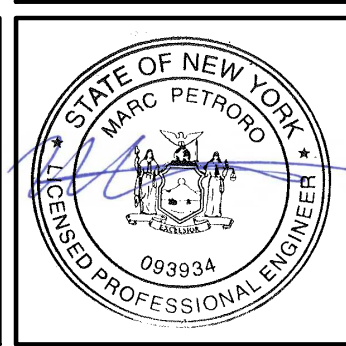


EXISTING CONDITIONS
 IMPERVIOUS COVERAGE BREAKDOWN
 WATERCOURSE — 656 SF
 PAVED SURFACES/BUILDINGS — 18,620 SF
TOTAL IMPERVIOUS COVERAGE — 19,276 SF



PROPOSED CONDITIONS
 IMPERVIOUS COVERAGE BREAKDOWN
 WATERCOURSE — 656 SF
 RETAINING WALL — 228 SF
 RIDGE ROAD SIDEWALK — 474 SF
 CONVENIENCE MART — 2,210 SF
 PAVED SURFACES/SIDEWALKS — 14,911 SF
TOTAL IMPERVIOUS COVERAGE — 18,479 SF
A NET REDUCTION OF 797 SF (4.1%)

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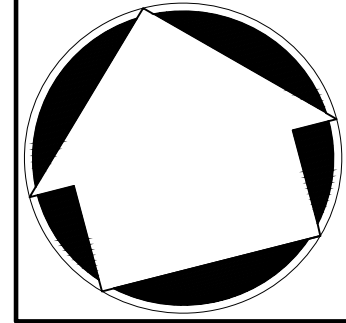
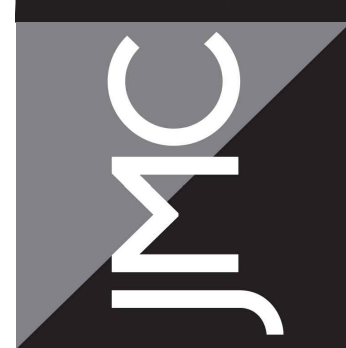


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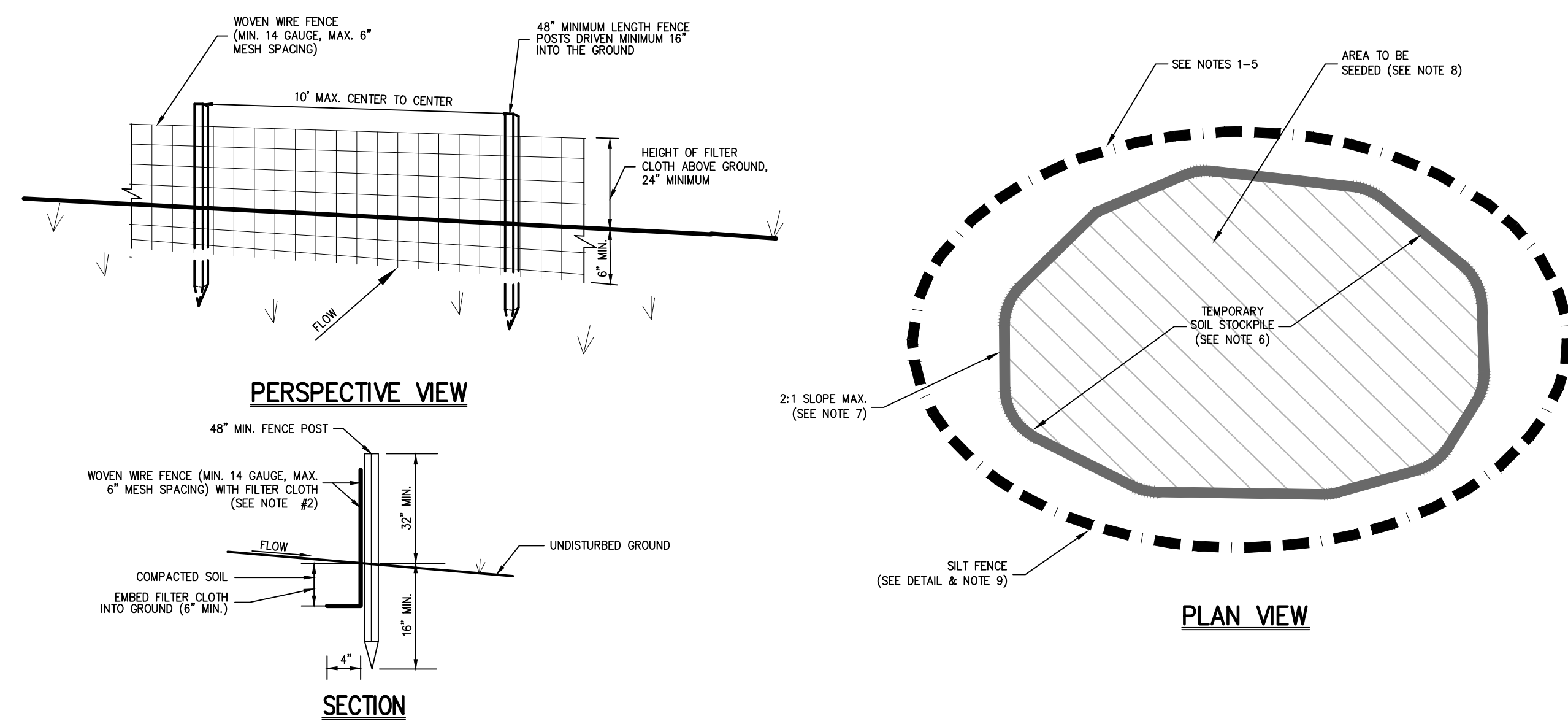
Drawn: **KRM** Approved: **RJP**
 Scale: 1" = 20'
 Date: 01/31/2024
 Project No: 18175
 1875-SE C-700-MP MP:js
 Drawing No:
C-700
 Previous Editions Obsolete

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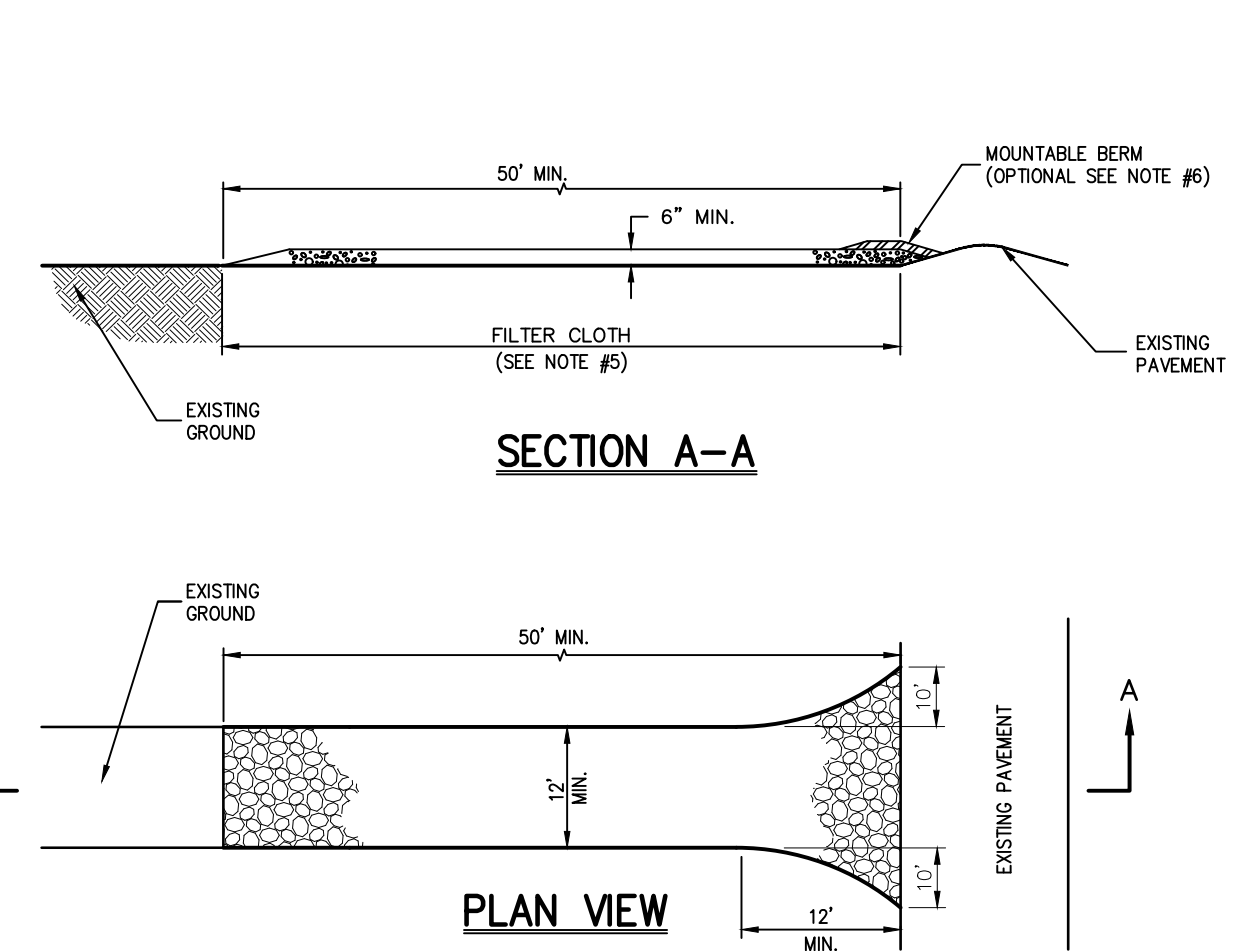
IMPERVIOUS COVERAGE COMPARISON MAP
 GAS STATION / CONVENIENCE MARKET
 657 SAW MILL RIVER ROAD
 VILLAGE OF ARDSLEY, NEW YORK



- NOTES:**
- WOVEN WIRE FENCE SHALL BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. POSTS SHALL BE STEEL, EITHER T OR U TYPE OR HARDWOOD.
 - FILTER CLOTH SHALL BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION. FENCE SHALL BE WOVEN WIRE, 6" MAXIMUM MESH OPENING.
 - WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER, THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTER X, MIRAFI 100X, STABUNKA THORN, OR APPROVED EQUAL.
 - PREFABRICATED UNITS SHALL BE GEOTAB, ENVIROFENCE, OR APPROVED EQUAL.
 - MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED AND REPLACED WHEN "BULGES" DEVELOP IN THE SILT FENCE.
 - THE AREA CHOSEN FOR ALL TEMPORARY SOIL STOCKPILES SHALL BE DRY AND STABLE.
 - ALL STOCKPILED SOIL SHALL NOT CONTAIN SLOPES GREATER THAN 2:1.
 - UPON COMPLETION OF SOIL STOCKPILING, EACH PILE SHALL BE SEEDED WITHIN 24 HOURS. PERENNIAL OR ANNUAL RYEGRASS SHALL BE PLANTED DURING SPRING, SUMMER OR EARLY FALL. WINTER RYE (CERIAL RYE) SHALL BE PLANTED DURING LATE FALL OR EARLY WINTER.
 - ALL STOCKPILES SHALL BE PROTECTED WITH SILT FENCING INSTALLED AROUND THE PERIMETER.

TEMPORARY SOIL STOCKPILE WITH SILT FENCE

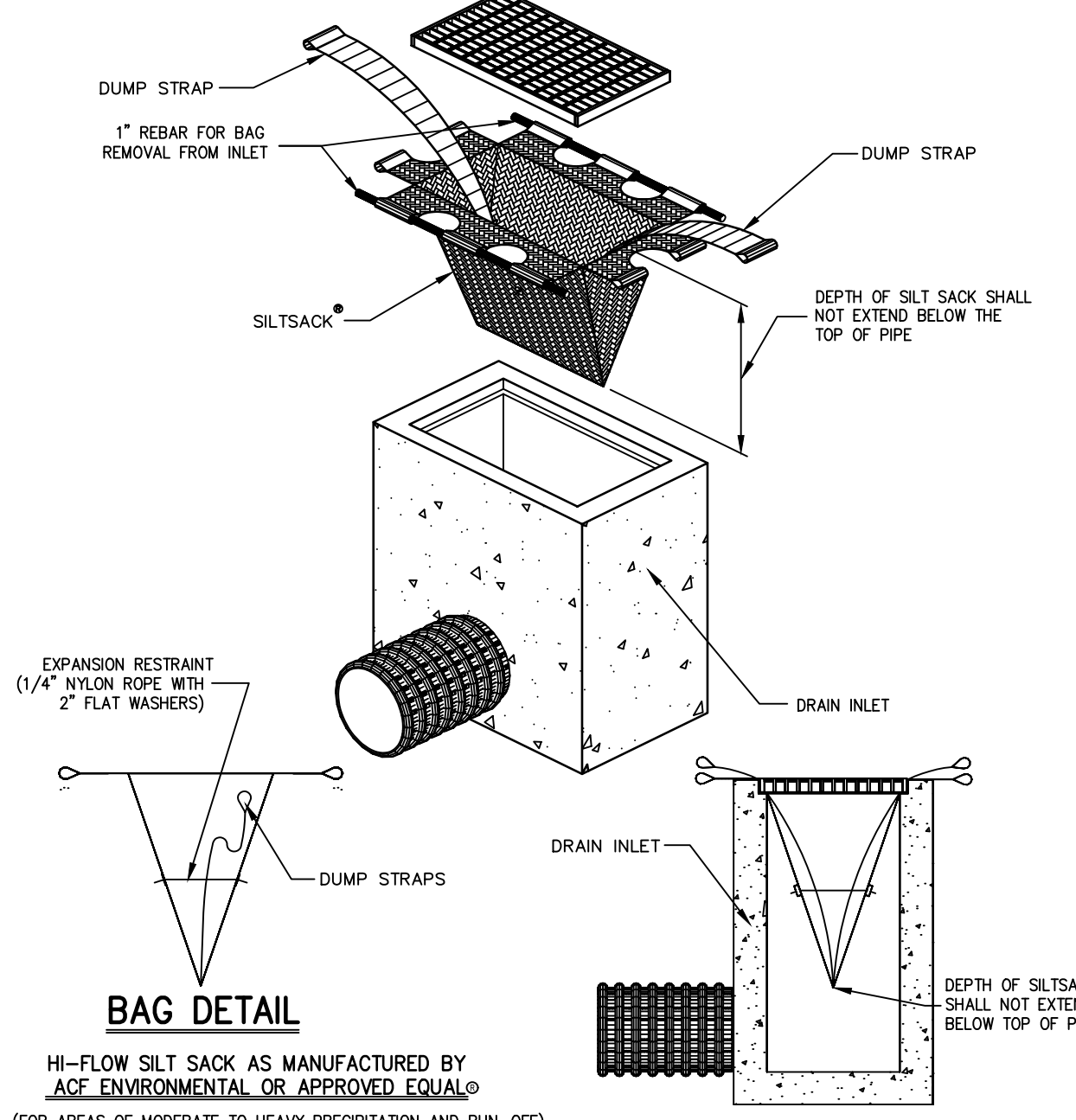
1



- NOTES:**
- STONE SIZE - USE 1" TO 4" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
 - LENGTH - AS REQUIRED, BUT NOT LESS THAN 50 FEET.
 - THICKNESS - NOT LESS THAN SIX (6) INCHES.
 - WIDTH - 12 FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS. 24 FOOT MINIMUM IF SINGLE ENTRANCE TO SITE.
 - FILTER CLOTH TO BE PLACED OVER THE ENTIRE WIDTH AND LENGTH OF AREA PRIOR TO PLACING OF STONE.
 - SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED BENEATH THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
 - MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURE USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
 - WASHING - WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHTS-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
 - PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

STABILIZED CONSTRUCTION ENTRANCE

2



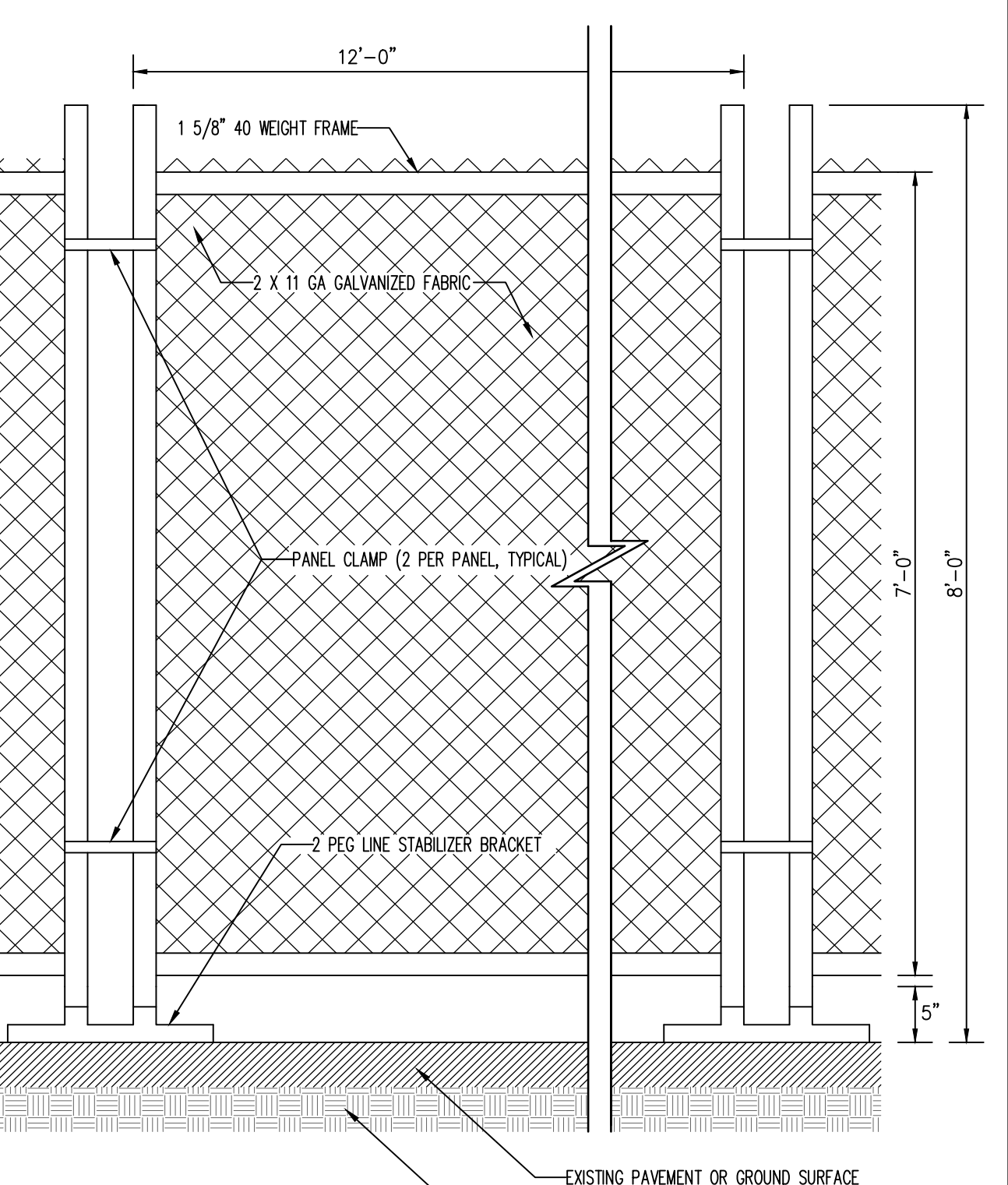
HI-FLOW SILT SACK AS MANUFACTURED BY ACI ENVIRONMENTAL OR APPROVED EQUAL
(FOR AREAS OF MODERATE TO HEAVY PRECIPITATION AND RUN-OFF)

PROPERTIES	TEST METHOD	UNITS
GRAB TENSILE STRENGTH	ASTM D-4632	265 LBS
GRAB TENSILE ELONGATION	ASTM D-4632	20 %
PUNCTURE	ASTM D-4633	135 LBS
MULLER BURST	ASTM D-3796	420 PSI
TRAPEZOID TEAR	ASTM D-4533	45 LBS
UV RESISTANCE	ASTM D-4355	90 %
APPARENT OPENING SIZE	ASTM D-4751	20 US SIEVE
FLOW RATE	ASTM D-4491	200 GAL/MIN/50 FT
PERMEABILITY	ASTM D-4491	1.5 SEC -1

NOTE:
CURB INLETS SHALL BE TYPE B WITH CURB DEFLECTOR.

SILT SACK

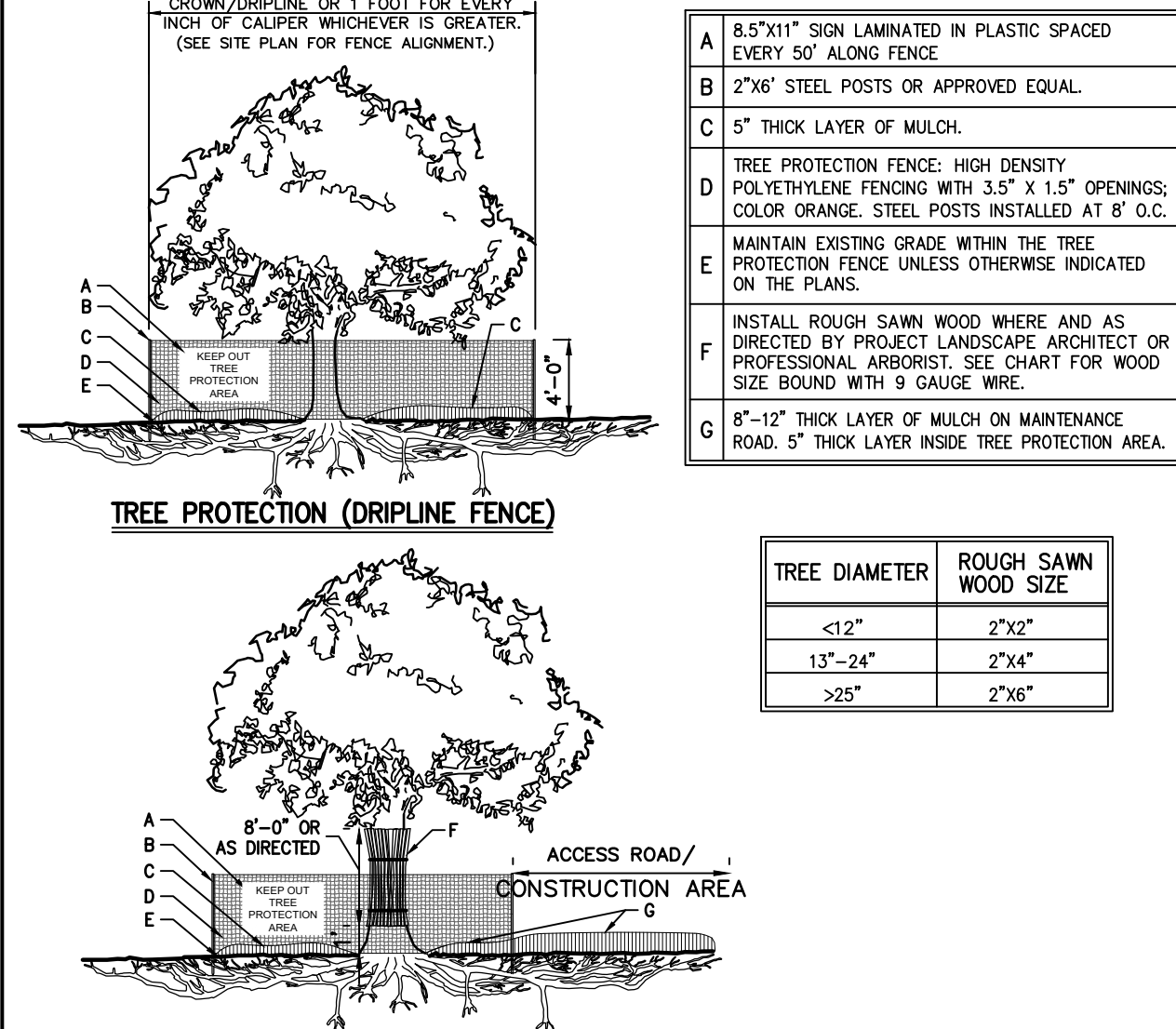
3



NOTE:
STABILIZER BRACKET TO BE HOT DIPPED GALVANIZED STEEL PIPE.

TEMPORARY CHAIN LINK CONSTRUCTION FENCE

4



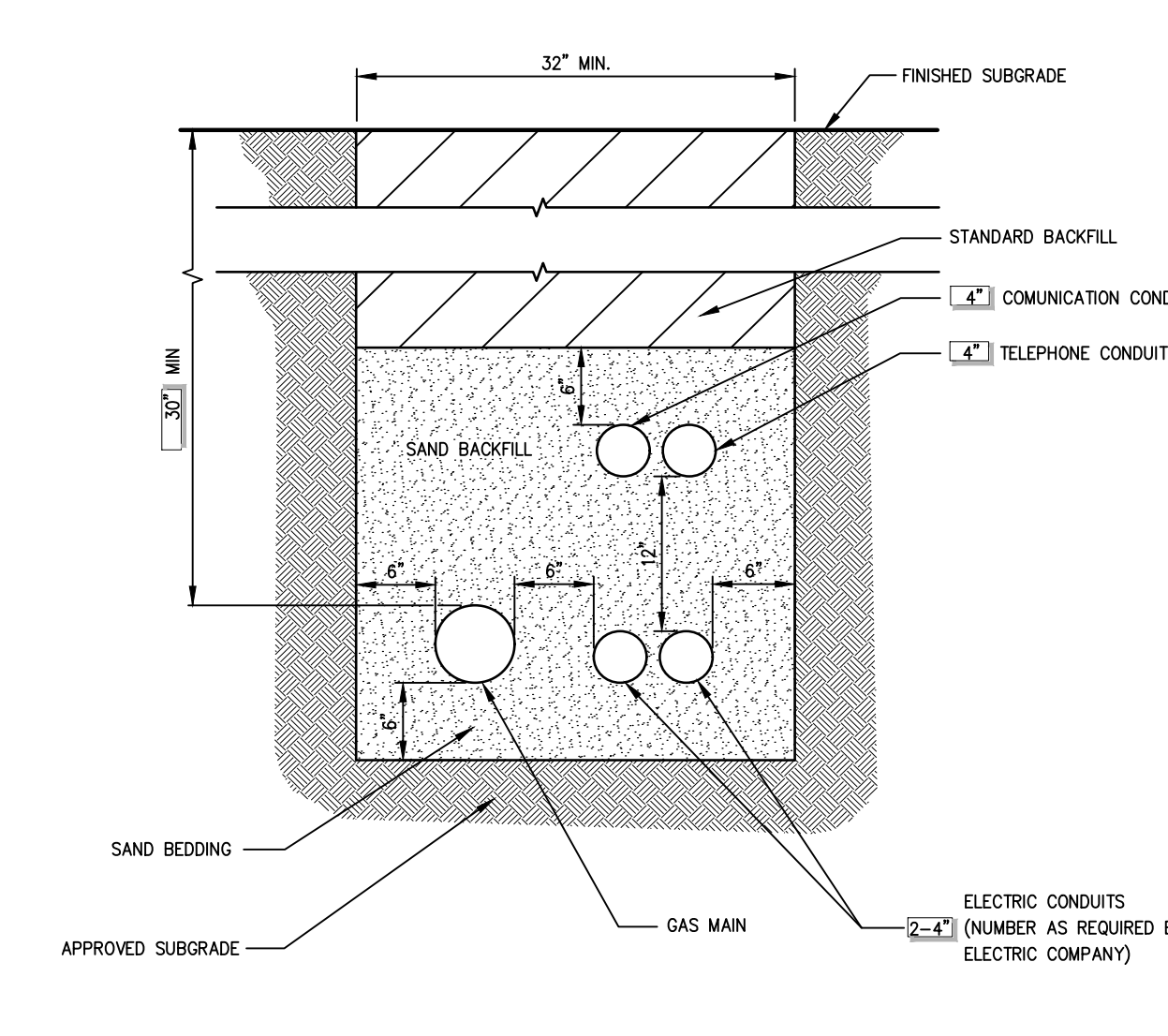
- A** 8.5"x11" SIGN LAMINATED IN PLASTIC SPACED EVERY 50' ALONG FENCE
- B** 2"x6" STEEL POSTS OR APPROVED EQUAL.
- C** 5" THICK LAYER OF MULCH.
- D** TREE PROTECTION FENCE: HIGH DENSITY POLYETHYLENE FENCING WITH 3.5" X 1.5" OPENINGS; COLOR ORANGE; STEEL POSTS INSTALLED AT 6' O.C.
- E** MAINTAIN EXISTING GRADE WITHIN THE TREE PROTECTION FENCE UNLESS OTHERWISE INDICATED ON THE PLANS.
- F** INSTALL ROUGH SAWN WOOD WHERE AND AS DIRECTED BY PROJECT LANDSCAPE ARCHITECT OR PROFESSIONAL ARBORIST. SEE CHART FOR WOOD SIZE BASED ON TREE DIAMETER.
- G** 8"-12" THICK LAYER OF MULCH ON MAINTENANCE ROAD. 5" THICK LAYER INSIDE TREE PROTECTION AREA.

TREE DIAMETER	ROUGH SAWN WOOD SIZE
<12"	2"x2"
13"-24"	2"x4"
>25"	2"x6"

- NOTES:**
- SEE SPECIFICATIONS FOR ADDITIONAL TREE PROTECTION REQUIREMENTS.
 - IF THERE IS NO EXISTING IRRIGATION, SEE SPECIFICATIONS FOR WATERING REQUIREMENTS.
 - NO PRUNING SHALL BE PERFORMED EXCEPT BY APPROVED ARBORIST.
 - NO EQUIPMENT SHALL OPERATE INSIDE THE PROTECTIVE FENCING INCLUDING DURING FENCE INSTALLATION AND REMOVAL.
 - SEE SITE PLANS FOR IDENTIFICATIONS/LOCATIONS OF INDIVIDUAL TREES TO BE PROTECTED.
 - ALL EXCAVATION WITHIN THE CROWN/DRIPLINE OF ANY TREE SHALL BE PERFORMED UNDER THE DIRECT SUPERVISION OF THE PROJECT LANDSCAPE ARCHITECT OR PROFESSIONAL ARBORIST. SPECIAL MEASURES, SUCH AS THE USE OF AN AIR SPADE MAY BE REQUIRED.
 - THE CONTRACTOR MAY PROPOSE THE USE OF ENGINEERED MATTING OR OTHER ENGINEERED PRODUCTS IN LIEU OF MULCH, WHICH SHALL BE SUBJECT TO THE REVIEW AND APPROVAL OF ALL AUTHORITIES HAVING JURISDICTION.

TREE PROTECTION

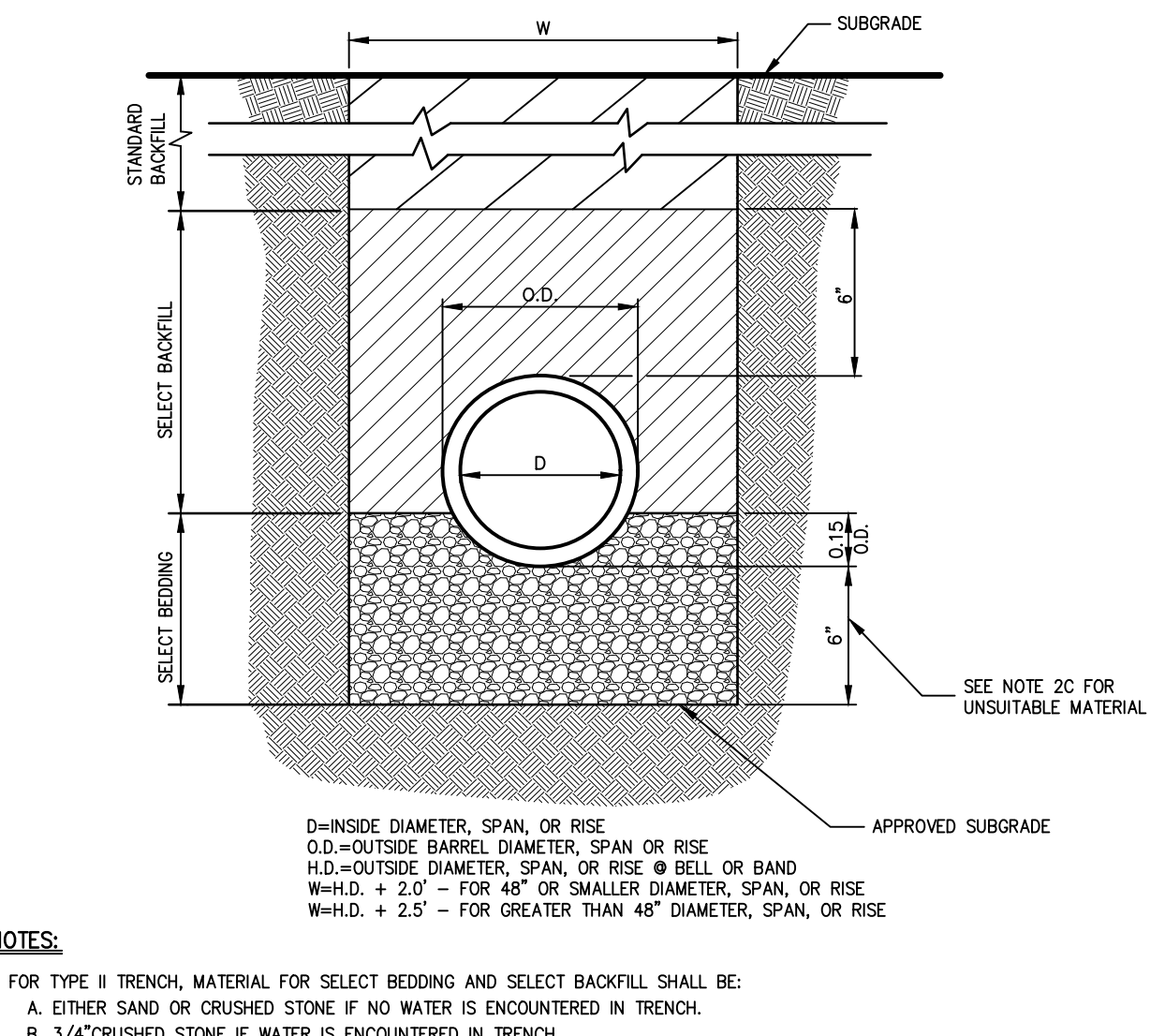
5



- NOTES:**
- UTILITIES TO BE INSTALLED IN ACCORDANCE WITH THE REGULATIONS AND REQUIREMENTS OF THE UTILITY COMPANY HAVING JURISDICTION.
 - BACKFILL FOR PIPE AND CONDUIT SHALL BE PLACED EVENLY AND CAREFULLY AROUND AND OVER THE PIPE OR CONDUIT IN SIX (6) INCH MAXIMUM LAYERS. EACH LAYER SHALL BE THOROUGHLY AND CAREFULLY COMPACTED UNTIL TWELVE (12) INCHES OF COVER EXISTS OVER THE PIPE OR CONDUIT. THE REMAINDER OF THE BACKFILL MAY THEN BE PLACED AND COMPACTED IN A MAXIMUM OF TWELVE (12) INCH LAYERS. EACH LAYER SHALL BE COMPACTED BY APPROVED MECHANICAL TAMPING MACHINES. UNLESS OTHERWISE SPECIFIED BACKFILL SHALL BE COMPACTED TO NOT LESS THAN [REDACTED] MAXIMUM MODIFIED DENSITY IN ACCORDANCE WITH ASTM DESIGNATION D-1557 IN THE MANNER HEREIN DESCRIBED. BACKFILL SHALL PROCEED UP TO THE LINES AND GRADES AS SHOWN ON THE DRAWINGS.

UTILITY TRENCH DETAIL

6



- NOTES:**
- FOR TYPE II TRENCH, MATERIAL FOR SELECT BEDDING AND SELECT BACKFILL SHALL BE:
 - EITHER SAND OR CRUSHED STONE IF NO WATER IS ENCOUNTERED IN TRENCH.
 - 3/4" CRUSHED STONE IF WATER IS ENCOUNTERED IN TRENCH.
 - TYPE II TRENCH SHALL BE USED IN ALL OF THE FOLLOWING CASES:
 - FOR ALL CORRUGATED POLYETHYLENE DRAIN PIPE (CPDP) AND PVC PIPE AND CONDUIT INSTALLATION.
 - WHEN ROCK OR HARDPAN IS ENCOUNTERED IN BOTTOM OF TRENCH.
 - WHEN UNSUITABLE MATERIAL IS ENCOUNTERED IN BOTTOM OF TRENCH. IN SUCH CASE DEPTH OF UNDERCUTTING SHALL BE AS DIRECTED BY THE ENGINEER WITH 6" MINIMUM.
 - FOR ALL TRENCH EXCAVATION IN FILL AREAS, ALL EMBANKMENTS SHALL BE CONSTRUCTED TO A MINIMUM OF 2 FEET ABOVE THE OUTSIDE TOP (AT THE BELL) OF THE PIPE PRIOR TO BEGINNING ANY TRENCH EXCAVATION.
 - BACKFILL FOR PIPE AND CONDUIT SHALL BE PLACED EVENLY AND CAREFULLY AROUND AND OVER THE PIPE OR CONDUIT IN SIX (6) INCH MAXIMUM LAYERS. EACH LAYER SHALL BE THOROUGHLY AND CAREFULLY COMPACTED UNTIL TWELVE (12) INCHES OF COVER EXISTS OVER THE PIPE OR CONDUIT. THE REMAINDER OF THE BACKFILL MAY THEN BE PLACED AND COMPACTED IN A MAXIMUM OF TWELVE (12) INCH LAYERS. EACH LAYER SHALL BE COMPACTED BY APPROVED MECHANICAL TAMPING MACHINES. UNLESS OTHERWISE SPECIFIED BACKFILL SHALL BE COMPACTED TO NOT LESS THAN [REDACTED] MAXIMUM MODIFIED DENSITY IN ACCORDANCE WITH ASTM DESIGNATION D-1557 IN THE MANNER HEREIN DESCRIBED. BACKFILL SHALL PROCEED UP TO THE LINES AND GRADES AS SHOWN ON THE DRAWINGS.

TYPE II TRENCH

7

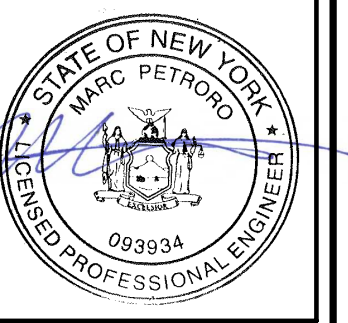
No.	Revision	Date
1.	REVISED PER TOWN COMMENTS	01/13/2022
2.	REVISED PER BOARD OF TRUSTEES COMMENTS	12/01/2023
3.	REVISED PER BOARD OF TRUSTEES COMMENTS	01/31/2024
4.	REVISED PER BOARD OF TRUSTEES COMMENTS	03/22/2024

JMC Planning, Engineering, Landscape Architecture & Land Surveying, PLLC
JMC Site Development Consultants, LLC
John Meyer Consulting, Inc.
120 BEDFORD ROAD - ARMOIND, IN 10504
PHONE 914.273.5225 • FAX 914.273.2102
www.jmcpllc.com



SITE DETAILS
GAS STATION / CONVENIENCE MARKET
657 SAW MILL RIVER ROAD
VILLAGE OF ARDSLEY, NEW YORK

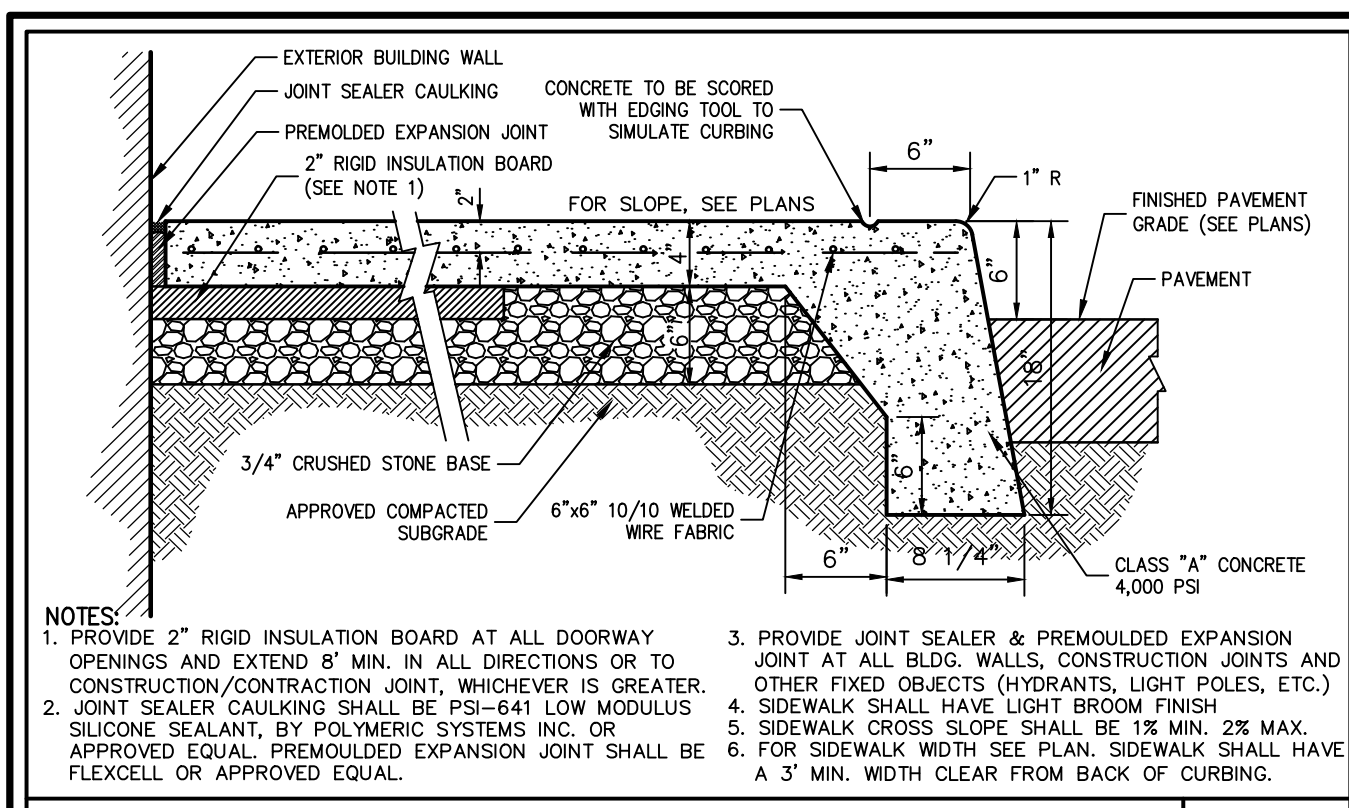
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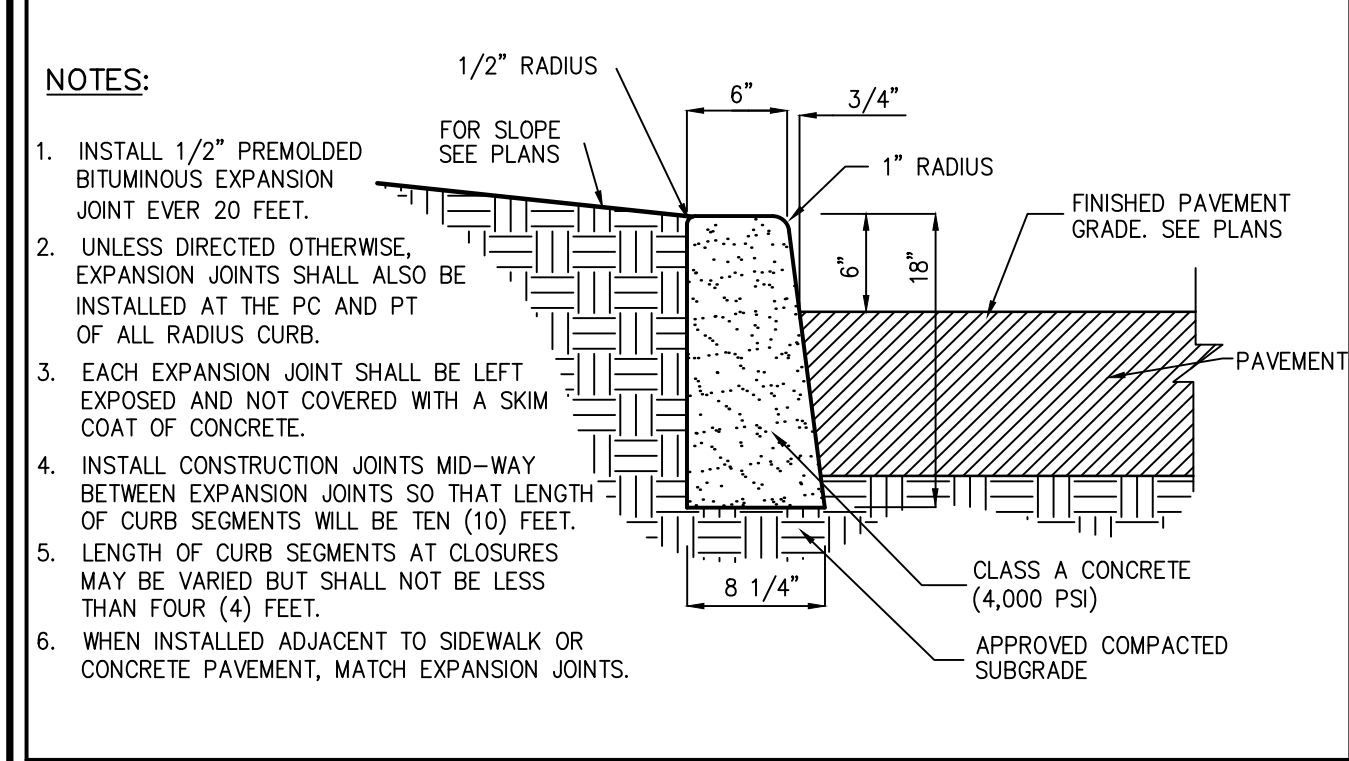
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Scale: **NOT TO SCALE**
Date: **06/26/2020**
Project No: **18175**
1815-DRAWING C-900
Drawing No: **C-900**

C-900

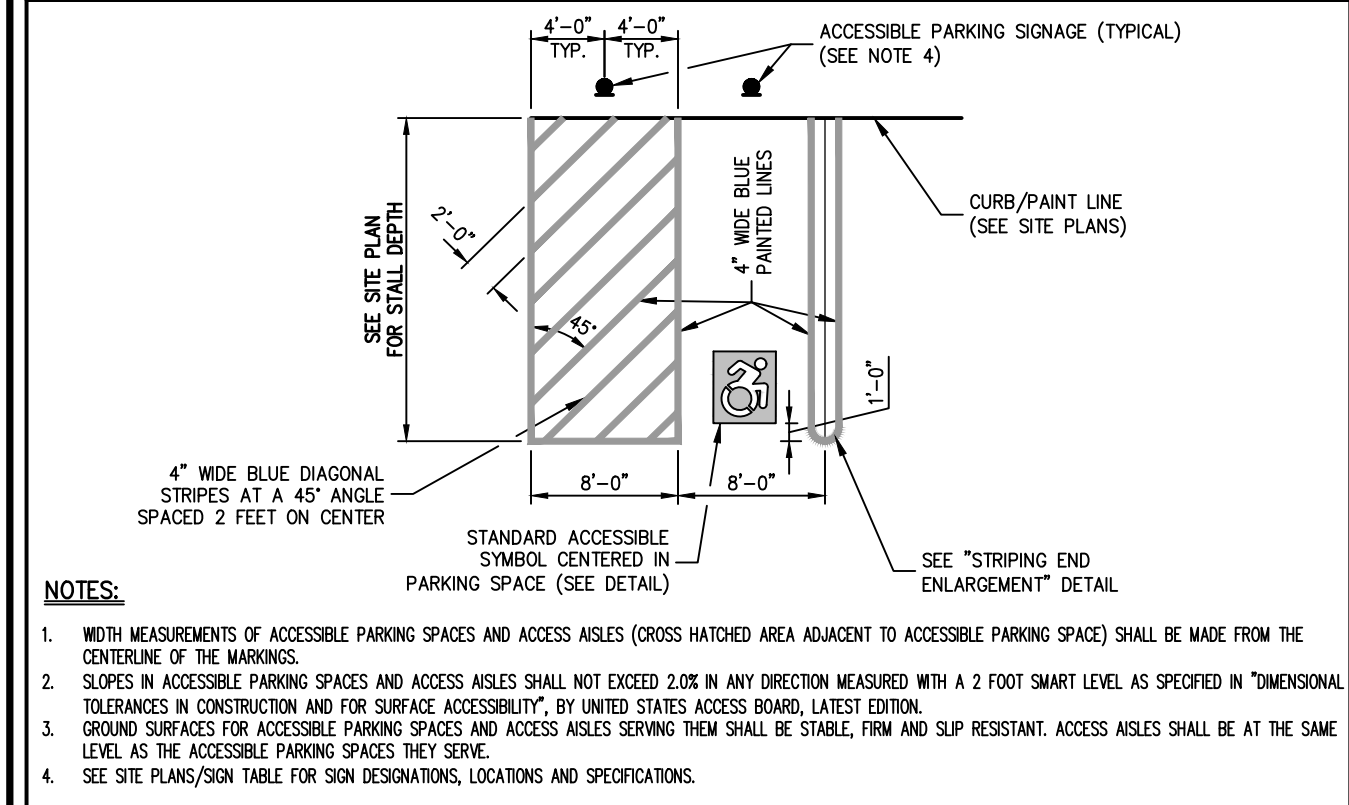
NOT FOR CONSTRUCTION



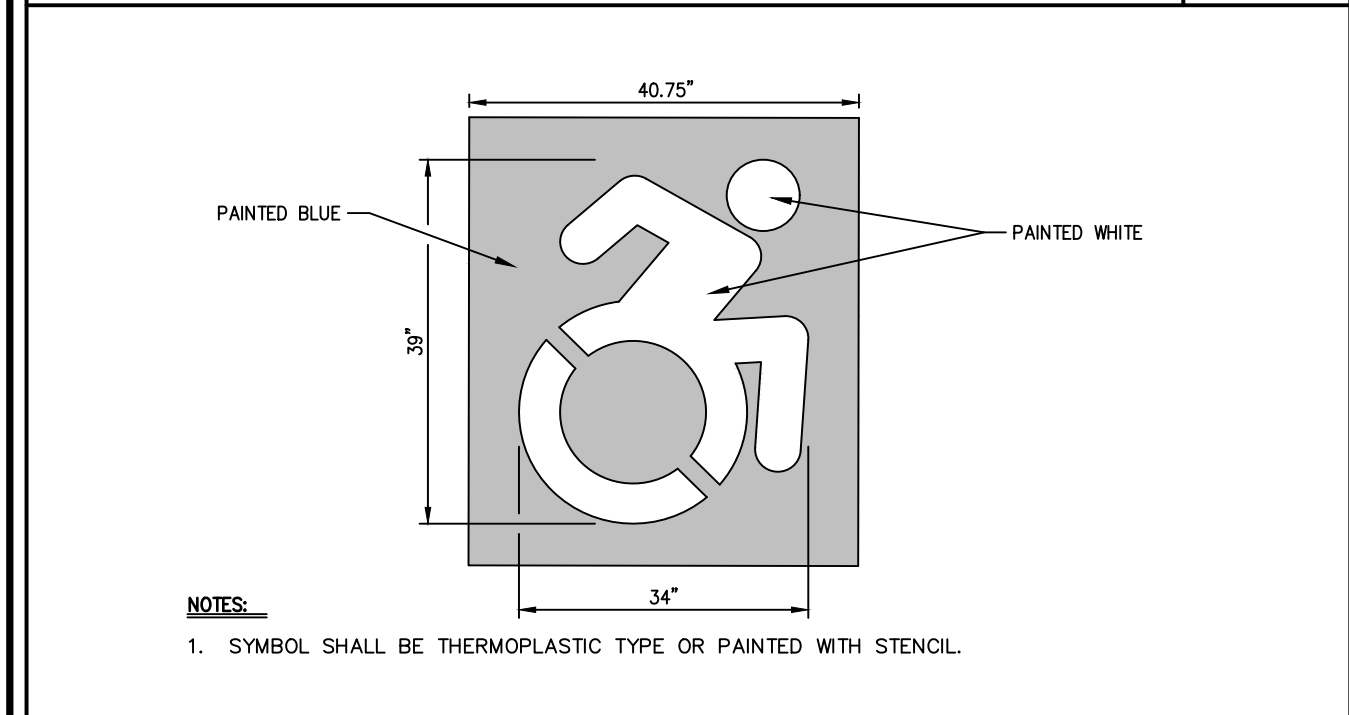
BUILDING PERIMETER MONOLITHIC CURB & SIDEWALK 8



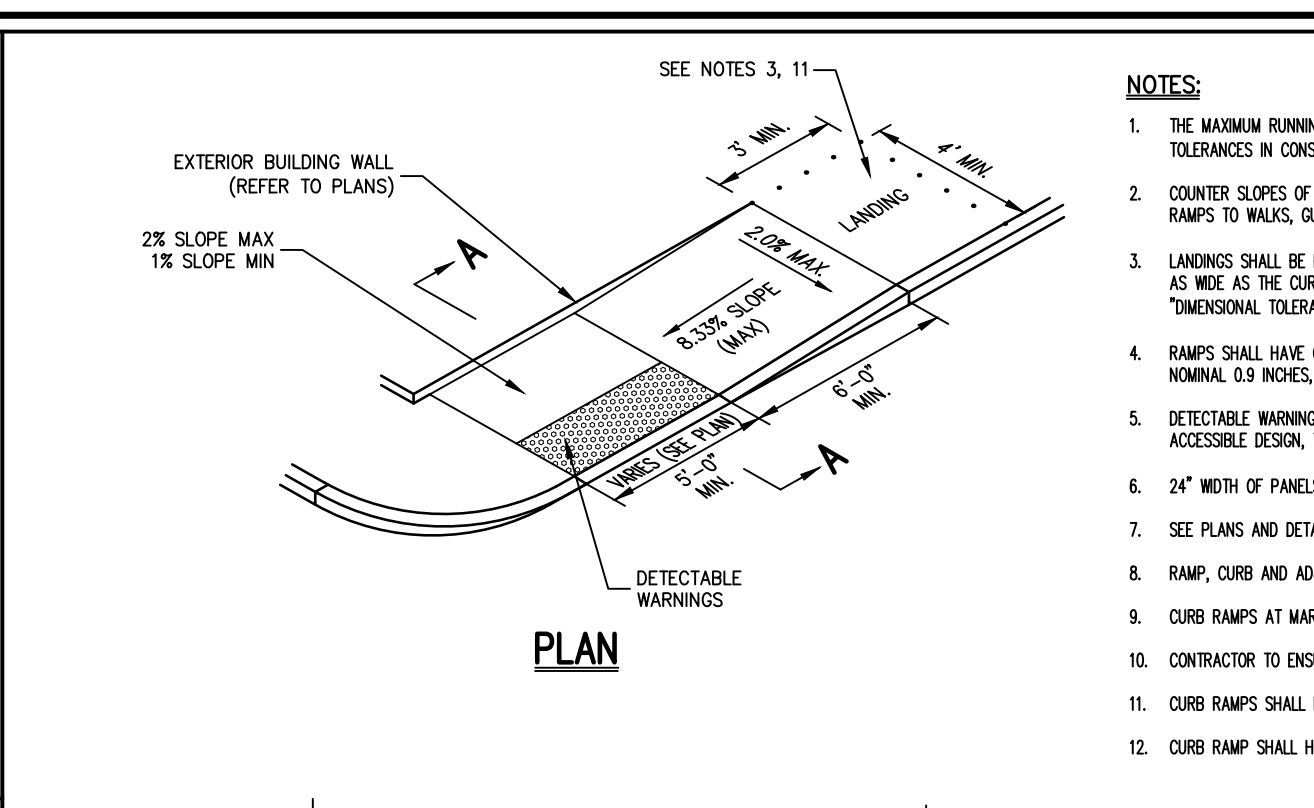
CAST-IN-PLACE CONCRETE CURB 9



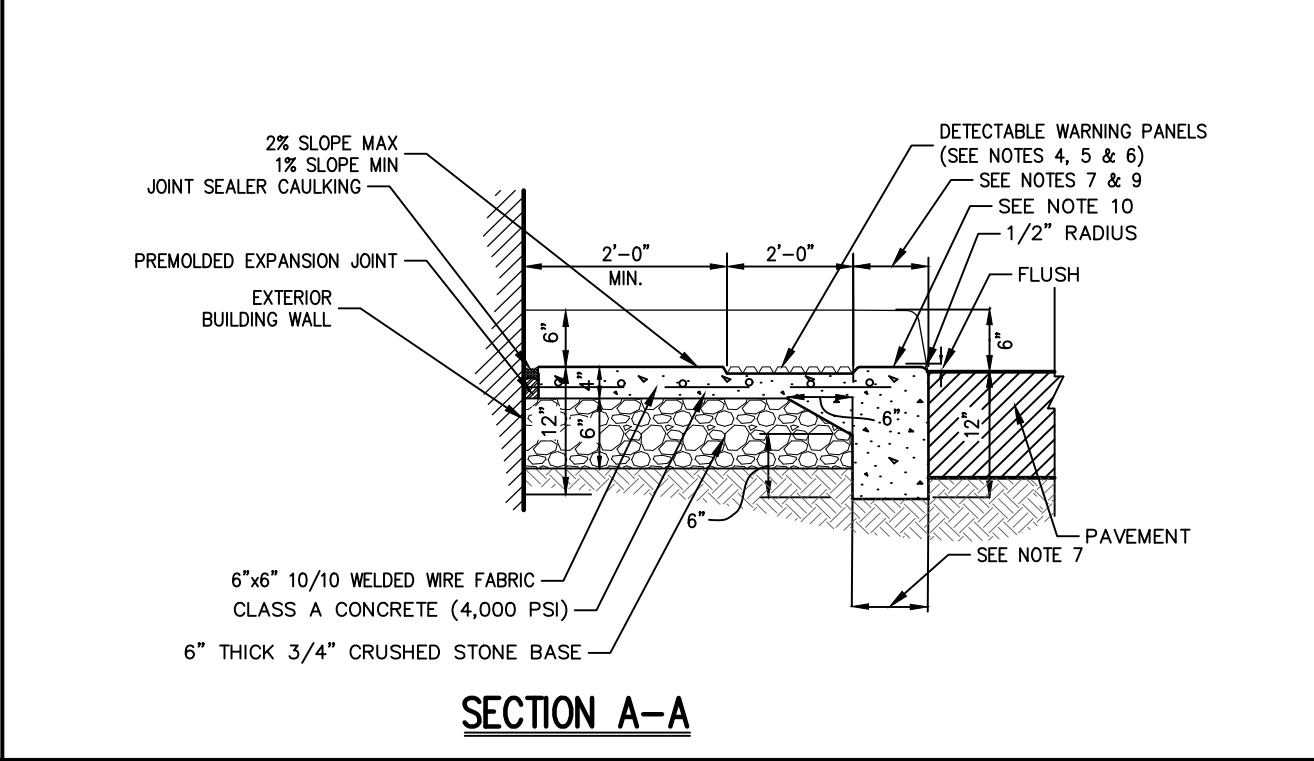
ACCESSIBLE PARKING 13



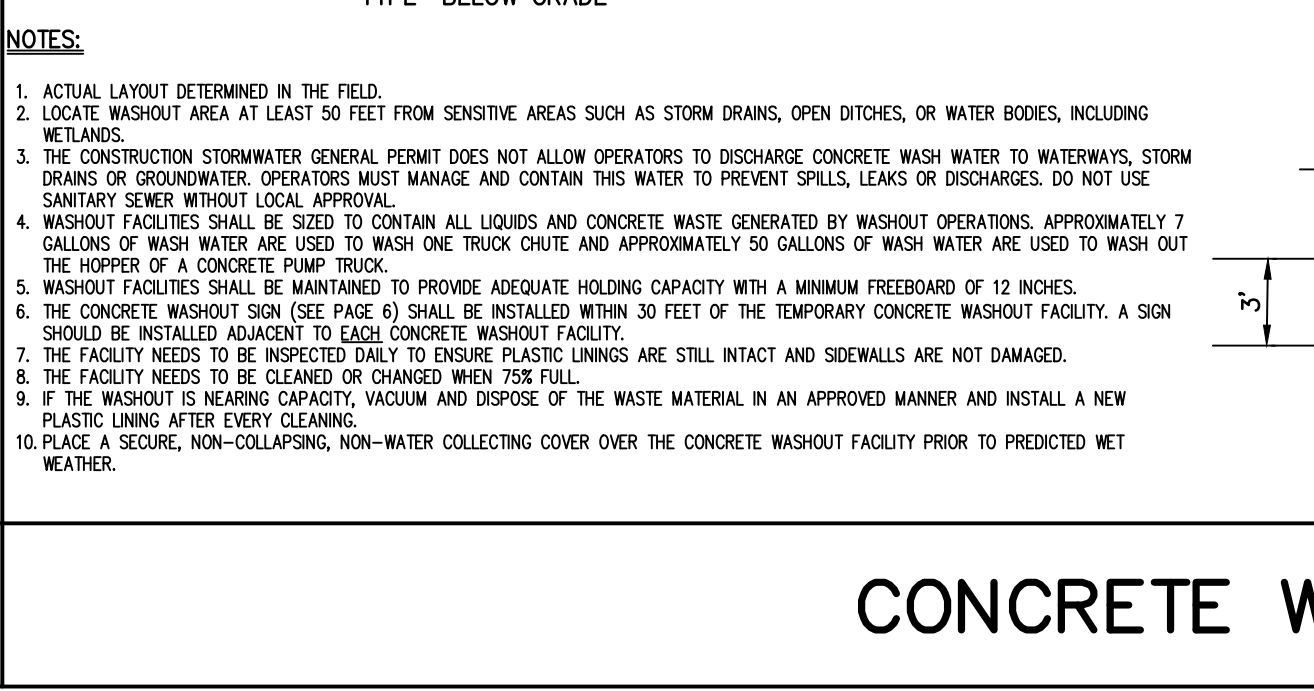
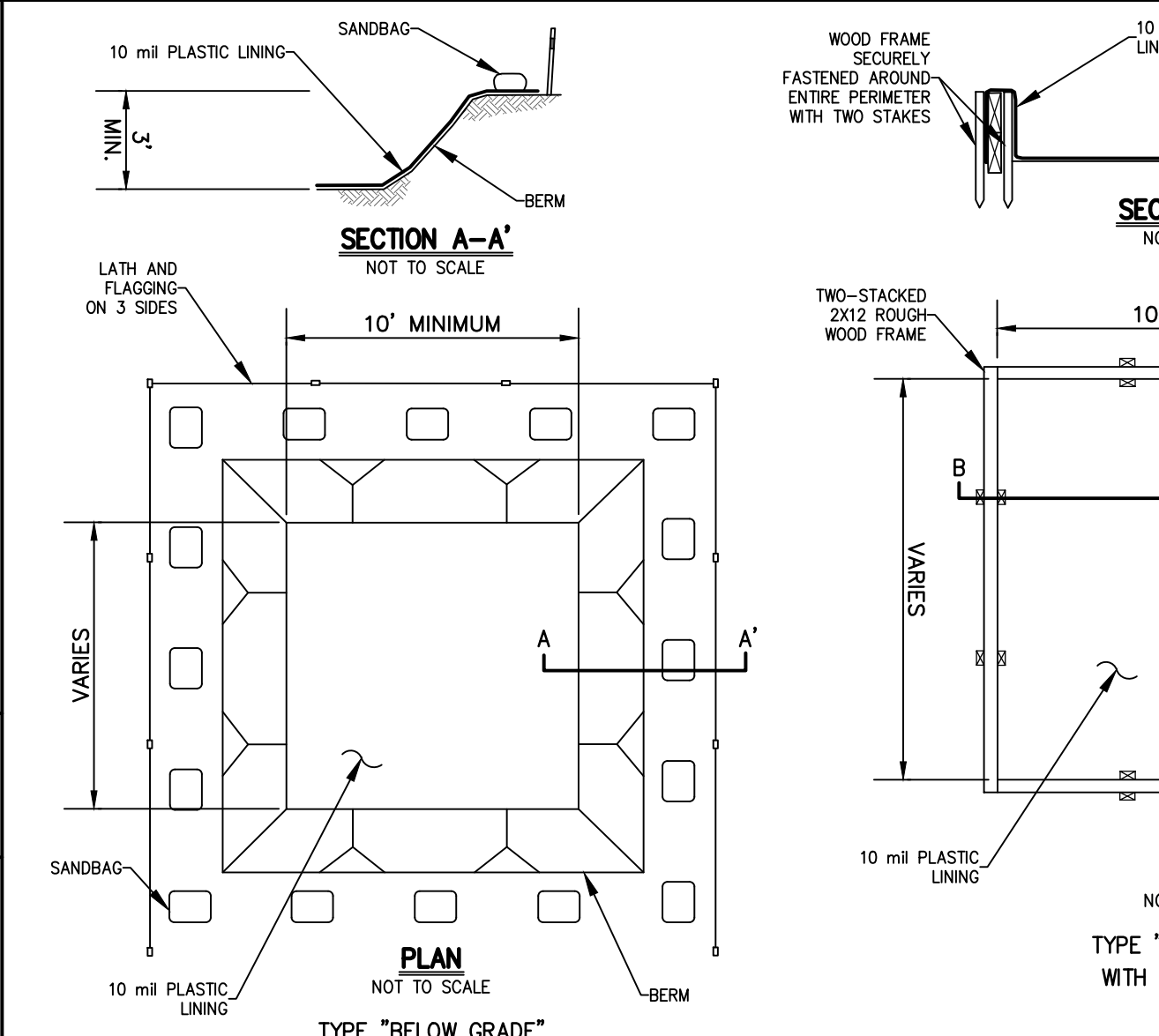
PAINTED ACCESSIBLE SYMBOL 13A



SITE PARALLEL CURB RAMP 10



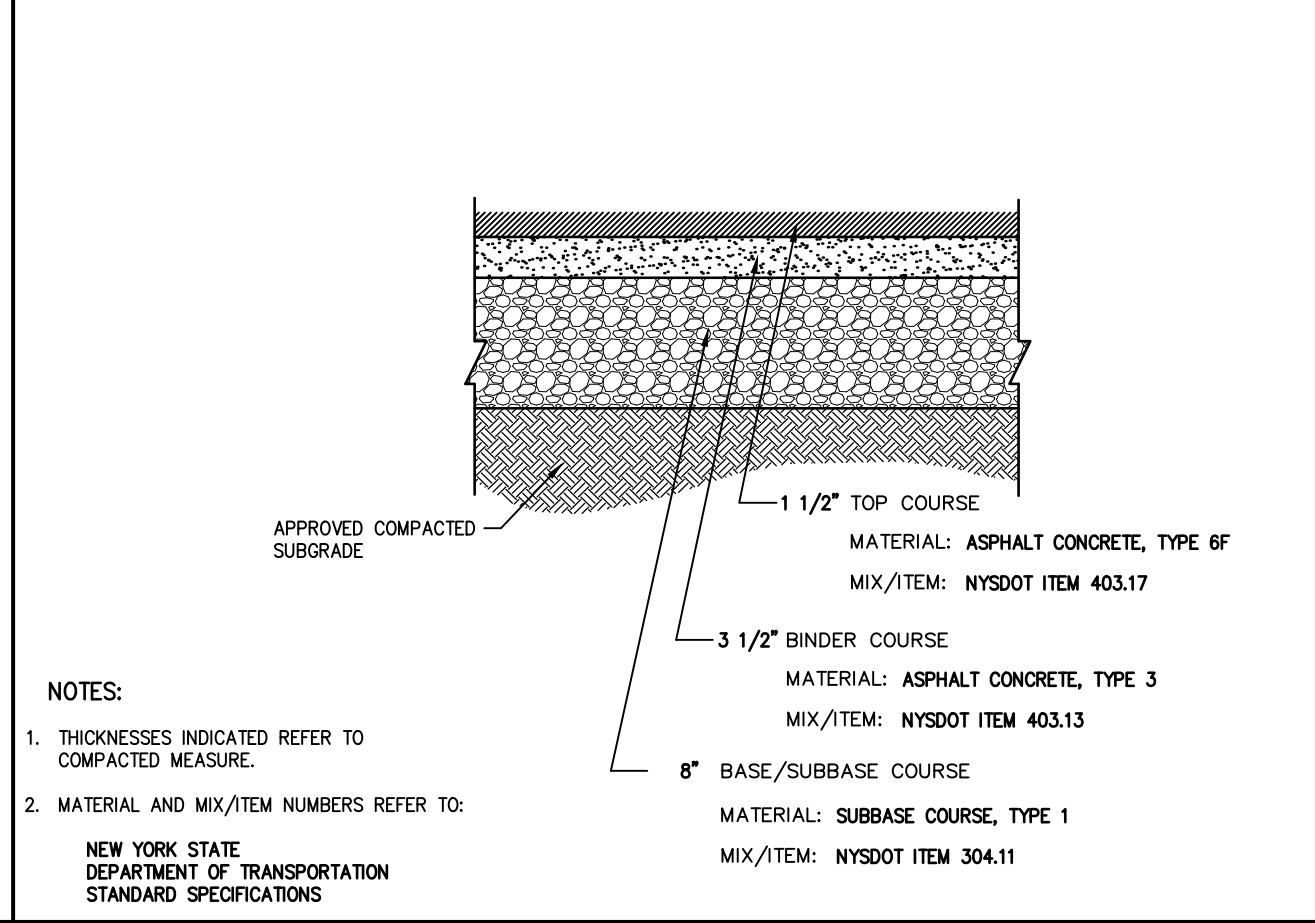
SITE PAVEMENT (HEAVY DUTY) 11



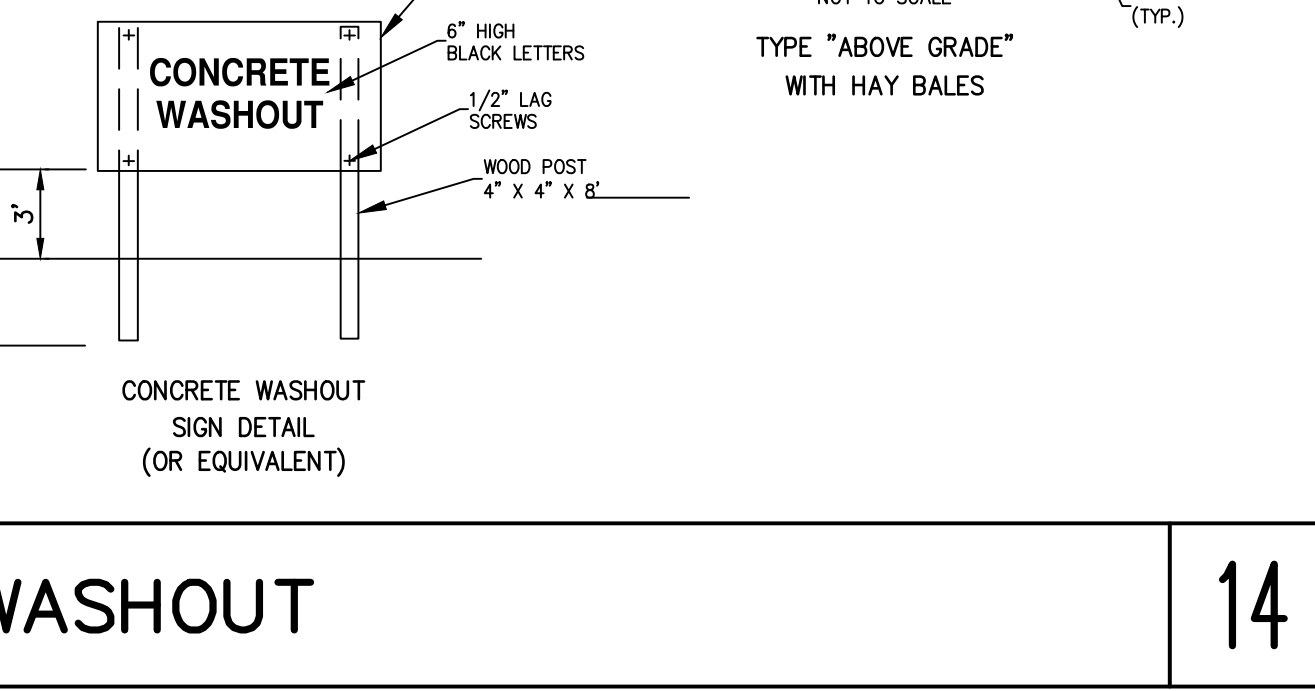
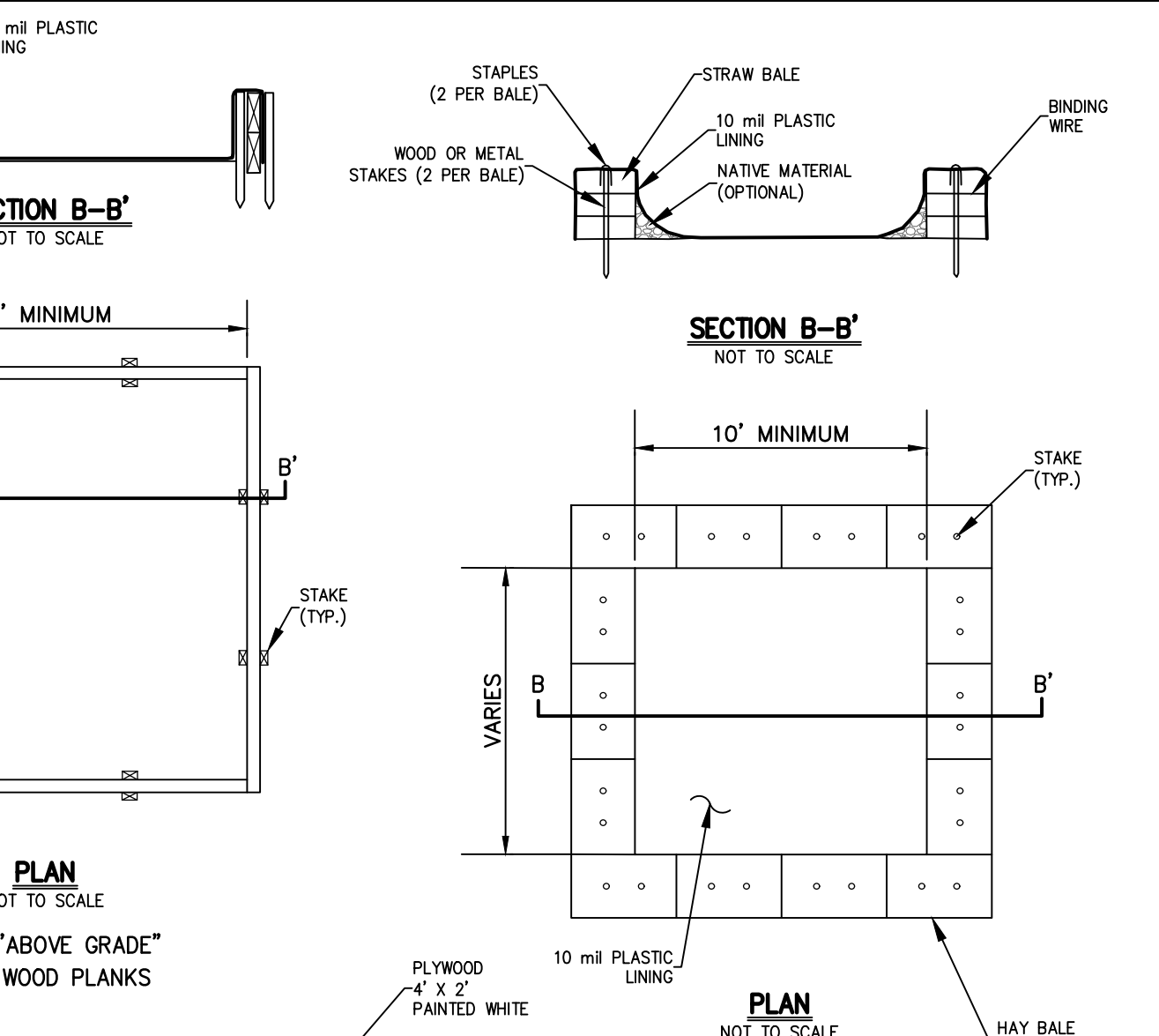
CONCRETE WASHOUT 14

NOTES:

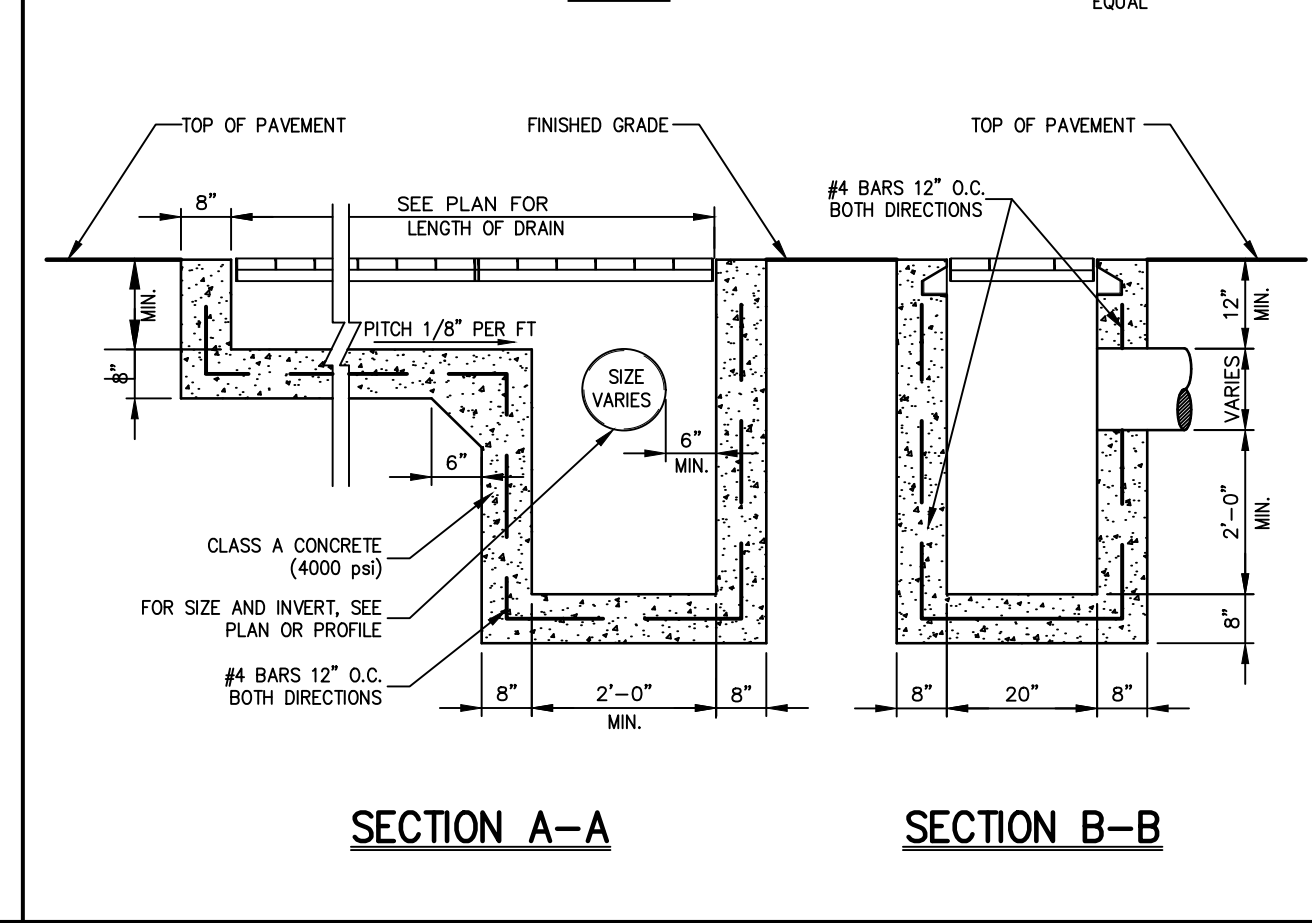
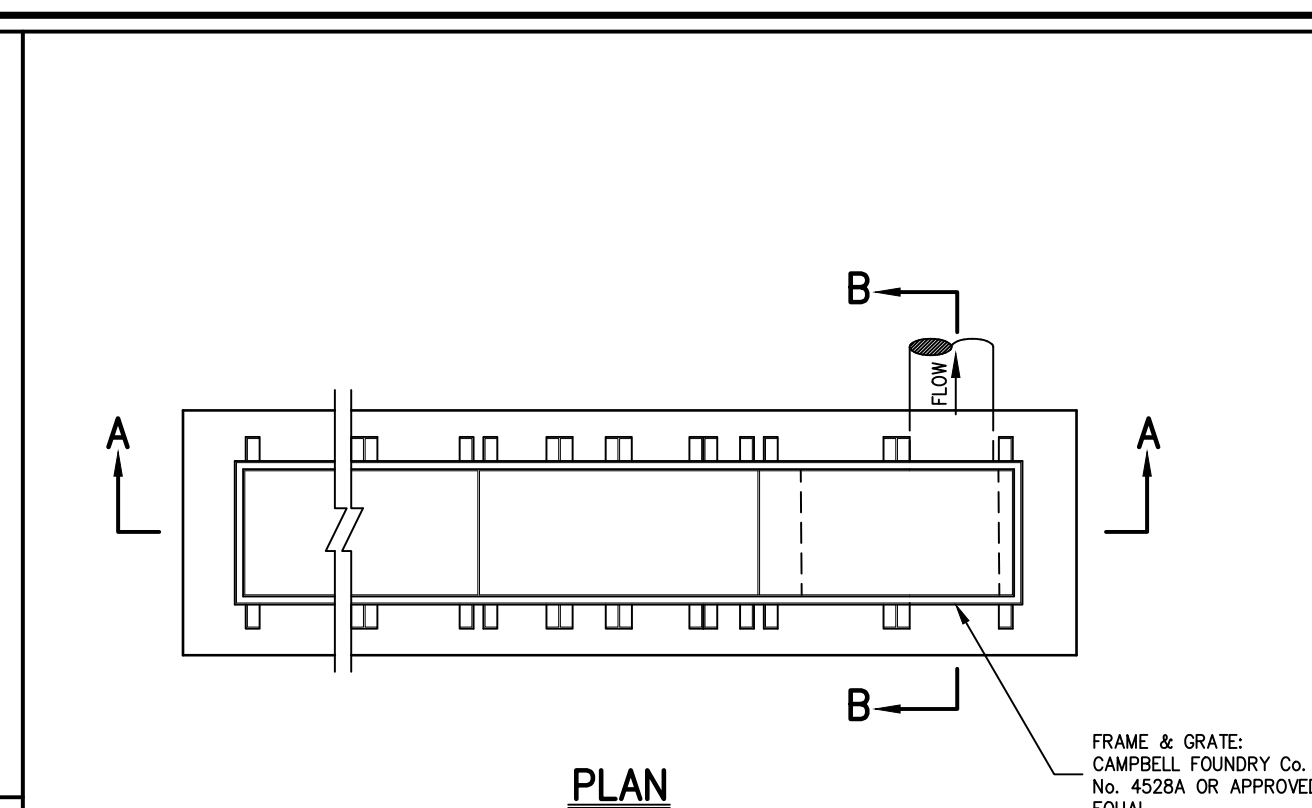
- THE MAXIMUM RUNNING SLOPE OF A CURB RAMP SHALL BE 8.33% AND THE MAXIMUM CROSS SLOPE SHALL BE 2.0% MEASURED WITH A 2 FOOT SMART LEVEL AS SPECIFIED IN DIMENSIONAL TOLERANCES IN CONSTRUCTION AND FOR SURFACE ACCESSIBILITY, BY UNITED STATES ACCESS BOARD, LATEST EDITION.
- COUNTER SLOPES OF ADJACENT GUTTERS AND ROAD SURFACES IMMEDIATELY ADJACENT TO THE CURB RAMP SHALL NOT BE STEEPER THAN 5% THE ADJACENT SURFACES AT TRANSITIONS AT CURB RAMP TO WALKS, GUTTERS AND STREETS SHALL BE AT THE SAME LEVEL.
- LANDINGS SHALL BE PROVIDED AT THE TOP OF CURB RAMP. THE CLEAR LENGTH OF THE LANDING SHALL BE THIRTY-SIX (36) INCHES MINIMUM. THE CLEAR WIDTH OF THE LANDING SHALL BE AT LEAST AS WIDE AS THE CURB RAMP. LEADING TO THE LANDING, LANDINGS SHALL HAVE A SLOPE NOT STEEPER THAN 2% IN ANY DIRECTION MEASURED WITH A 2 FOOT SMART LEVEL AS SPECIFIED IN DIMENSIONAL TOLERANCES IN CONSTRUCTION AND FOR SURFACE ACCESSIBILITY, BY UNITED STATES ACCESS BOARD, LATEST EDITION.
- RAMP SHALL HAVE CAST IN PLACE DETECTABLE WARNING SURFACES AS MANUFACTURED BY HOKER-TILE (OR APPROVED EQUAL) AND SHALL CONSIST OF RAISED TRUNCATED DOMES WITH A BASE DIAMETER OF NOMINAL 6/8 INCHES, A HEIGHT OF NOMINAL 1/2 INCHES AND A CENTER TO CENTER SPACING OF NOMINAL 1.6 INCHES.
- DETECTABLE WARNING SURFACES SHALL CONTRAST VISUALLY WITH ADJACENT WALKING SURFACES, EITHER LIGHT-ON-DARK OR DARK-ON-LIGHT IN ACCORDANCE WITH THE ADA STANDARDS FOR ACCESSIBLE DESIGN, THE BUILDING CODE, AND APPLICABLE LOCAL LAWS AND REGULATIONS, LATEST EDITIONS.
- 24\"/>



TRENCH DRAIN (END OUTLET) 12

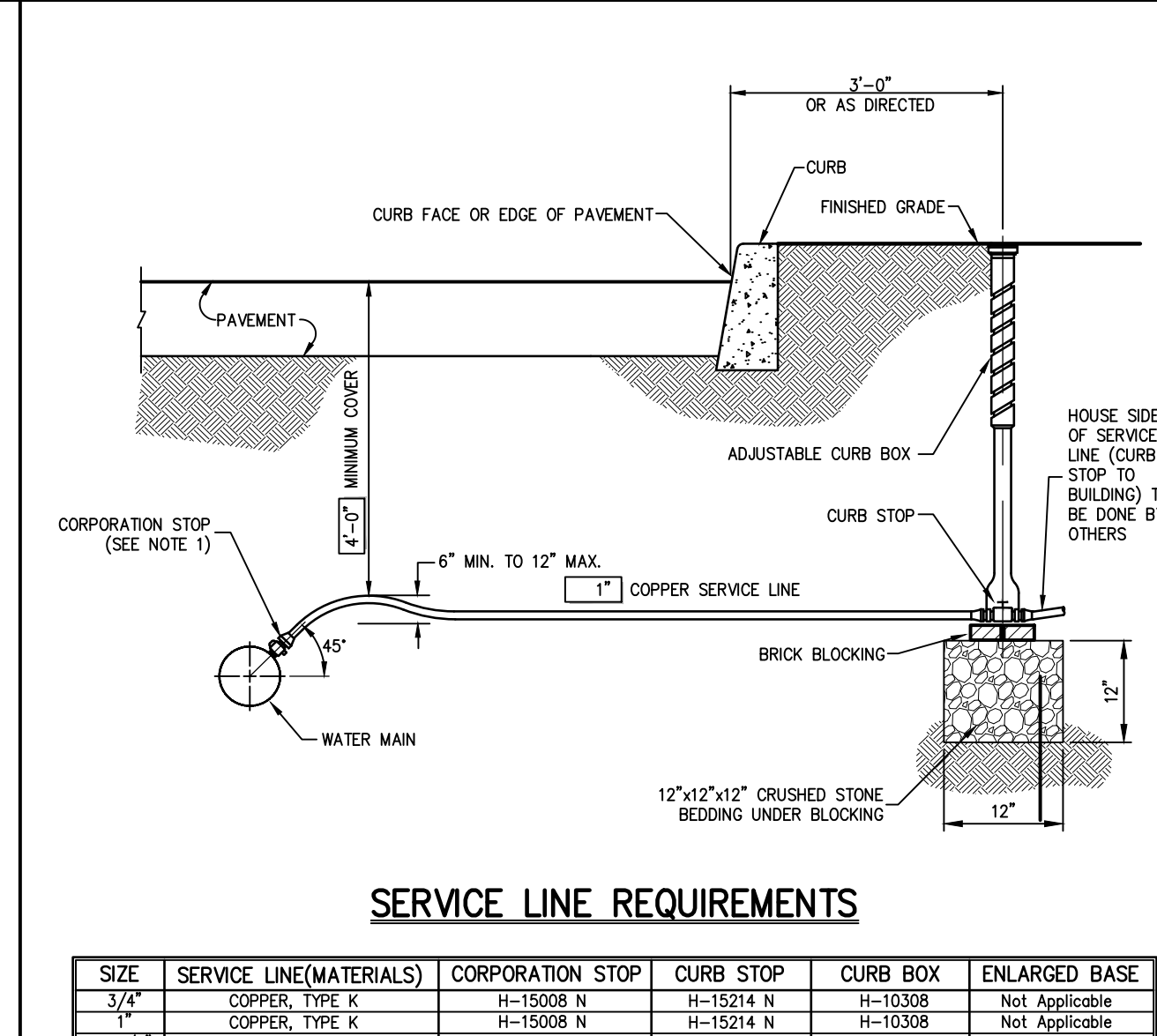


WATER SERVICE CONNECTION 15



SERVICE LINE REQUIREMENTS

SIZE	SERVICE LINE (MATERIALS)	CORPORATION STOP	CURB STOP	CURB BOX	ENLARGED BASE
3/4"	COPPER, TYPE K	H-15008 N	H-15214 N	H-10308	Not Applicable
1"	COPPER, TYPE K	H-15008 N	H-15214 N	H-10308	Not Applicable
1-1/2"	COPPER, TYPE K	H-15013 N	H-15214 N	H-10310	Not Applicable
2"	COPPER, TYPE K	H-15013 N	H-15214 N	H-10310	H-10349



NOTES:

- INSTALLATION OF 1-1/2" AND 2" CORPORATION STOPS SHALL BE MADE IN THE UPPER PIPE QUADRANT, BUT MAY BE MADE AT ANGLES LESS THAN 45° IF APPROVED BY THE OWNER'S FIELD REPRESENTATIVE.
- SERVICE LINE SHALL HAVE NO JOINTS BETWEEN THE WATER MAIN AND CURB STOP.
- CORPORATION STOP, CURB STOP, CURB BOX AND ENLARGED BASE FOR CURB BOX SHALL BE MUELLER COMPANY OR APPROVED EQUAL. CATALOG NUMBERS SHOWN REFER TO MUELLER COMPANY.
- ALL BRASS SHALL COMPLY WITH ANSA C-800. COMPONENTS IN CONTACT WITH POTABLE WATER SHALL ALSO COMPLY WITH LATEST REQUIREMENTS OF THE FEDERAL SAFE DRINKING WATER ACT.

Revision

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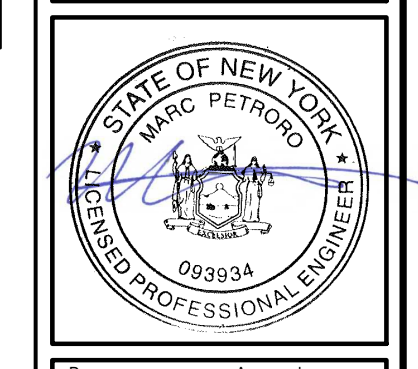
JMC Planning, Engineering, Landscape Architecture & Land Surveying, PLLC
 JMC Site Development Consultants, LLC
 John Meyer Consulting, Inc.
 120 BEEDFORD ROAD - HERRON, NY 10504
 voice: 914.273.5225 • fax: 914.273.2102
 www.jmcplic.com



SITE DETAILS

GAS STATION / CONVENIENCE MARKET
 657 SAW MILL RIVER ROAD
 VILLAGE OF ARDSLEY, NEW YORK

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Drawn: KRM Approved: RJP
 Scale: NOT TO SCALE
 Date: 05/26/2020
 Project No: 18175
 1815-DRAWING: C-901
 Drawing No: C-901

NOT FOR CONSTRUCTION

PROJECT INFORMATION

Project Name	GAS STATION 657 SAW MILL RIVER ROAD
Location	ARDSLEY, NY
Client	JMC Planning, Engineering, Landscape Architecture & Land Surveying, PLLC
Contract No.	22021919-03A
Revision No.	05/26/2024
Drawn By	JMC
Checked By	JMC
Approved By	JMC
Date	05/26/2024

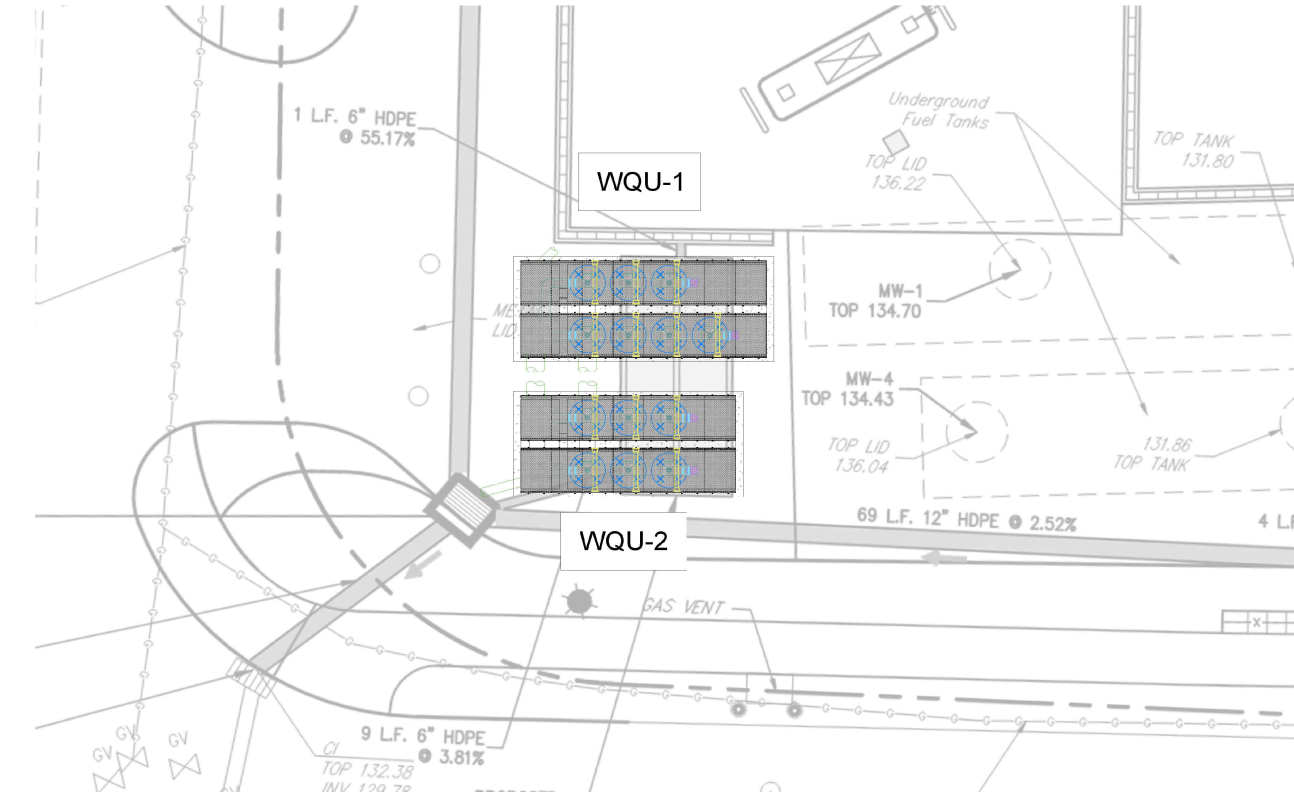
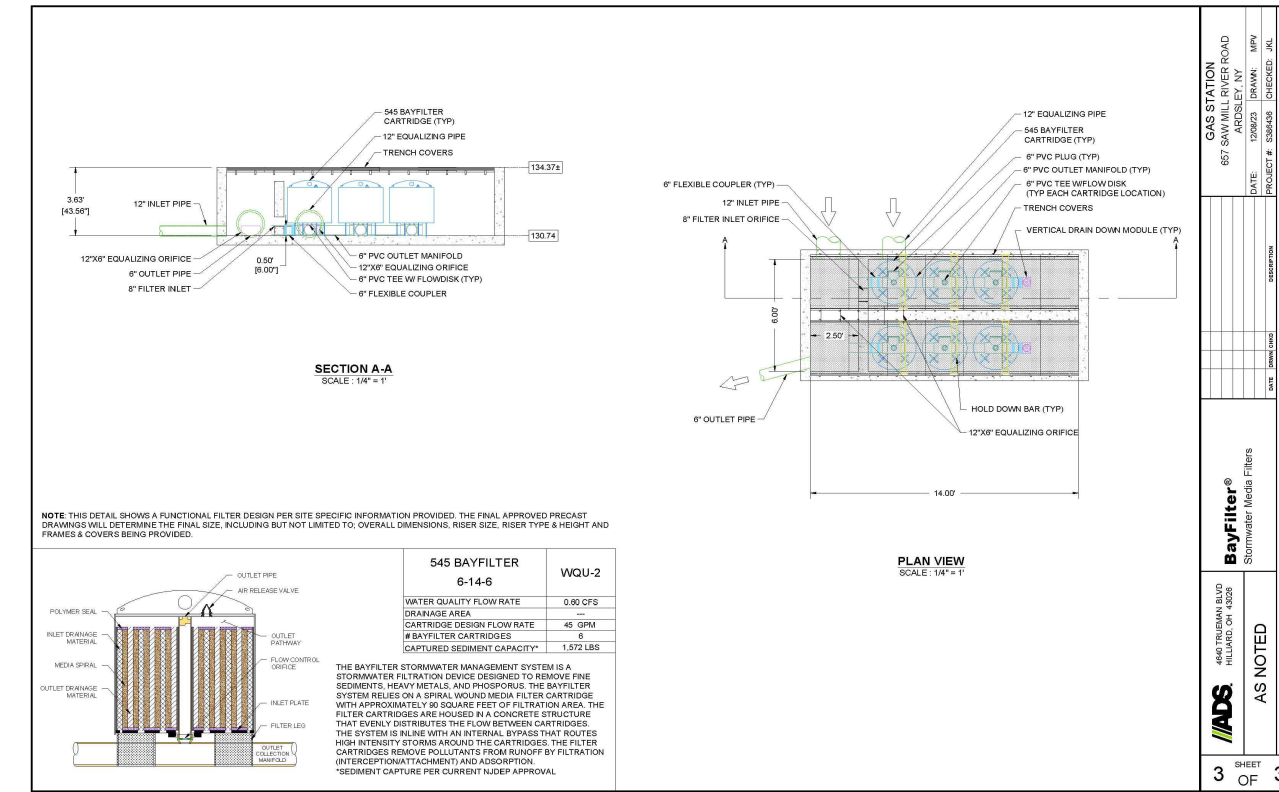
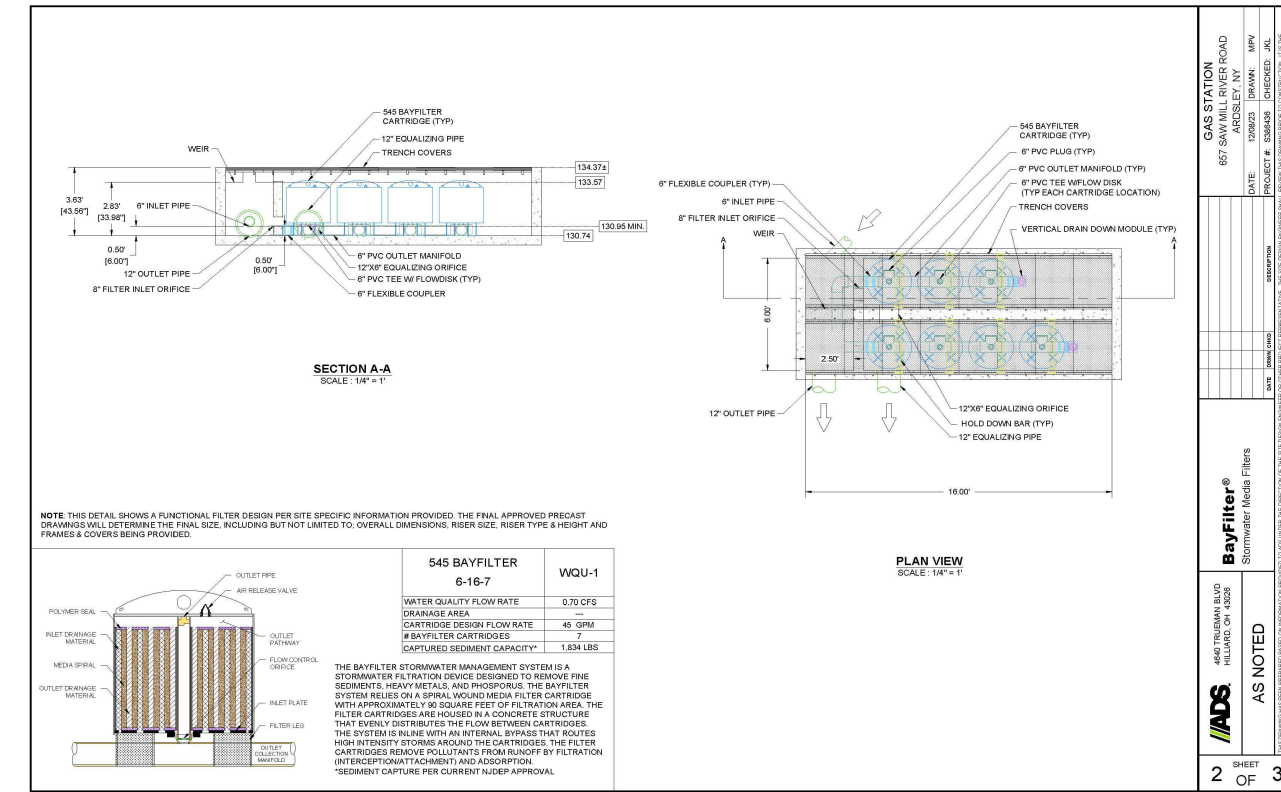
ADS
Advanced Drainage Systems, Inc.

**GAS STATION 657 SAW MILL RIVER ROAD
ARDSLEY, NY**

BAYSAYER BAYFILTER SPECIFICATIONS

BAYFILTER MAINTENANCE

GENERAL NOTES



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ADS SAND FILTER

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CASCADE SEPARATOR DESIGN NOTES

THE STANDARD CS-4 CONFIGURATION IS SHOWN. ALTERNATE CONFIGURATIONS ARE AVAILABLE AND ARE LISTED BELOW. SOME CONFIGURATIONS MAY BE COMBINED TO SUIT SITE REQUIREMENTS.

CONFIGURATION DESCRIPTION	
GRATED INLET ONLY (NO INLET PIPE)	
GRATED INLET WITH INLET PIPE OR PIPES	
CURB INLET ONLY (NO INLET PIPE)	
CURB INLET WITH INLET PIPE OR PIPES	

SITE SPECIFIC DATA REQUIREMENTS

STRUCTURE ID	WATER QUALITY/FLOW RATE (OR ILL)	PEAK FLOW RATE (GPM)	RETURN PERIOD OF PEAK FLOW (YRS)	RIM ELEVATION

GENERAL NOTES

- CONTECH TO PROVIDE ALL MATERIALS UNLESS NOTED OTHERWISE.
- FOR SITE SPECIFIC DRAWINGS WITH DETAILED STRUCTURE DIMENSIONS AND WEIGHT, PLEASE CONTACT YOUR CONTECH ENGINEERED SOLUTIONS LLC REPRESENTATIVE. www.conteches.com
- CASCADE SEPARATOR WATER QUALITY STRUCTURES SHALL BE IN ACCORDANCE WITH ALL DESIGN DATA AND INFORMATION CONTAINED IN THIS DRAWING. CONTRACTOR TO CONFIRM STRUCTURE MEETS REQUIREMENTS OF PROJECT.
- CASCADE SEPARATOR STRUCTURE SHALL MEET AASHTO H20-44 LOAD RATING, ASSUMING EARTH COVER OF 0'-2'(0.61) AND GROUNDWATER ELEVATION AT, OR BELOW, THE OUTLET PIPE INVERT ELEVATION. ENGINEER OF RECORD TO CONFIRM ACTUAL GROUNDWATER ELEVATION. CASTINGS SHALL MEET AASHTO M270 AND BE CAST WITH THE CONTECH LOG.
- CASCADE SEPARATOR STRUCTURE SHALL BE PRECAST CONCRETE CONFORMING TO ASTM C478 AND AASHTO LOAD FACTOR DESIGN METHOD.
- ALTERNATE UNITS ARE SHOWN IN MILLIMETERS [mm].

INSTALLATION NOTES

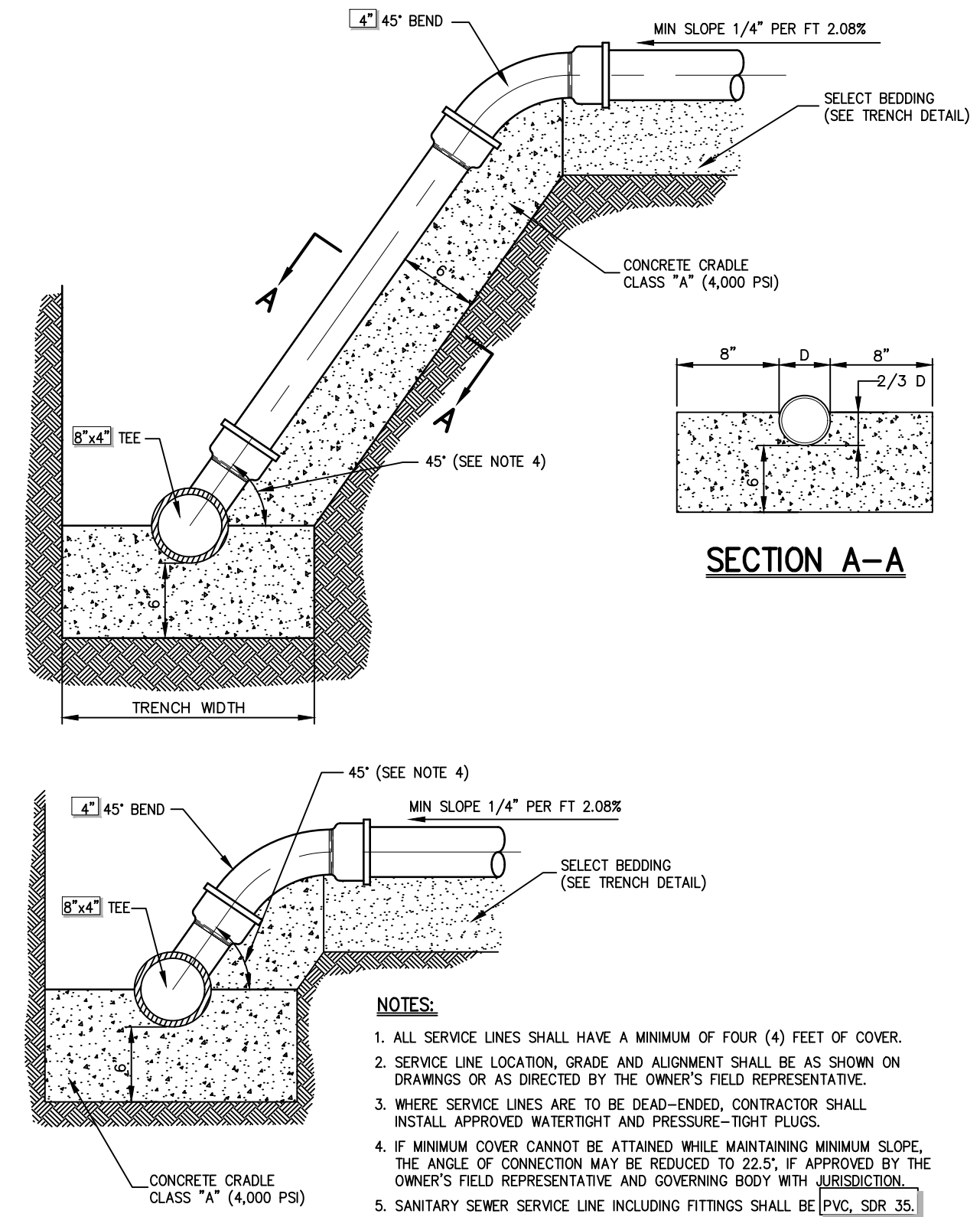
- ANY SUBBASE, BACKFILL DEPTH, AND/OR ANTI-FLOTATION PROVISIONS ARE SITE-SPECIFIC DESIGN CONSIDERATIONS AND SHALL BE SPECIFIED BY ENGINEER OF RECORD.
- CONTRACTOR TO PROVIDE EQUIPMENT WITH SUFFICIENT LIFTING AND REACH CAPACITY TO LIFT AND SET THE CASCADE SEPARATOR MANHOLE STRUCTURE.
- CONTRACTOR TO PROVIDE JOINT SEALANT BETWEEN ALL STRUCTURE SECTIONS AND ASSEMBLE STRUCTURE.
- CONTRACTOR TO PROVIDE, INSTALL AND GROUT INLET AND OUTLET PIPES. MATCH PIPE INVERTS WITH ELEVATIONS SHOWN. ALL PIPE CENTERS TO MATCH PIPE OPENING CENTERS.
- CONTRACTOR TO TAKE APPROPRIATE MEASURES TO ASSURE UNIT IS WATER TIGHT, HOLDING WATER TO FLOWLINE INVERT MINIMUM. IT IS SUGGESTED THAT ALL JOINTS BELOW PIPE INVERTS ARE GROUTED.

CONTECH ENGINEERED SOLUTIONS LLC
www.conteches.com
800-876-7269 • 914-833-2200 • 914-833-2200

CS-4 CASCADE SEPARATOR STANDARD DETAIL

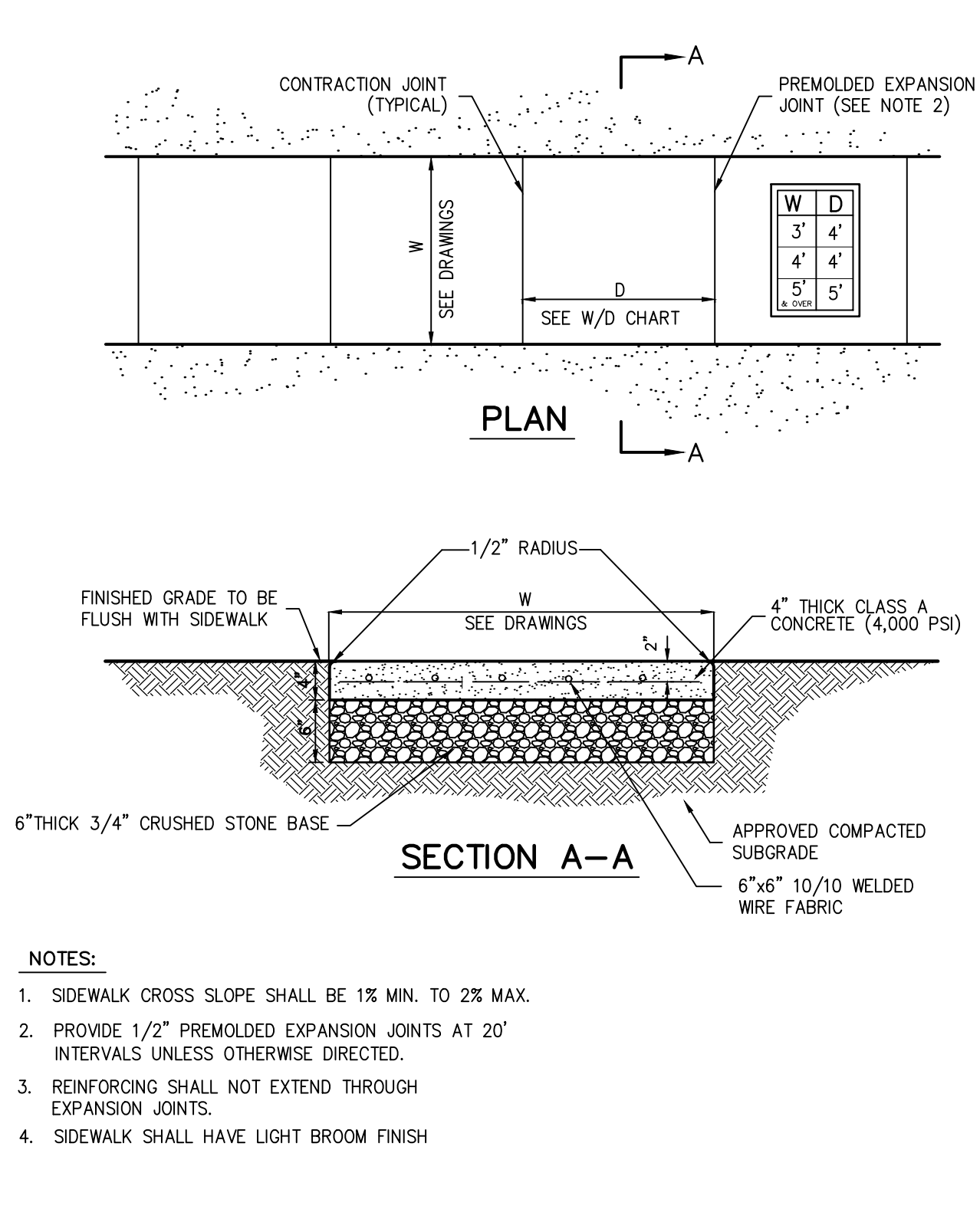
CASCADE SEPARATOR - CS-4

17



SANITARY SEWER SERVICE CONNECTION

18



CONCRETE SIDEWALK

19

JMC

SITE DETAILS

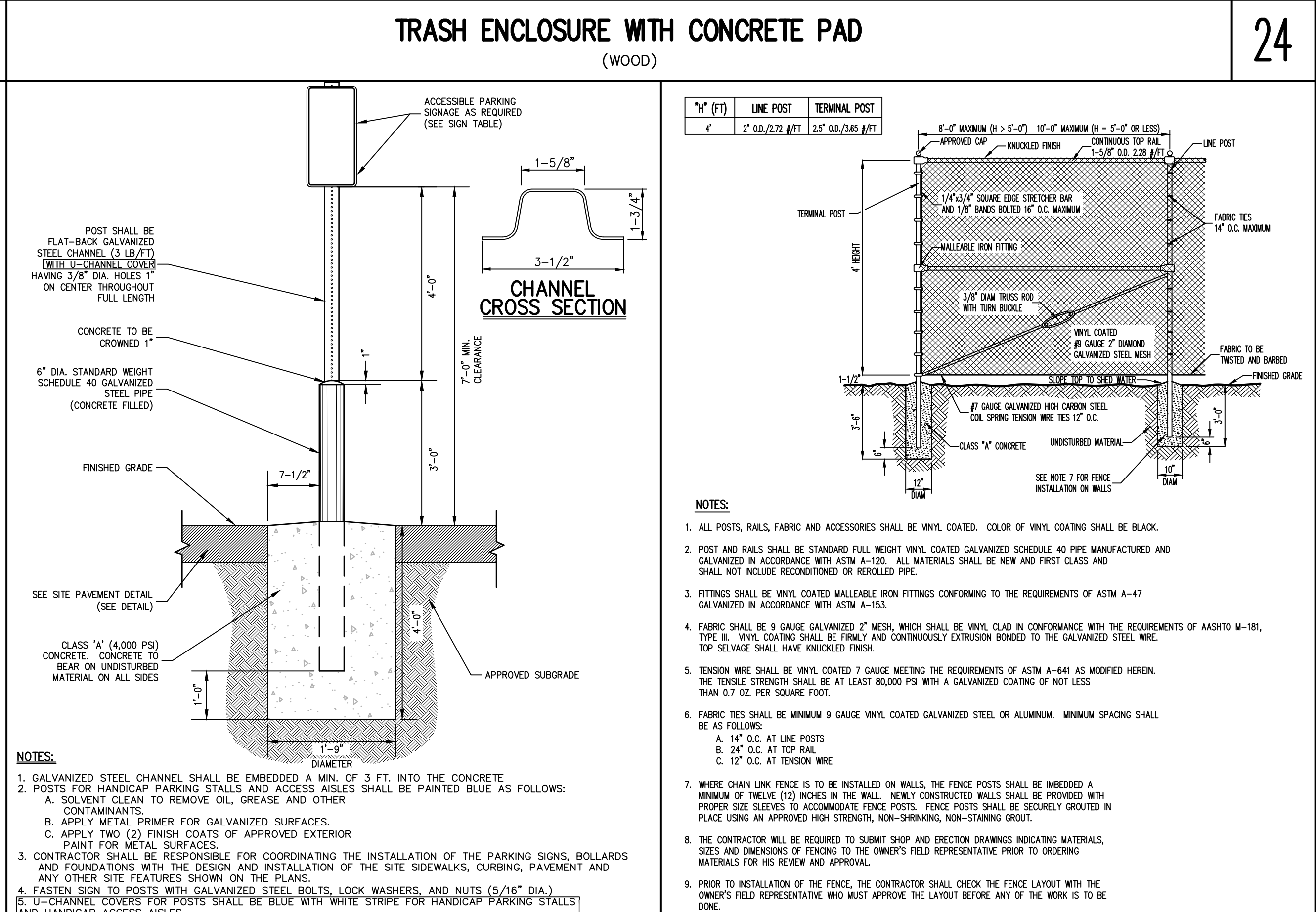
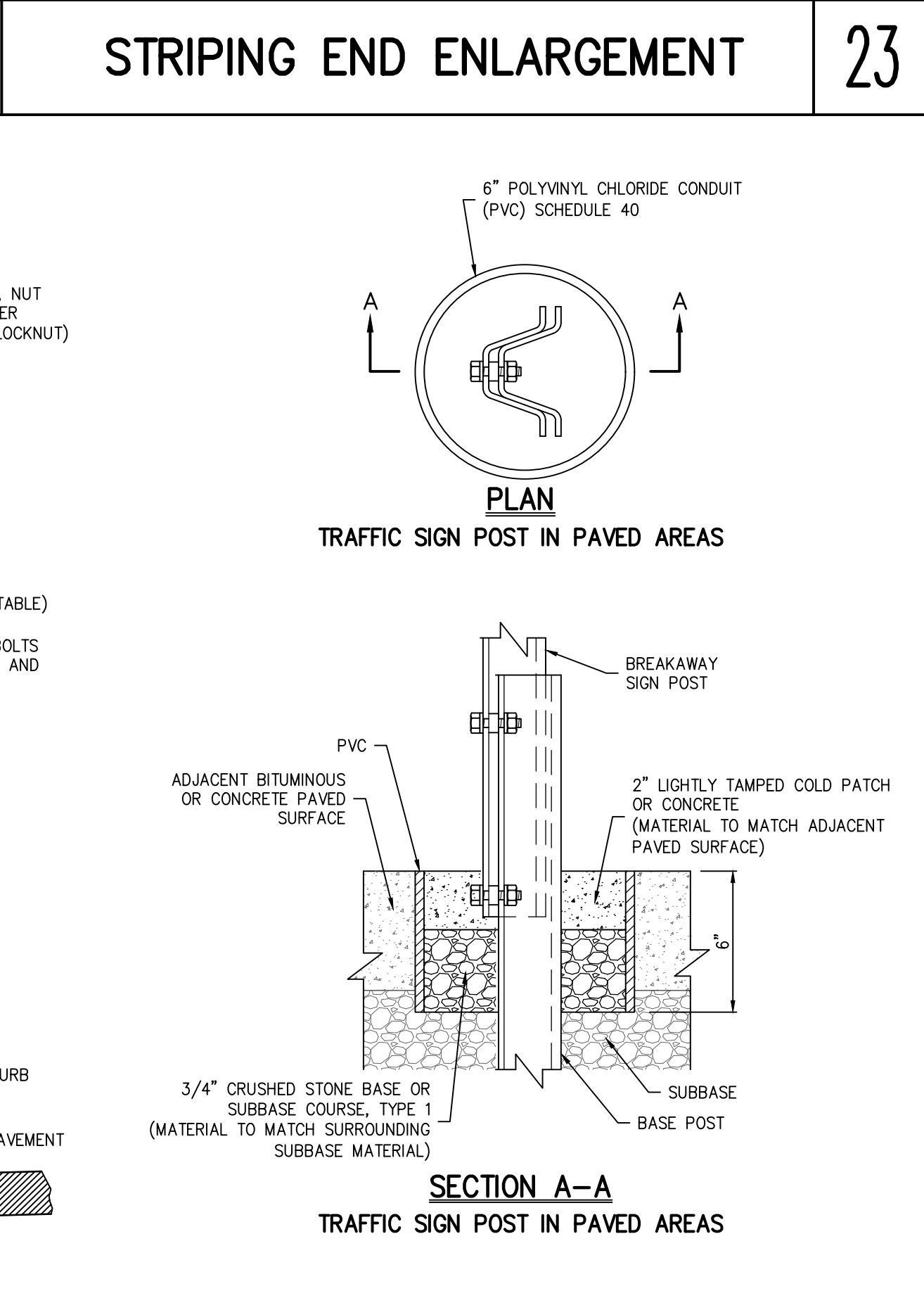
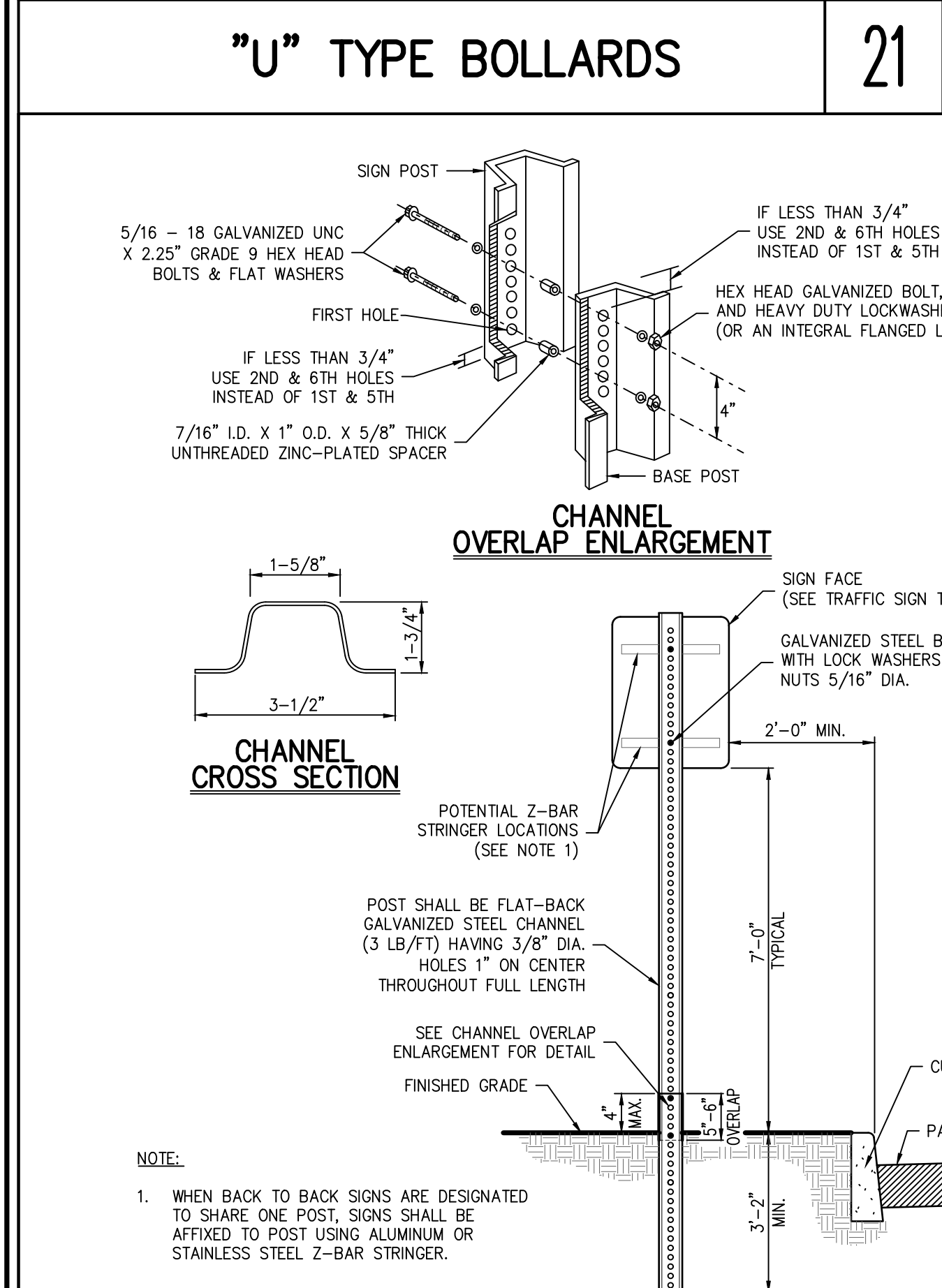
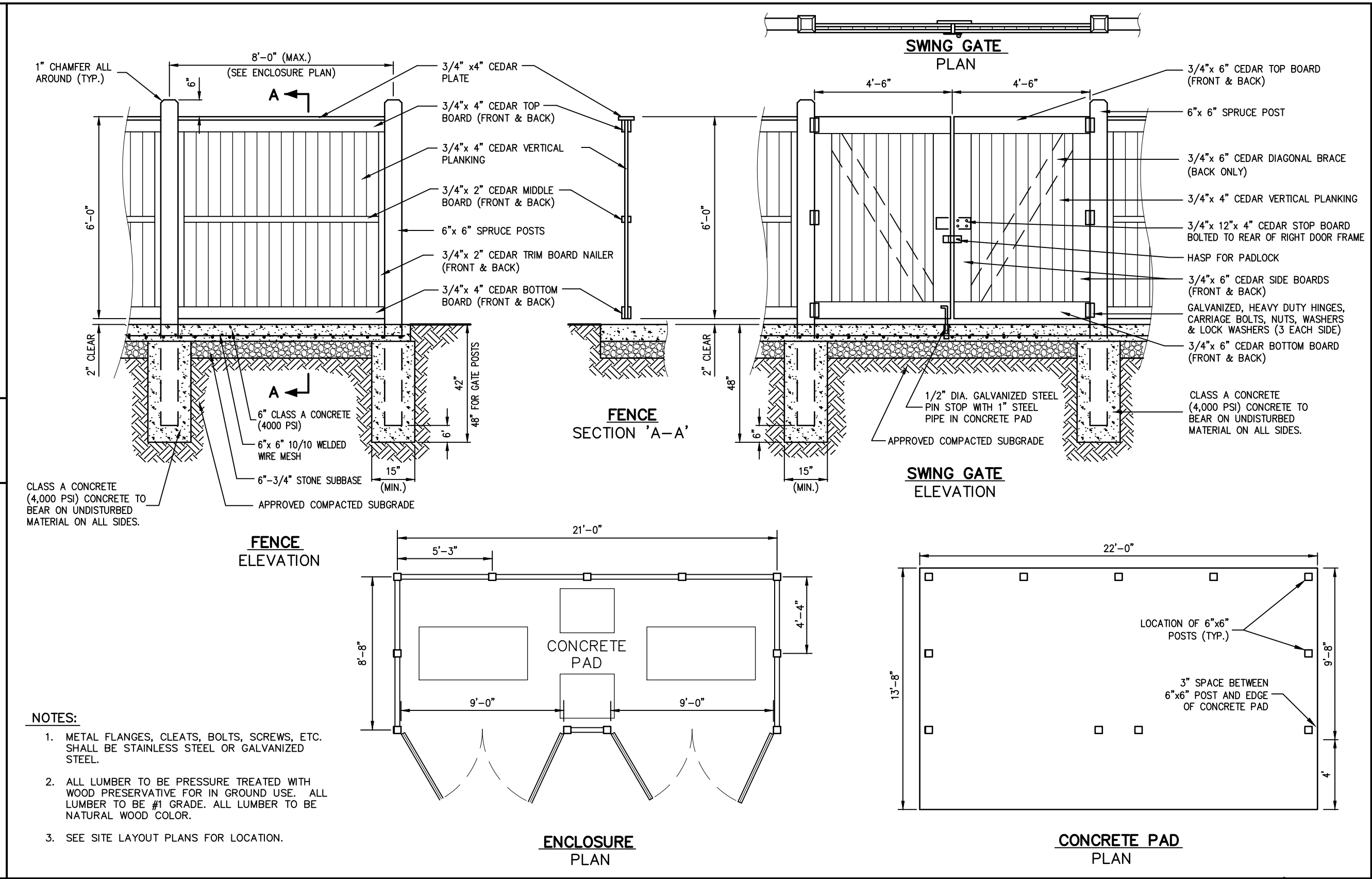
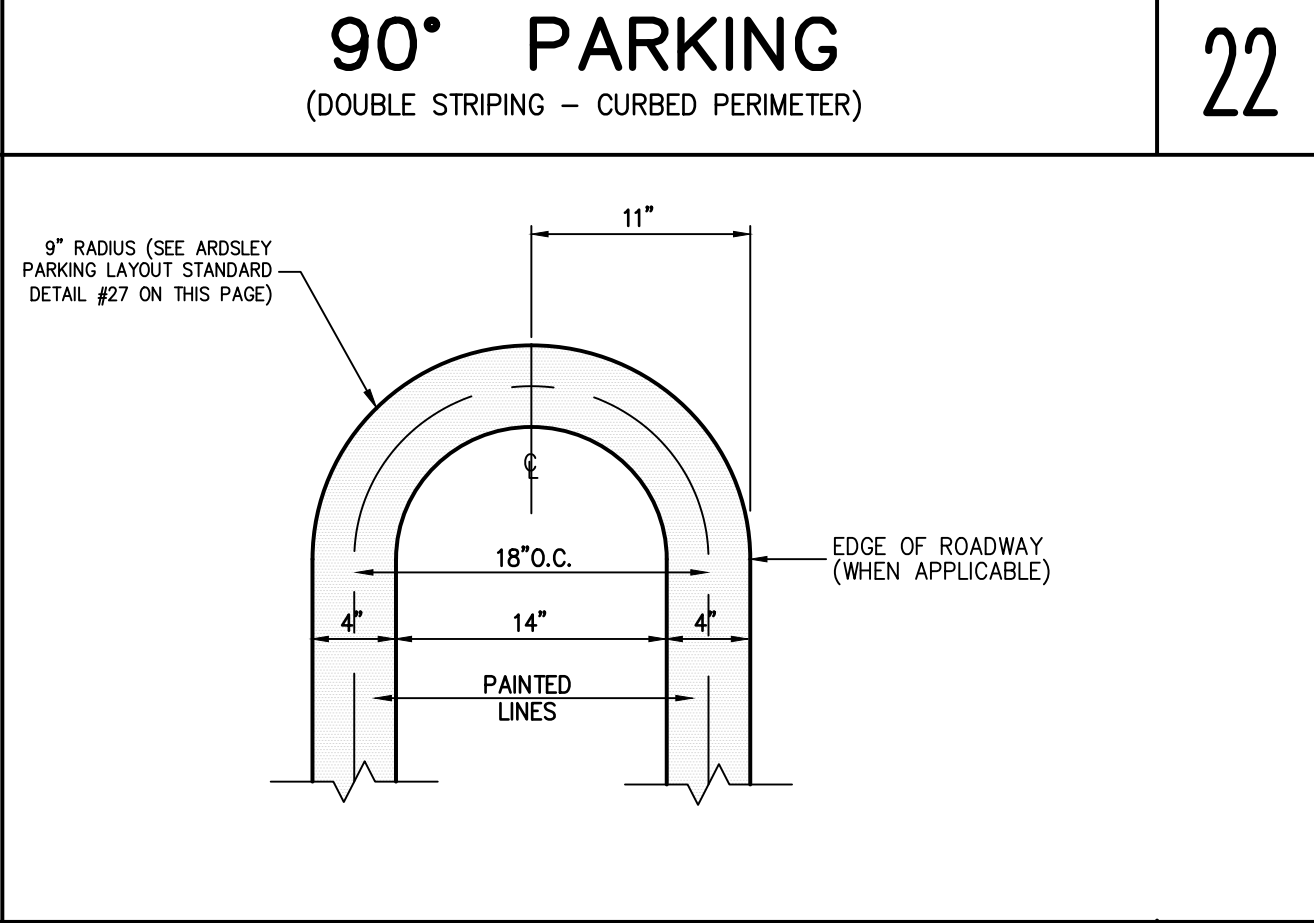
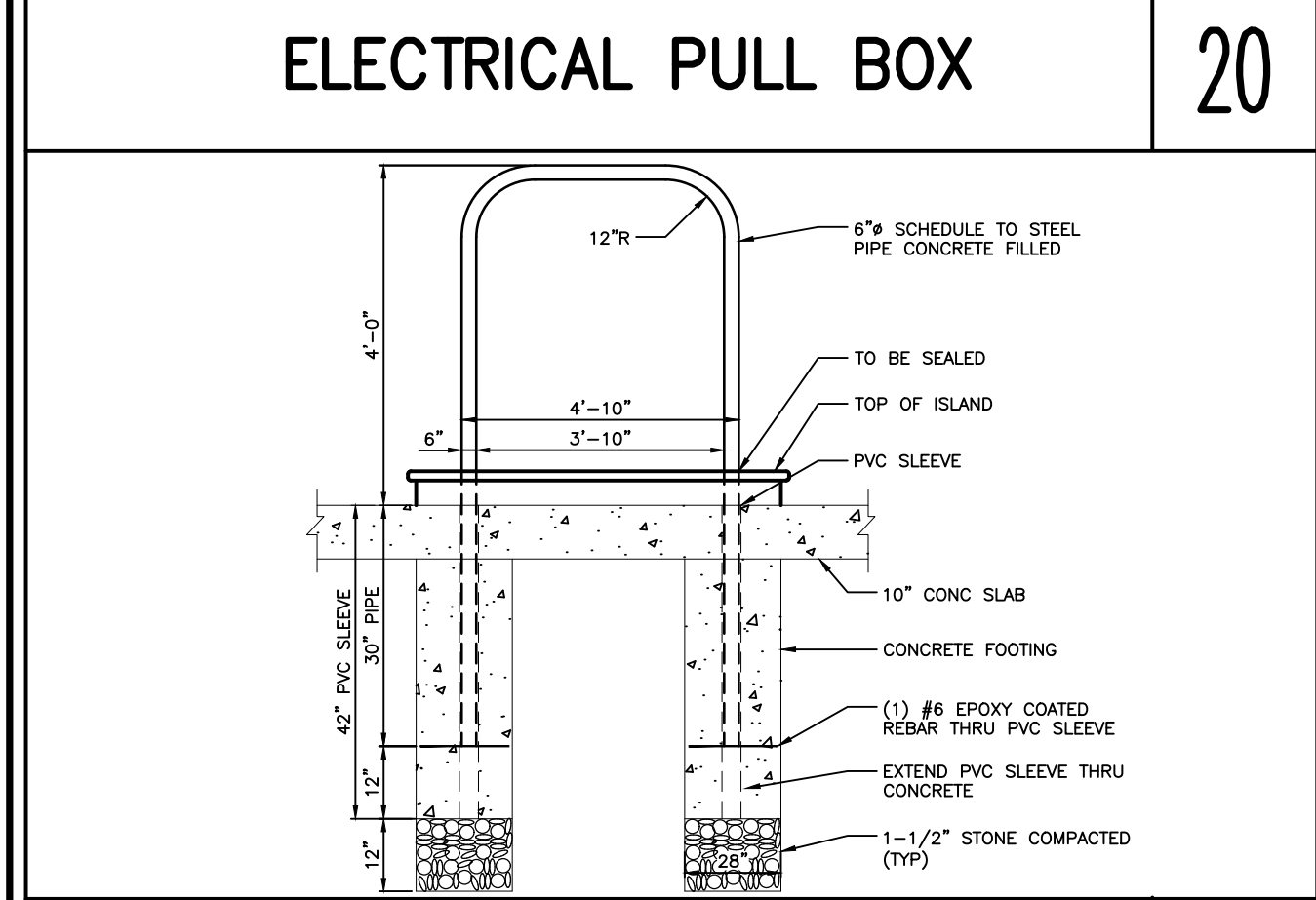
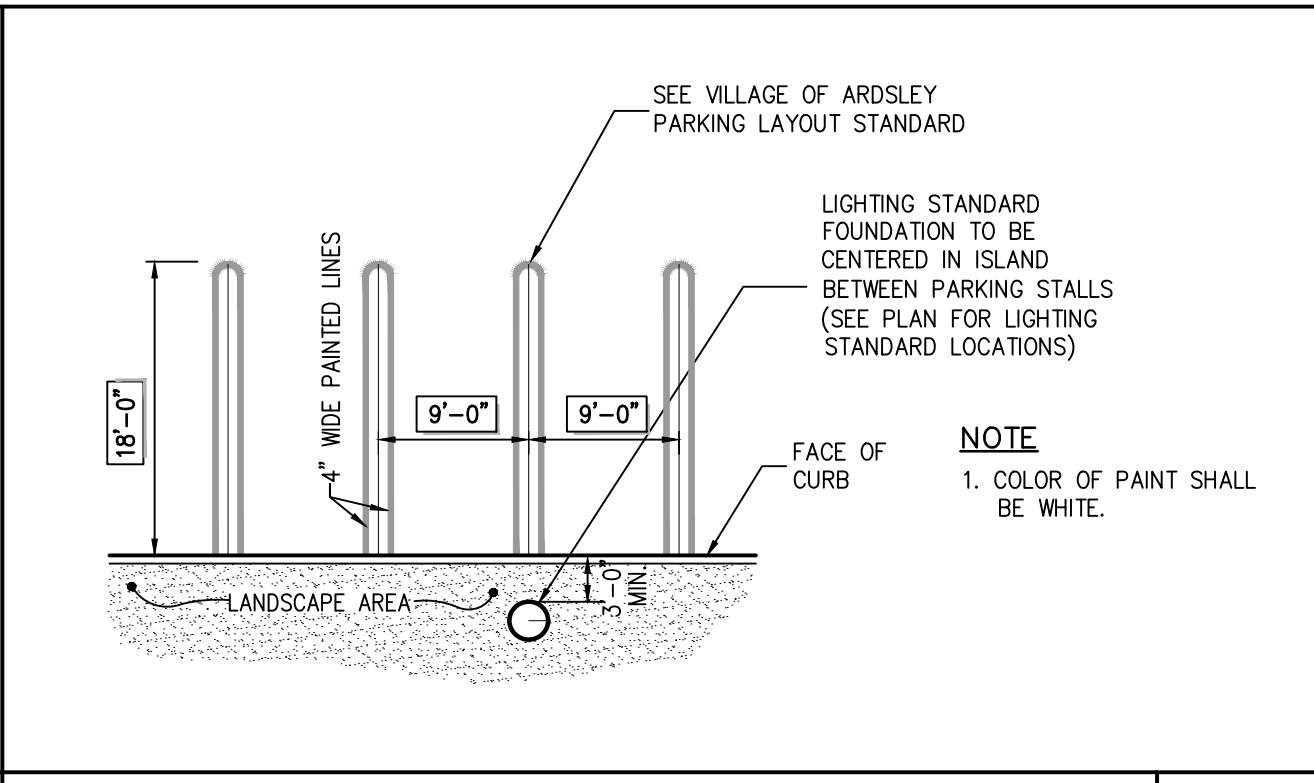
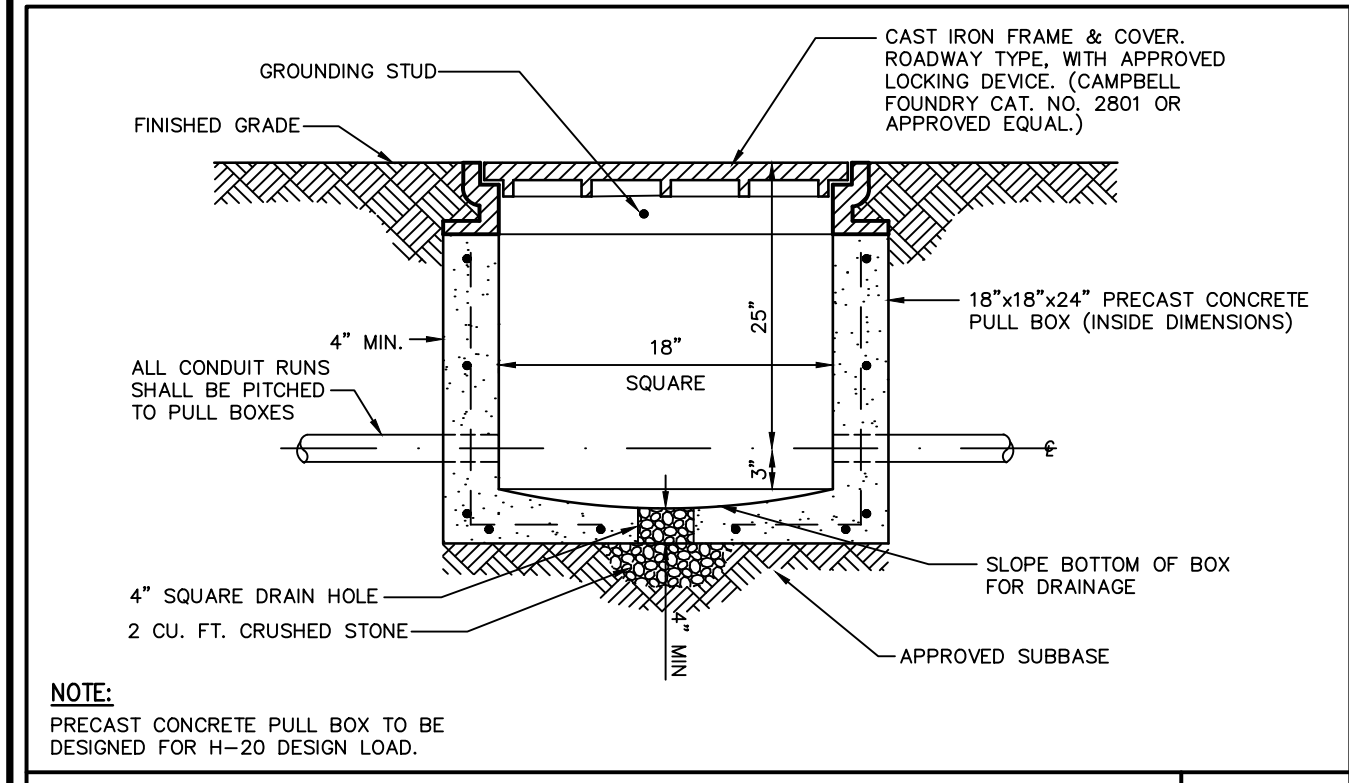
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657 SAW MILL RIVER ROAD
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STATE OF NEW YORK
JAMES P. PETRO
REGISTERED PROFESSIONAL ENGINEER

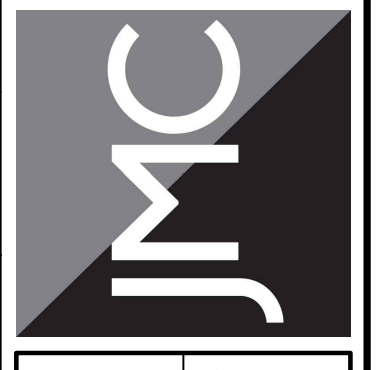
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Scale: NOT TO SCALE
Date: 05/26/2020
Project No: 18175
18175-DETAILS C-902 -
Drawing No: C-902

NOT FOR CONSTRUCTION



DATE	01/13/2022
REVISION	
1.	REVISED PER TOWN COMMENTS
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WWW.JMCPINC.COM

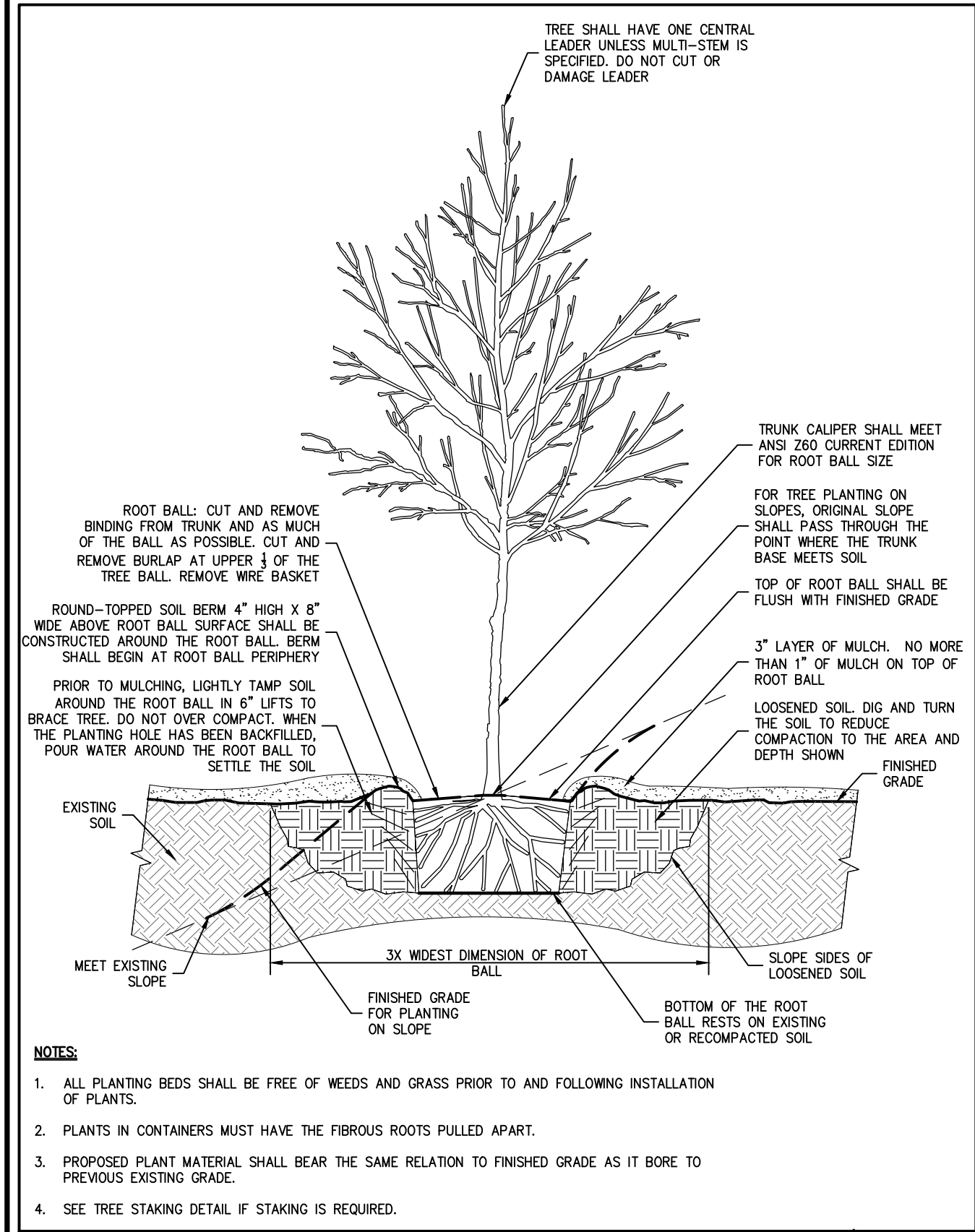


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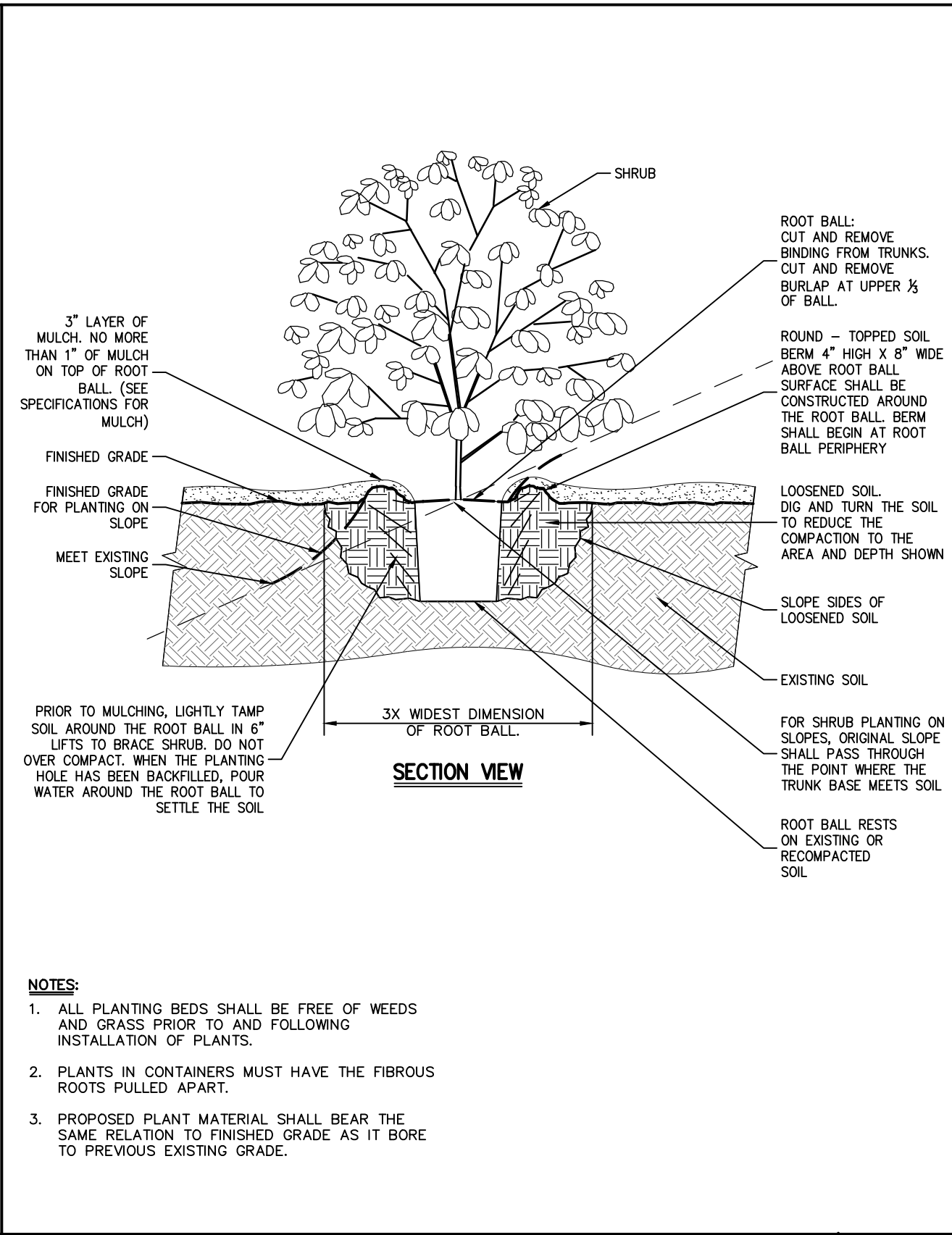
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1815-DRAWING	C-903		
Drawing No:	C-903		

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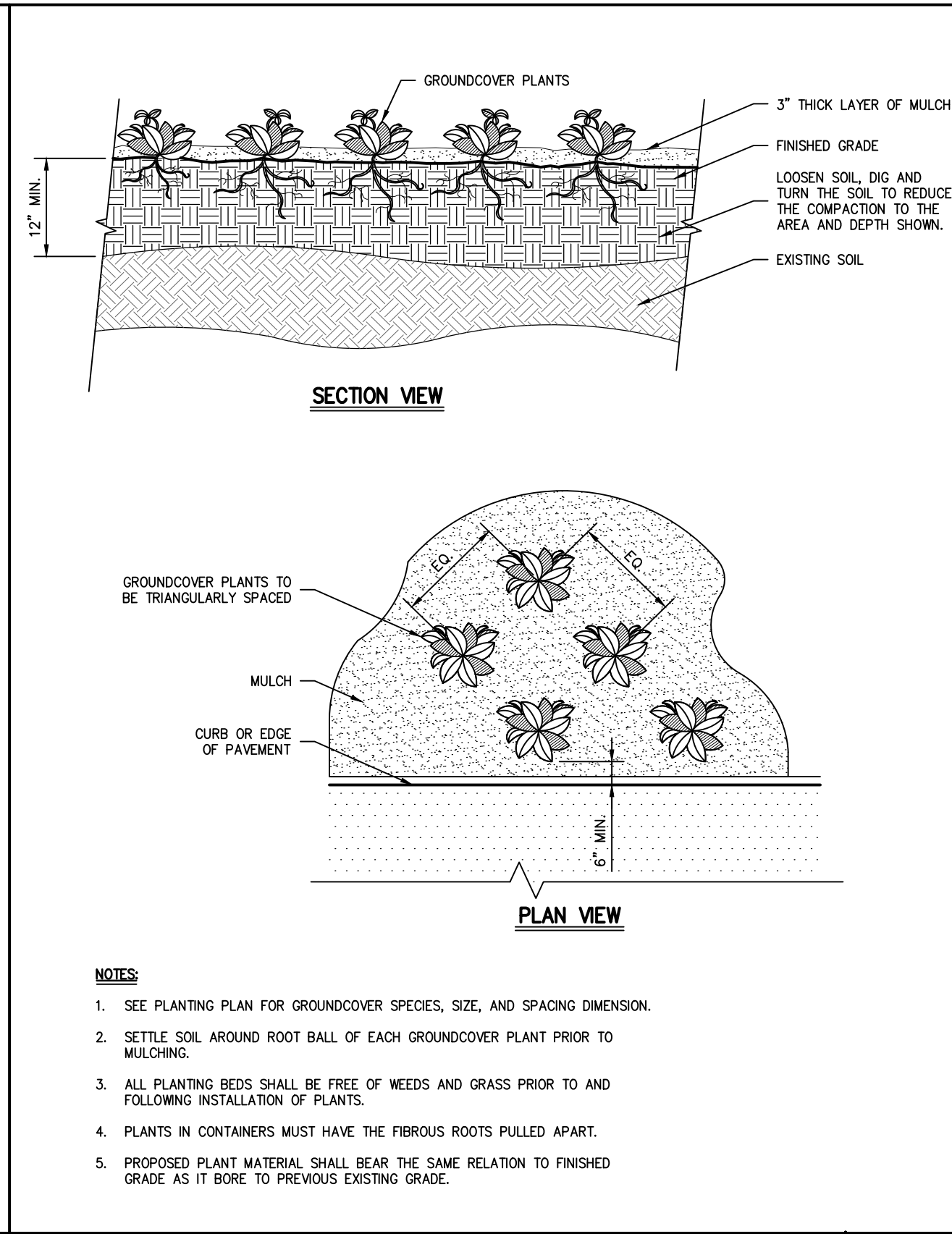
TREE PLANTING
(DECIDUOUS AND EVERGREEN)

28



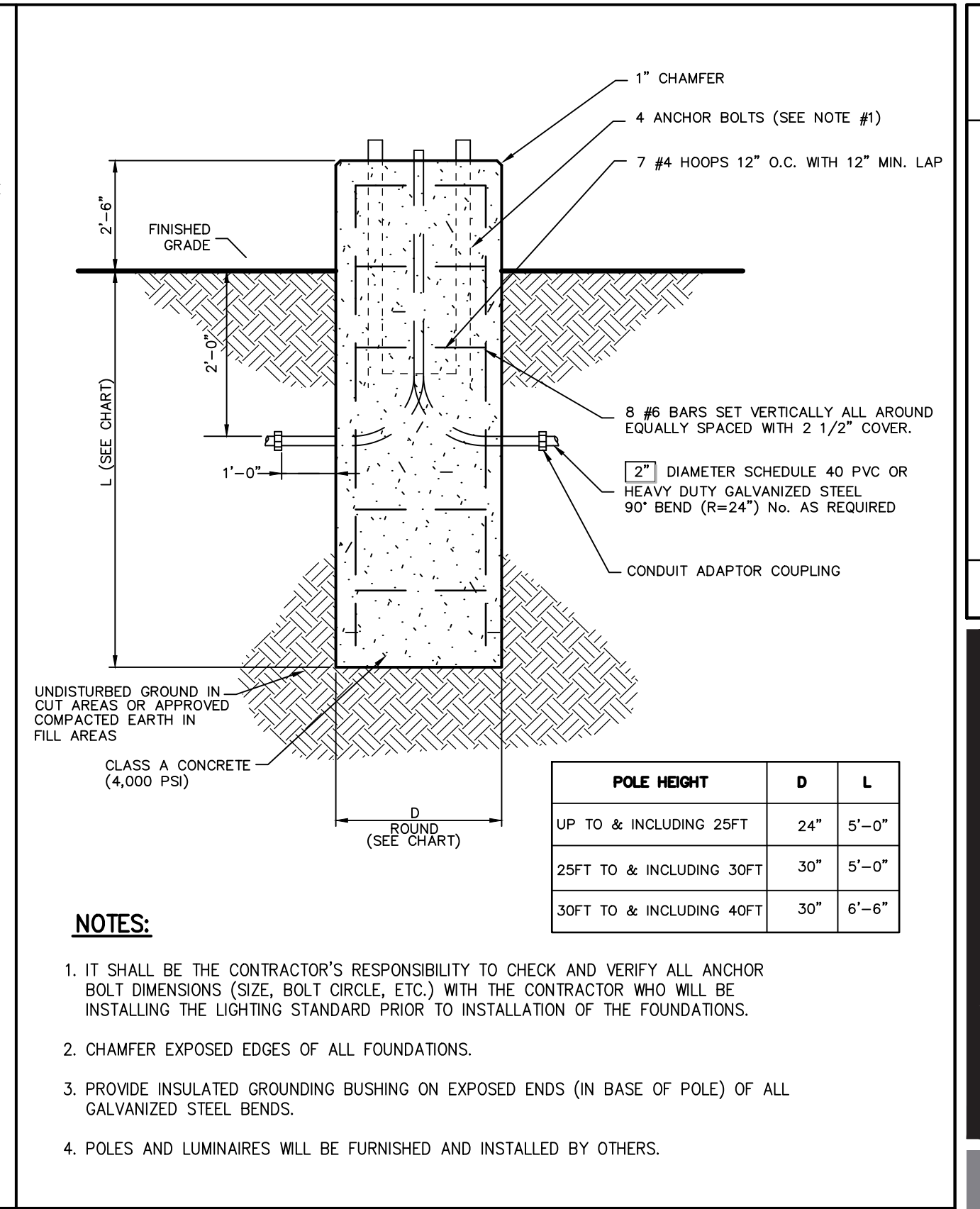
SHRUB PLANTING

29



GROUND COVER

30



LIGHTING STANDARD FOUNDATION
(ROUND)

31

PEMCO LIGHTING PRODUCTS
HERITAGE 1
RADIANT™ LED POST TOPS

Specifications and Features:

- Radiant™ LED
- Corrosion Resistant LED Light Engine
- 100% Dimmable (0-10V, DALI, 0-10V, 0-10V, 0-10V)
- 100% Dimmable (0-10V, DALI, 0-10V, 0-10V, 0-10V)

Model	Height	Beam Spread	Light Output (lm)
HT-100	100"	120°	10,000
HT-150	150"	120°	15,000
HT-200	200"	120°	20,000

32

PEMCO LIGHTING PRODUCTS
Cavalier 6
BOLLARD LIGHTING

Specifications and Features:

- Radiant™ LED
- Corrosion Resistant LED Light Engine
- 100% Dimmable (0-10V, DALI, 0-10V, 0-10V, 0-10V)
- 100% Dimmable (0-10V, DALI, 0-10V, 0-10V, 0-10V)

Model	Height	Beam Spread	Light Output (lm)
CB-60	60"	120°	6,000
CB-80	80"	120°	8,000
CB-100	100"	120°	10,000

33

PEMCO LIGHTING PRODUCTS
Crest 15
WALL PACK

Specifications and Features:

- Radiant™ LED
- Corrosion Resistant LED Light Engine
- 100% Dimmable (0-10V, DALI, 0-10V, 0-10V, 0-10V)
- 100% Dimmable (0-10V, DALI, 0-10V, 0-10V, 0-10V)

Model	Height	Beam Spread	Light Output (lm)
CR-15	15"	120°	15,000
CR-20	20"	120°	20,000
CR-25	25"	120°	25,000

34

PEMCO LIGHTING PRODUCTS
ENTERPRISE 30GAR
GARAGE LIGHTING

Specifications and Features:

- Radiant™ LED
- Corrosion Resistant LED Light Engine
- 100% Dimmable (0-10V, DALI, 0-10V, 0-10V, 0-10V)
- 100% Dimmable (0-10V, DALI, 0-10V, 0-10V, 0-10V)

Model	Height	Beam Spread	Light Output (lm)
EP-30	30"	120°	30,000
EP-40	40"	120°	40,000
EP-50	50"	120°	50,000

35

POST TOP LIGHT

BOLLARD WITH LIGHT

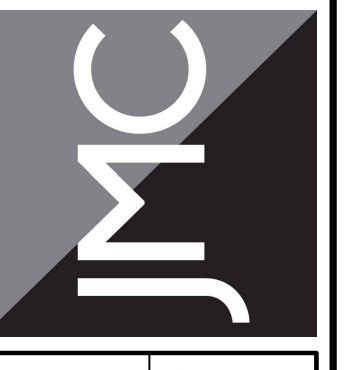
WALL MOUNTED LIGHT
(BUILDING)

CANOPY LIGHT

NOT FOR CONSTRUCTION

Revision	Date	Comments
1.	12/01/2023	REVISED PER BOARD OF TRUSTEES COMMENTS
2.	12/13/2023	LIGHTING REVISIONS
3.	01/31/2024	REVISED PER BOARD OF TRUSTEES COMMENTS
4.	03/22/2024	REVISED PER BOARD OF TRUSTEES COMMENTS

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1815-DETAILS C-904
Drawing No: C-904

Boost Charger 200

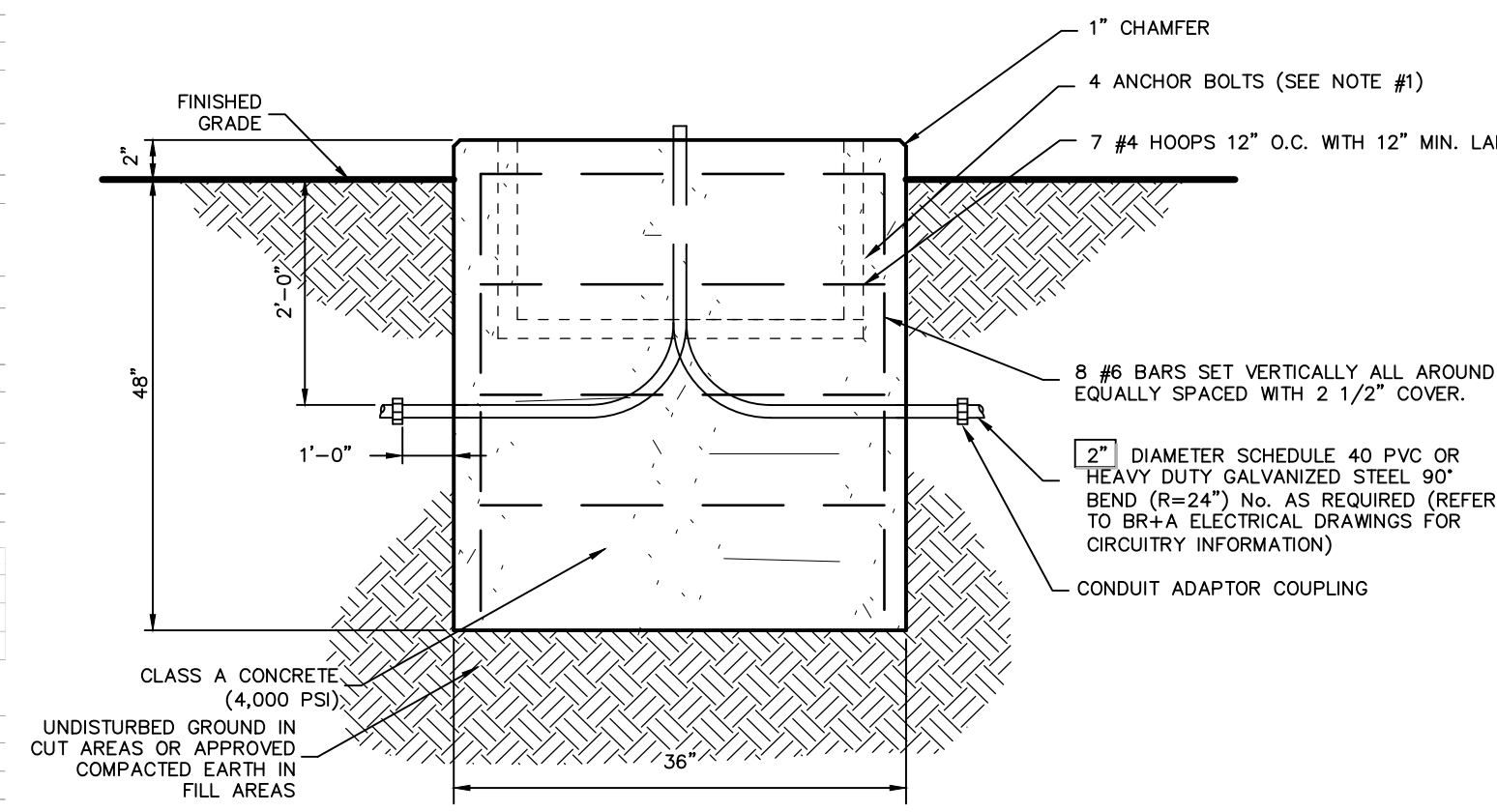
Ultrafast EV Charging with Integrated Energy Storage

The Boost Charger™ 200 is an ultrafast and flexible DC fast charger for electric vehicles (EVs). The battery-integrated design enables Boost Charger to easily connect to existing electrical infrastructure without costly construction and complex permitting. Boost Charger has a 160 kWh battery capacity with 200 kW output and only 27 kW or less input, making it ready for all EVs including light to heavy duty models.

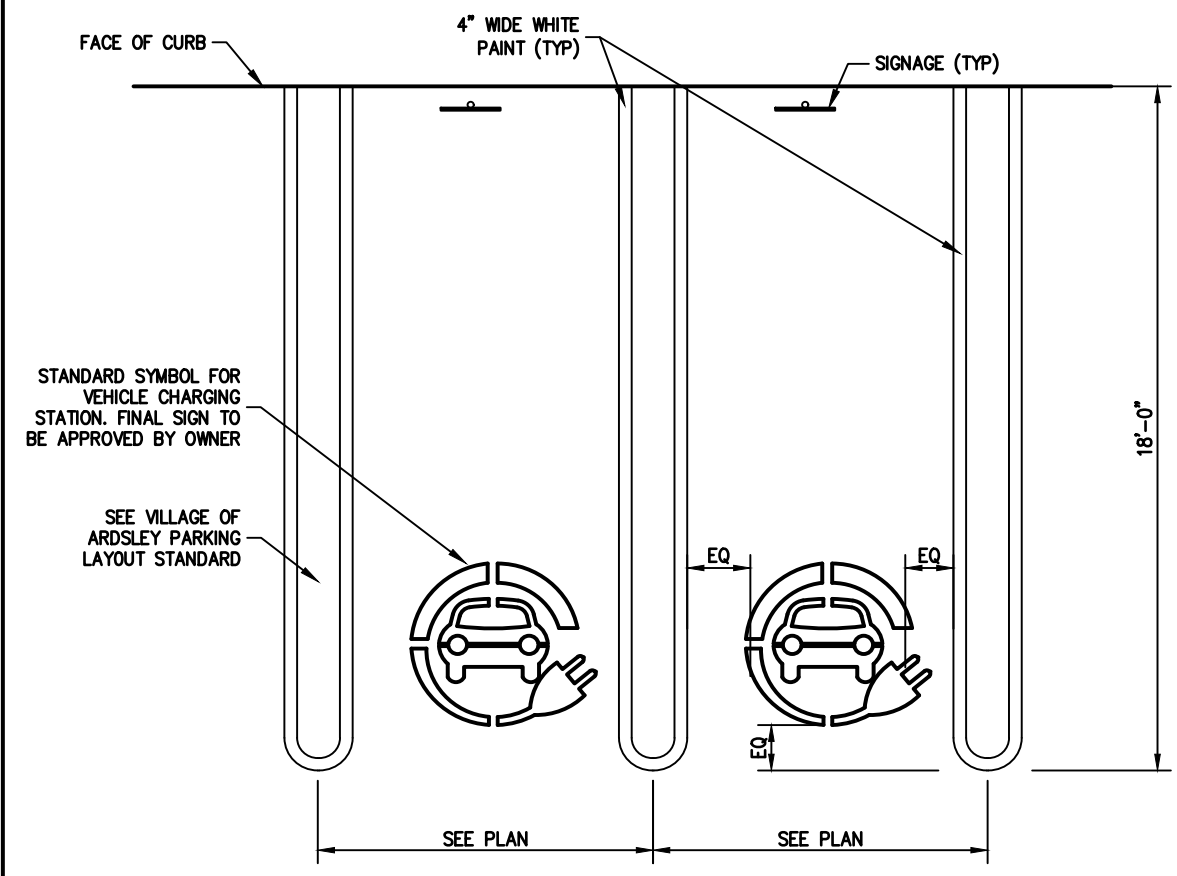


- HEAVY-DUTY Ultrafast Charging: adds up to 200 miles of range in 15 minutes. Dual Charging: provides simultaneous charging and customizable port configurations including CCS1/CCS2 and CHAdeMO. High Power: outputs up to 950 V for charging light to heavy-duty EVs. FLEXIBLE PLATFORM Plug & Play: battery-integrated design connects to the existing low-voltage grid, enabling cost efficient installation in hours. Small Footprint: space efficient design means no unsightly and expensive electrical infrastructure. Flexible Deployment: easy to relocate depending on charging demand and site. FUTURE-PROOF Smart & Connected: flexible management platform allows you to integrate charger with your business or any third party charging software. Lower Operating Costs: energy buffering technology limits input from the grid, reducing costly demand charges.

Technical specifications table for Boost Charger 200, including Energy Storage, Electrical Specifications (Output/Input), Mechanical Specifications, Environmental Specifications, and Network & User Interaction details.



- NOTES: 1. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CHECK AND VERIFY ALL BOLT DIMENSIONS (SIZE, BOLT CIRCLE, ETC.) WITH THE CONTRACTOR WHO WILL BE INSTALLING THE ELECTRICAL VEHICLE CHARGING STATIONS PRIOR TO INSTALLATION OF THE FOUNDATIONS. REFER TO BASE PLATE TEMPLATE ON THIS DRAWING FOR BOLT AND STUB UP LOCATIONS AND SIZES. 2. CHAMFER EXPOSED EDGES OF ALL FOUNDATIONS.



EV CHARGER & FOUNDATION

36

ELECTRIC VEHICLE PARKING STRIPING

37

AIR MACHINES

Table listing various Air Machine models (e.g., 8670-28GA, 8670-278GA) with columns for Model #, Air, Retractible Hose Reel, GAST Compressor, High Output Direct Air Compressor, Wall Mount, Coin Acceptor, and Amps Req.

- FEATURES: SSAC 110 volt non-accumulating timer, GAST 3/4 HP oil-less air compressor, Dimensions: 16.5"H x 12.5"D x 18.5"W, High security lock bar system, Cut resistant 25' x 1/4" wire braid service station quality air hose, Imonex mechanical coin acceptor takes quarters, Wall, pedestal mounted, Optional timers, coin mechs, cycle counters, and coin counters are available.



FREE AIR STATION

38

SUPER VAC WITH DIGITAL DISPLAY

Table listing Super Vac models (e.g., 9200-4, 9200-4W, 9200-4LD) with columns for Model #, Vacuum, Motors, GAST Output, Wall Mount, Filter Size, and Amps Req.

- FEATURES: Double service doors offer easy access to clean out compartment and 4 filter bag system, Digital display timer with built-in coin counter, Visible and audible last coin alarm, Imonex coin acceptor takes quarters, Coin box secured with pin locks, Facetplate secured with 2 Medeco cam locks.

PROGRAMMER

- 9200-30 Remote control programmer for digital display, 8 cz. DECALS: 9200-11 Yellow decals, 9200-12 Blue decals, 9200-13 Violet decals, 9200-14 Black decals (standard)



VACUUM STATION

39

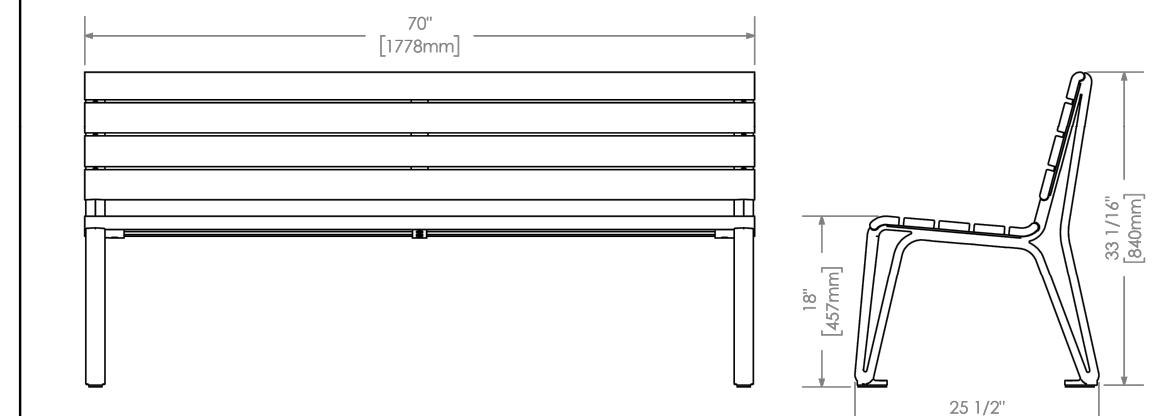
MBE-2300-00015



MATERIALS: The legs are aluminum castings. The boards are made from lpe wood. All brackets are made of steel.

INSTALLATION: The bench is delivered pre-assembled. The legs have 7/16" holes for anchoring.

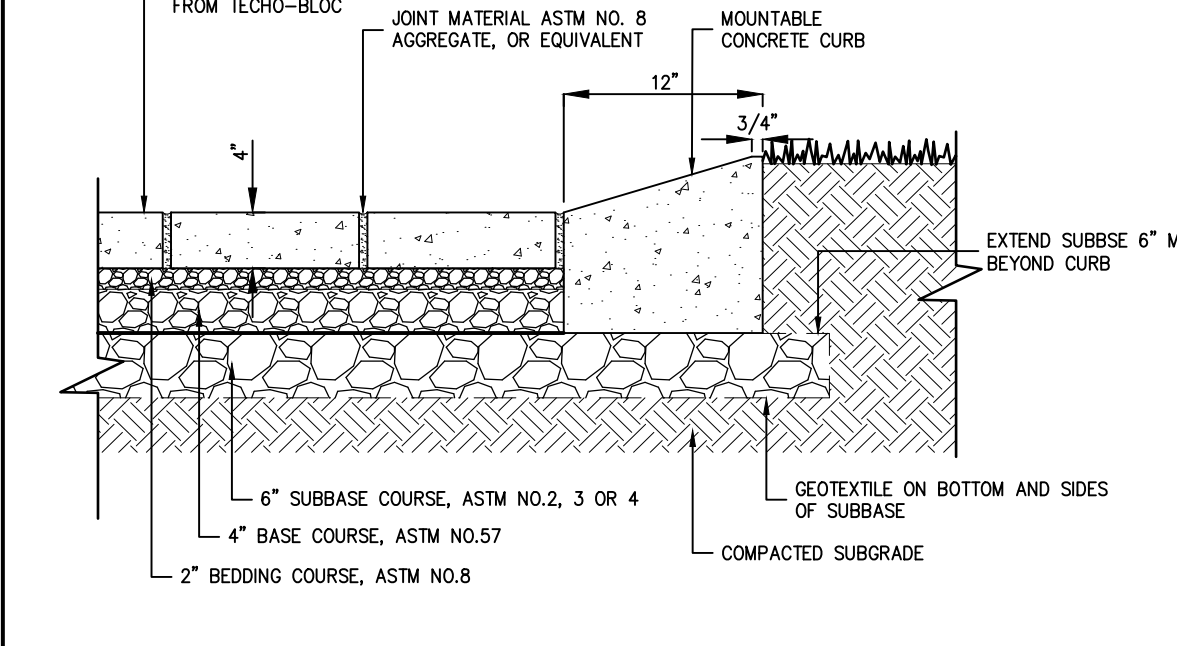
HEIGHT: 33 1/16" (84cm) LENGTH: 70" (177.8cm) DEPTH: 25 1/2" (64.7cm) WEIGHT: 115 lbs (52.1kg)



MAGLIN BACKED BENCH

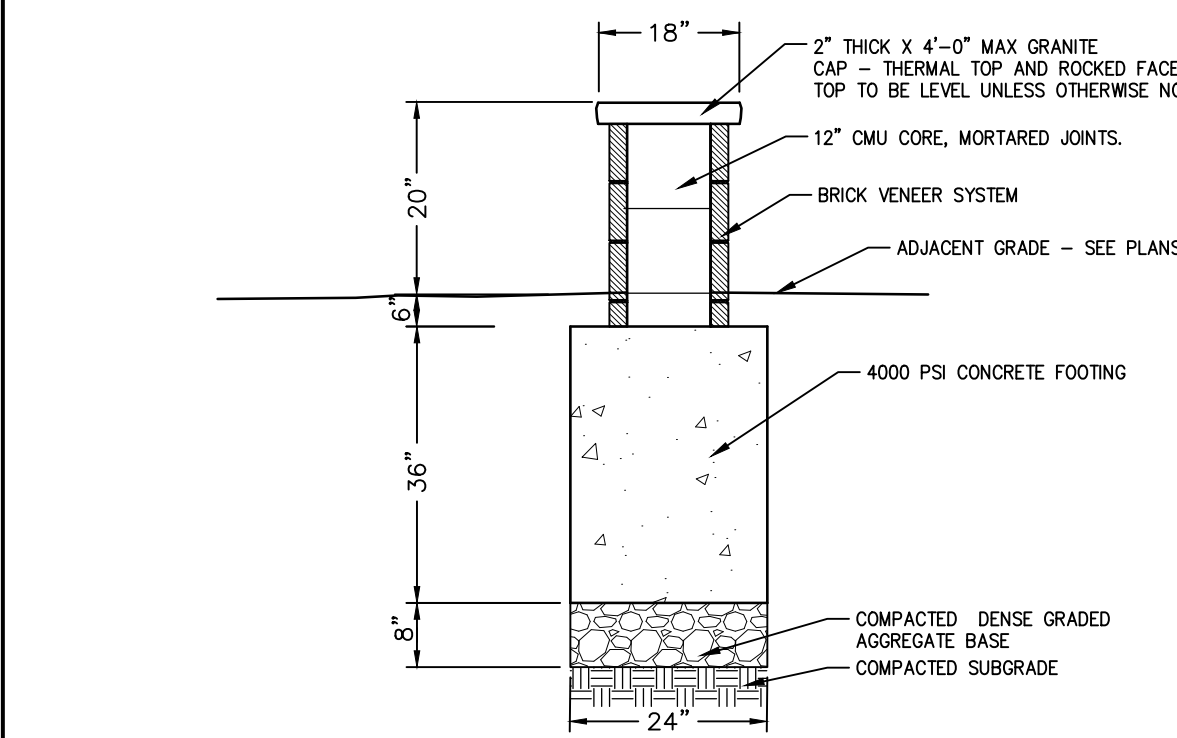
40

ICONIC



FLUSH MOUNT PAVER DETAIL

41



SEAT WALL DETAIL

42

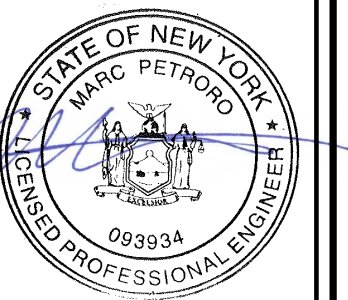
Revision table with columns for No., Description, and Date. Includes dates 12/01/2023, 01/31/2024, and 03/22/2024.

JMC Planning, Engineering, Landscape Architecture & Land Surveying, PLLC. John Meyer Consultants, Inc. 120 BEDFORD ROAD - ARMONK, NY 10504



SITE DETAILS GAS STATION / CONVENIENCE MARKET 657 SAW MILL RIVER ROAD VILLAGE OF ARDSLEY, NEW YORK

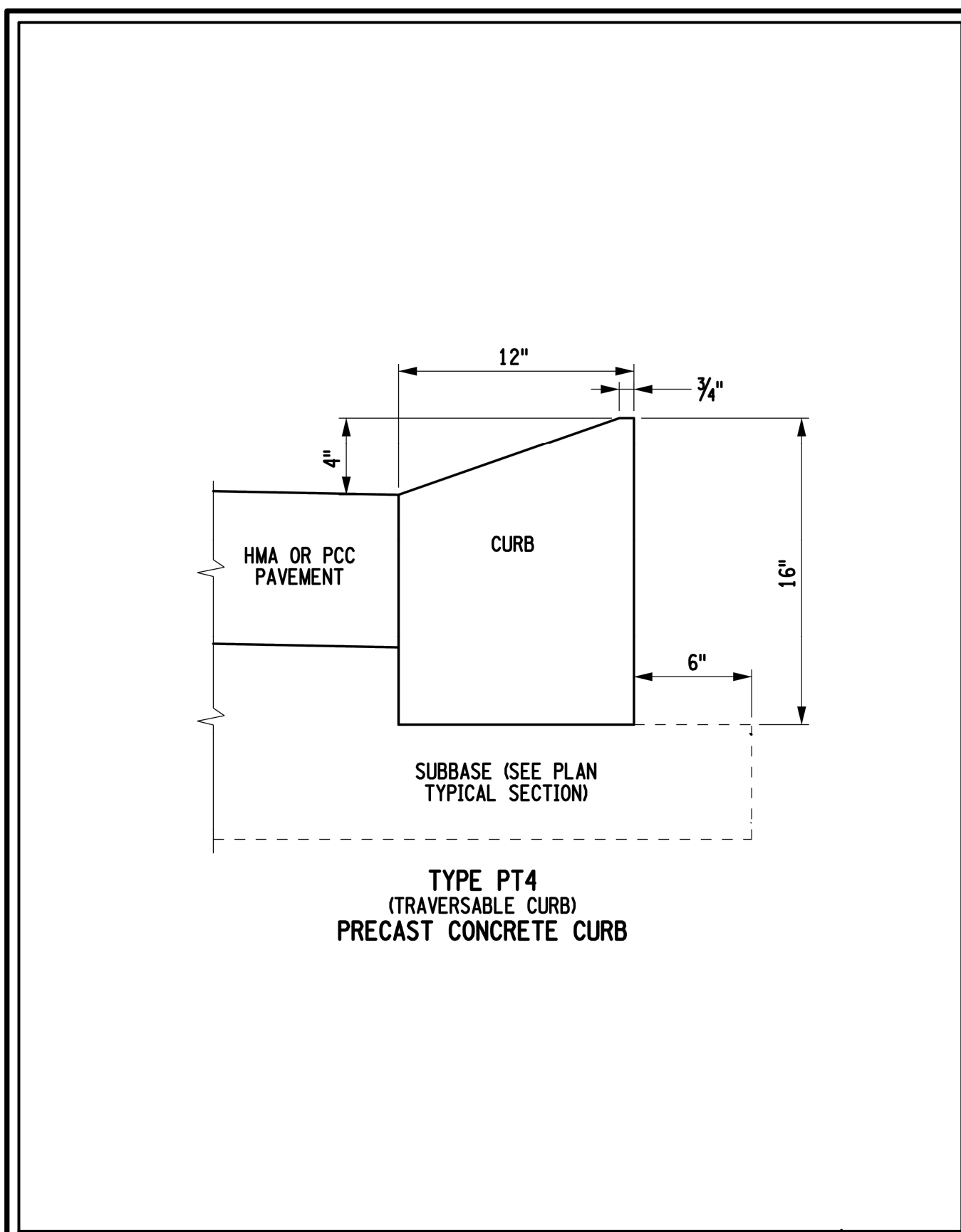
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Drawn: KRM Approved: RJP Scale: NOT TO SCALE Date: 05/26/2020 Project No: 18175 18175-DTMS C-905 Drawing No: C-905

NOT FOR CONSTRUCTION

NOT FOR CONSTRUCTION



NYSDOT STANDARD T4 MOUNTABLE CURB

43

X



MINI-CRETA 3" ARCHITECTURAL
DESCRIPTION: Wall double-sided TEXTURE: Split face with straight edged corners

PALLET OVERVIEW

Specifications per pallet	Imperial	Metric
Cubing	24 ft ³	2.23 m ³
Approx. Weight	95.01 lin. ft	28.96 lin. m
Minimum radius	2.465 lbs	1.118 kg
Number of rows	7 ft	2.1 m
Coverage per row	8	
Linear coverage per row	3 ft ²	0.28 m ²
	11.58 lin. ft	3.62 lin. m

Unit dimensions	in	mm	Units/pallet
Height	2 1/4"	75	32 units
Depth	9 1/4"	250	
Length 1	9 1/4"	250	
Length 2	7 1/4"	180	
Height	2 1/4"	75	24 units
Depth	9 1/4"	250	
Length 1	11 1/4"	300	
Length 2	9 1/4"	250	
Height	2 1/4"	75	8 units
Depth	9 1/4"	250	
Length 1	11 1/4"	300	
Length 2	11 1/4"	300	
Height	2 1/4"	75	16 units
Depth	9 1/4"	250	
Length 1	14 1/4"	375	
Length 2	12 1/4"	325	
Height	2 1/4"	75	16 units
Depth	9 1/4"	250	
Length 1	14 1/4"	375	8 right corners
Length 2	13 1/4"	350	8 left corners

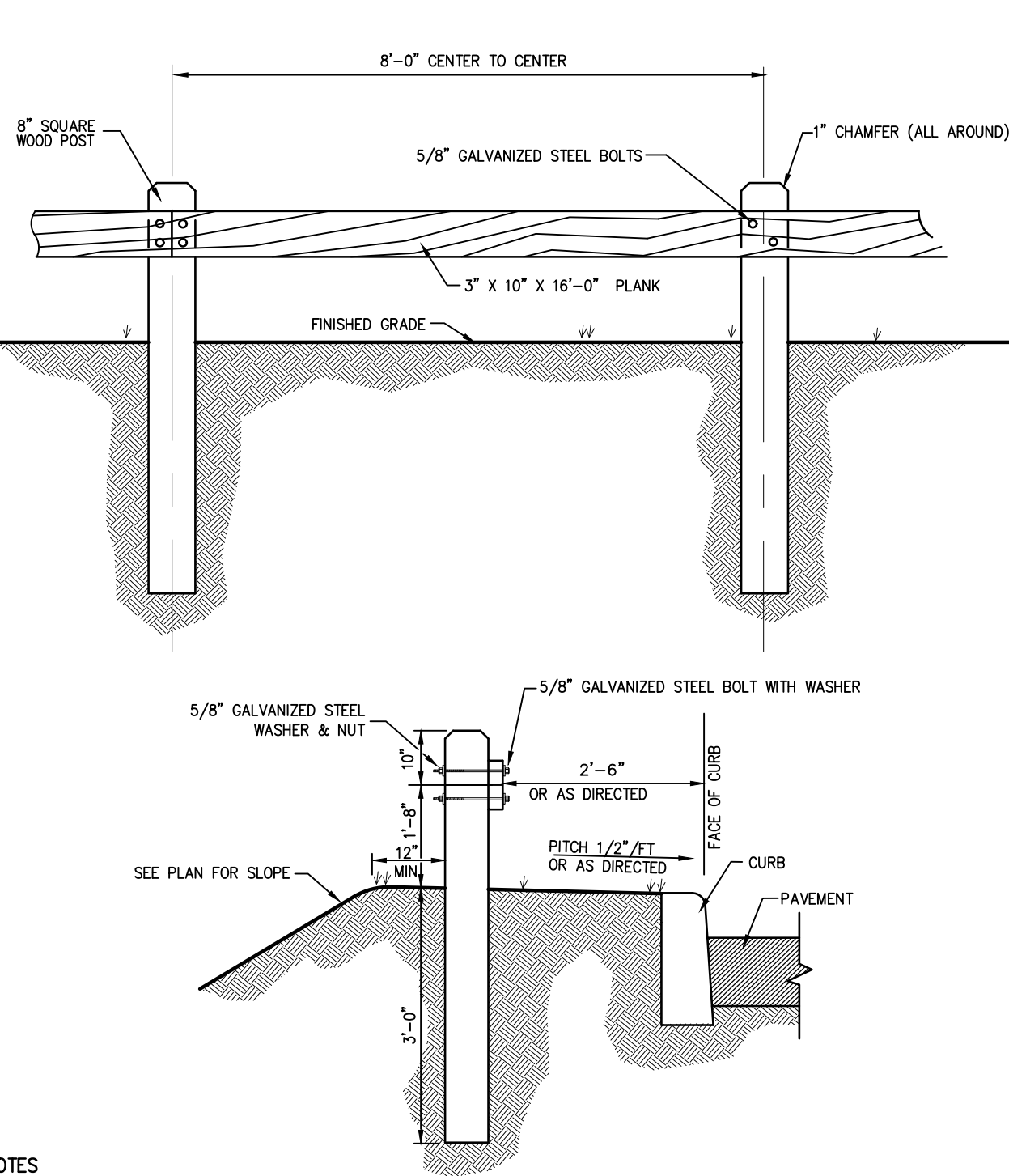
NOTES
When building a double-sided wall one pallet will cover an average of 31.76 ft².
Units can be used as a regular or vertical unit.
See page 135 to 156 for more technical information.

Color swatches: Colonial Brown, Colonial Tan, Sandstone, Charcoal Grey, Dark Grey, Oyster White

TECHO BLOC WALL

44

X



NOTES
1. ALL WOOD TO BE SEASONED NO.1 DOUGLAS FIR, SOUTHERN PINE OR OTHER APPROVED STRUCTURAL LUMBER.
2. GALVANIZED BOLT AND NUT TO BE 4000# MIN., 5400# MAX. TENSILE STRENGTH. AFTER GALVANIZING BOLT AND NUT, THE NUT SHALL BE FREE RUNNING ON THE BOLT.

WOOD GUIDE RAIL

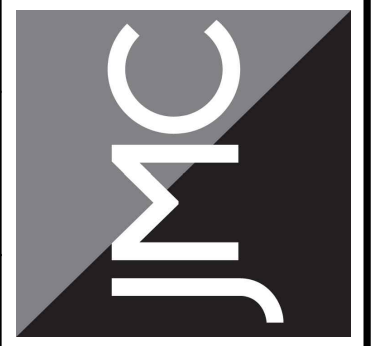
45

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No.	Revision	Date
1.	REVISED PER BOARD OF TRUSTEES COMMENTS	12/01/2023
2.	REVISED PER BOARD OF TRUSTEES COMMENTS	01/31/2024
3.	REVISED PER BOARD OF TRUSTEES COMMENTS	03/22/2024

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www.jmcpllc.com



DOT SITE DETAILS
GAS STATION / CONVENIENCE MARKET
657 SAW MILL RIVER ROAD
VILLAGE OF ARDSLEY, NEW YORK

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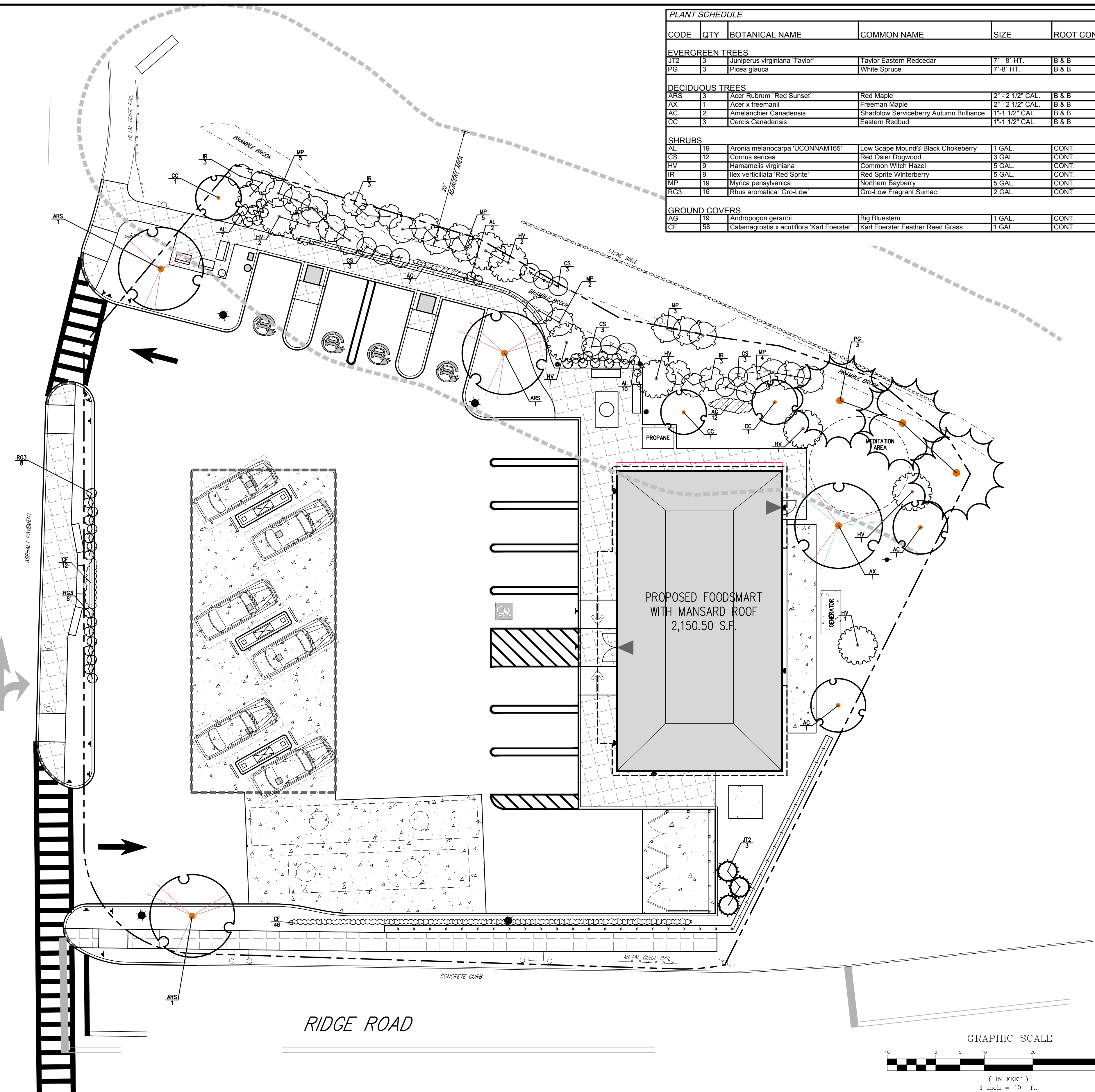
Drawn: KRM Approved: RJP
Scale: NOT TO SCALE
Date: 05/26/2020
Project No: 18175
18175-DETAILS C-906
Drawing No: C-906

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NOT FOR CONSTRUCTION

SAW MILL RIVER ROAD
(NY 9A)

ONLY

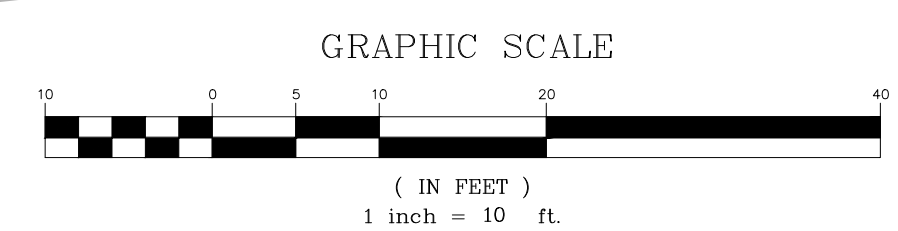


PLANT SCHEDULE						
CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT COND.	REMARKS
EVERGREEN TREES						
JT2	3	Juniperus virginiana 'Taylor'	Taylor Eastern Redcedar	7' - 8' HT.	B & B	
PG	3	Picea glauca	White Spruce	7' - 8' HT.	B & B	
DECIDUOUS TREES						
ARS	3	Acer Rubrum 'Red Sunset'	Red Maple	2" - 2 1/2" CAL.	B & B	
AX	1	Acer x freemanii	Freeman Maple	2" - 2 1/2" CAL.	B & B	
AC	2	Amelanchier Canadensis	Shadblow Serviceberry Autumn Brilliance	1" - 1 1/2" CAL.	B & B	
CC	3	Cercis Canadensis	Eastern Redbud	1" - 1 1/2" CAL.	B & B	
SHRUBS						
AL	19	Aronia melanocarpa 'UCONNAM185'	Low Scape Mound® Black Chokeberry	1 GAL.	CONT.	
CS	12	Cornus sericea	Red Osier Dogwood	3 GAL.	CONT.	
HV	9	Hamamelis virginiana	Common Witch Hazel	5 GAL.	CONT.	
IR	9	Ilex verticillata 'Red Sprite'	Red Sprite Winterberry	5 GAL.	CONT.	
MP	19	Myrica pensylvanica	Northern Bayberry	5 GAL.	CONT.	
RG3	16	Rhus aromatica 'Gro-Low'	Gro-Low Fragrant Sumac	2 GAL.	CONT.	
GROUND COVERS						
AG	19	Andropogon gerardii	Big Bluestem	1 GAL.	CONT.	
CF	58	Calamagrostis x acutiflora 'Karl Foerster'	Karl Foerster Feather Reed Grass	1 GAL.	CONT.	

LEGEND	
	EXISTING PROPERTY LINE
	ADJACENT PROPERTY LINE
	EXISTING SETBACK LINE
	EXISTING BUILDING OVERHANG
	EXISTING BUILDING EDGE
	EXISTING PAVEMENT EDGE
	EXISTING CURB LINE
	EXISTING STONE WALL
	EXISTING RETAINING WALL
	EXISTING GUIDE RAIL
	EXISTING TREE AND DESIGNATION
	EXISTING DIRECTIONAL ARROWS
	EXISTING PAINT
	EXISTING UTILITY POLE
	EXISTING LIGHT POLE
	EXISTING SIGN
	PROPOSED BUILDING LINE
	PROPOSED CONCRETE CURB
	PROPOSED ACCESSIBLE PARKING SPACES
	PROPOSED PARKING SPACES
	PROPOSED HEAVY DUTY PAVEMENT
	PROPOSED PERVIOUS PAVEMENT
	PROPOSED CONCRETE APRON
	PROPOSED RETAINING WALL (DESIGN BY OTHERS)
	PROPOSED SHADE TREE
	PROPOSED FLOWERING TREE
	PROPOSED CONIFEROUS TREE
	PROPOSED SHRUBS
	PROPOSED SHRUB MASSING

- NOTES:**
1. ALL PLANT MATERIAL SHALL BE FIRST QUALITY STOCK, PLANTED MATERIAL AND METHODS OF INSTALLATION SHALL CONFORM TO THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION, AMERICAN STANDARD FOR NURSERY STOCK, LATEST EDITION.
 2. ALL AREAS OF THE SITE NOT OCCUPIED BY BUILDING OR PAVEMENT AND NOT SPECIFIED AS BEING PLANTED WITH TREES, SHRUBS OR GROUND COVER SHALL BE LAWN.
 3. ALL PLANTING BEDS SHALL BE MULCHED WITH 3" OF BROWN MULCH. MULCH SHALL BE CLEAN, NON-DYED, TOXIC FREE, SHREDDED HARDWOOD.
 4. PLANT MATERIALS AS SPECIFIED ON THE DRAWINGS AND DELIVERED TO THE SITE SHALL BE NURSERY GROWN AND CERTIFIED TRUE TO THEIR GENUS, SPECIES AND VARIETY. SUBSTITUTIONS ARE NOT PERMITTED WITHOUT THE PROJECT LANDSCAPE ARCHITECT'S WRITTEN APPROVAL.
 5. ALL LANDSCAPING SHALL CONTINUE TO BE MAINTAINED IN A HEALTHY GROWING CONDITION THROUGHOUT THE DURATION OF THE PROJECT. ANY PLANTING NOT SO MAINTAINED SHALL BE REPLACED WITH NEW PLANTS AT THE BEGINNING OF THE NEXT, IMMEDIATELY FOLLOWING, GROWING SEASON.
 6. ALL TREES AND SHRUBS SHALL BE PRUNED AND SHAPED AND BE SUBJECT TO THE APPROVAL OF THE PROJECT LANDSCAPE ARCHITECT AND GOVERNMENTAL AUTHORITIES HAVING JURISDICTION.
 7. PLANTING STOCK SHALL BE WELL-BRANCHED AND WELL-FORMED, SOUND, VIGOROUS, HEALTHY, FREE FROM DISEASE, SUN-SCALE, WINDBURN, ABRASION, AND HARMFUL INSECTS OR INSECT EGGS; AND SHALL HAVE HEALTHY, NORMAL UNBROKEN ROOT SYSTEMS. DECIDUOUS TREES AND SHRUBS SHALL BE SYMMETRICALLY DEVELOPED, OF UNIFORM HABIT OF GROWTH, WITH STRAIGHT TRUNKS OR STEMS, AND FREE FROM OBJECTIONABLE DISFIGUREMENTS. EVERGREEN TREES AND SHRUBS SHALL HAVE WELL-DEVELOPED SYMMETRICAL TOPS WITH TYPICAL SPREAD OF BRANCHES FOR EACH PARTICULAR SPECIES OR VARIETY. ONLY LINES AND GROUND COVER PLANTS WELL ESTABLISHED IN REMOVAL CONTAINERS, INTEGRAL CONTAINERS, OR FORMED HOMOGENEOUS SOIL SECTIONS SHALL BE USED. PLANTS SHALL BE GROWN UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT.
 8. ALL STOCK SHALL BE BALLED AND BURLAPPED OR CONTAINER GROWN STOCK, UNLESS OTHERWISE SPECIFIED. BAREROOT STOCK OF ANY KIND IS UNACCEPTABLE UNLESS SPECIFIED.
 9. ALL PLANTING BEDS, LAWNS AND LANDSCAPED AREAS SHALL RECEIVE A MINIMUM 4" THICK LAYER OF TOPSOIL, UNLESS OTHERWISE SPECIFIED.

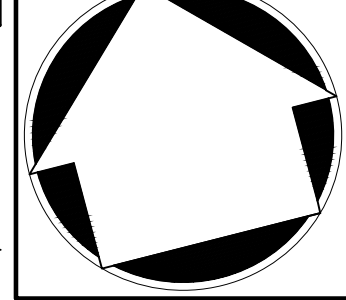
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No.	Revision	Date	By
1.	PLANNING BOARD & BAR SUBMISSION	03/30/2021	MTP
2.	RESPOND TO VILLAGE COMMENTS	12/01/2021	SPG
3.	REVISED PER TOWN COMMENTS	01/13/2022	CDF
4.	REVISED PER BOARD OF TRUSTEES COMMENTS	12/01/2023	SMN
5.	LIGHTING REVISIONS	12/13/2022	DK
6.	REVISED PER BOARD OF TRUSTEES COMMENTS	01/31/2024	RB
7.	REVISED PER BOARD OF TRUSTEES COMMENTS	03/22/2024	RB

APPLICANT/OWNER
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25 SAINT CHARLES STREET
THORNWOOD, NY 10594

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LANDSCAPING PLAN
GAS STATION / CONVENIENCE MARKET
657 SAW MILL RIVER ROAD
VILLAGE OF ARDSLEY, NEW YORK



Drawn: KRM Approved: RJP
Scale: 1" = 10'
Date: 06/26/2020
Project No: 18175
1875-LND L-100-LND LAY.sxd
Drawing No:
L-100
Previous Editions Obsolete



MINUTES

Ardsey Village Board of Trustees

8:00 PM - Monday, March 18, 2024
507 Ashford Avenue & Zoom Platform

Present: Mayor Nancy Kaboolian
Deputy Mayor/Trustee Steve Edelstein
Trustee Andy Di Justo
Trustee Barry McGoey
Village Manager Joseph L. Cerretani
Village Clerk Ann Marie Rocco
Village Attorney David E. Venditti
Absent: Trustee Sheila Narayanan

1. CALL TO ORDER-PLEDGE OF ALLIGIANCE-ROLL CALL

- 1.1 The Regular Meeting of the Village of Ardsley Board of Trustees was held on Monday, March 18, 2024 at Village Hall, Court Facility, 507 Ashford Avenue, Ardsley, NY 10502. Mayor Kaboolian called to order the Regular Meeting at 8:01 p.m.

Members Present:

Mayor Nancy Kaboolian
Deputy Mayor/Trustee Steve Edelstein
Trustee Andy DiJusto
Trustee Barry McGoey

Trustee Sheila Narayanan was absent.

Also present were: Village Manager, Joseph Cerretani, Interim Village Attorney, David E. Venditti and Village Clerk, Ann Marie Rocco

2. PRESENTATION FROM HIGH SCHOOL Presentation from the Ardsley High School French Class

- 2.1 Ardsley High School French Teacher Ms. Elsa Douineau introduced the students that would be presenting to the Board.

The Ardsley High School French Class shared their ideas for Ardsley

After studying cities in the French speaking world, they decided to reflect on Ardsley and they shared a few ideas that were discussed.

1. A music festival- They would like to improve on last year's small scale festival by:
 - Improved marketing
 - Great versatility
 - More artist outreach
 - Involve local businesses
2. An International Food Festival:
 - Business opportunity for restaurants.
 - Representation for many families and celebrating diversity.
 - A fun and exciting day for the community.
 - Trying different foods from various cultures.
 - France has a rich food culture with many international influences.
3. Revival of Community Center
 - Over the years the Ardsley Community Center has declined.
 - A new revival could be used to be a center of gathering for large amounts of people.
 - Food drives and clothing donations could take place.
 - Public meetings and after school help could be organized here.
- Bring the Ardsley Community together.
4. Bike Paths
 - Can provide an alternate method of transportation
 - Encouraging biking through dedicated paths promotes physical activity and safety by keeping bikers off the roads.
 - Alleviates traffic congestion
 - Biking produces zero emissions which can continue to the overall air quality.
5. A Public Garden
 - A public garden would look beautiful in the town of Ardsley. People would be able to walk through the garden and look at all the plants. In addition, people could plant their own plants or vegetables.

6. Opening a Cafe'

- Our cafe's do not have nice places to sit and have your food or drink while doing work or talking with your friends and family.
 - Cafe's in France allow people to sit and have their drink or food in more of a restaurant setting.
 - People in most countries are not use to walking around with coffee or food.
- Having a cafe' like this allows people to slow down and live a less busy/rushed like.

7. More stores:

- A boutique clothing store would provide jobs, entertainment and convenience to our town.
- Many kids and teens enjoy shopping. A store would provide kids with an activity, and a place to hang out.
- The closest clothing stores are in the surrounding towns, so having one nearby would be more convenient in saving time.
- It would open up job opportunities for adults, and high schoolers that want tot make money.

8. More Trash Cans

- From time to time there is litter in the streets of Ardsley because there aren't many trash cans and recycling binds. Trash cans and recycling bins can be kept outside stores in Ardsley.

9. Timely School Buss Services

- Although, there is a bus driver shortage there should be no excuse why the school bus inevitably comes late on Fridays. By the time students get on the bus, school has already started. This bus inconvenience in Ardsley poses as a serious problem that harms student learning.

10. Major Problem-Fitness is currently a major problem in the United States.

Gyms and other forms of exercise are expensive and may not be accessible to everyone.

- Propose incorporating fitness equipment and paths into the Pascone Park.

Mayor Kaboolian thanked the students for their presentation and hopes they continue to formulate these ideas that have been presented.

3. APPROVAL OF MINUTES:

3.1 March 4, 2024 Board of Trustees Regular Meeting Minutes

Moved by Trustee DiJusto, Seconded by Trustee McGoey and passed unanimously.

RESOLVED, that the Village Board of the Village of Ardsley hereby approves the minutes of the Reorganization Meeting of Monday, March 4, 2024 as submitted.

Carried by the following votes: 4-0-0

Ayes: Mayor Kaboolian, Trustee DiJusto, Trustee McGoey, & Trustee Edelstein

Nays: None

Abstained: None

4. DEPARTMENT REPORTS

1. LEGAL

- 1.a Interim Village Attorney, David E. Venditti stated that he is working on some continual infrastructure projects and is available for executive session if needed.

2. MANAGER

- 2.a Village Manager, Joseph L. Cerretani read the following report:

1. **NEW DPW CONSTRUCTION PROJECT:** ConEdison has inspected, approved and has energized the electrical service and we are now fully operational on the new permanent transformer on site. We are scheduling the final inspections for the gas service that will bring the facility online and anticipate completion by the end of the month. This will allow us to get the heat working, which will then allow the other services such as water to come on line. The finishing work will commence as soon as heat is turned on. Fueling station work began last week, and we anticipate that will be completed by the end of the month as well. Landscaping and top dressing of all grass areas on the site will begin in April. Due to the delay in finalizing the permanent electrical service, we're now anticipating completion for the project by the end of May.
2. **TREE CITY USA DESIGNATION:** The Village of Ardsley has received Tree City USA Designation from the Arbor Day Foundation for a second consecutive year. By earning the Tree City USA designation, The Village of Ardsley has demonstrated a commitment to maintaining and expanding its urban forestry program. The Village's efforts in preserving and nurturing the Village's trees contribute not only to the aesthetic appeal of the community, but also to the overall well-being of its residents. The Tree City USA designation serves as a reminder of the positive difference a community can make in

fostering a greener, healthier, and more vibrant environment.

3. **FOOD SCRAP COLLECTION FEASIBILITY STUDY GRANT:** In a collaborative effort to advance sustainability in our communities, the Villages of Ardsley, Hastings-on-Hudson, Dobbs Ferry, Irvington, Elmsford, Tarrytown and Sleepy Hollow have received a joint grant in the amount of \$25,000 for a feasibility study of food scrap collection by the Hudson River Valley Greenway. We are all looking forward to conducting this study and advancing our sustainability efforts. As a reminder, complete compost storage kits (kitchen counter caddie, roll of plant-based liner bags, and a larger locking bulk transporter) are available to Village of Ardsley Residents only for \$20 in Village Hall, 507 Ashford Avenue.
4. **VILLAGE MANAGER'S TENTATIVE BUDGET:** The Tentative Budget will be distributed to the Village Board, filed with the Village Clerk, and will be posted on the Village website by Wednesday this week. We have Budget Work Sessions scheduled beginning April 1, and the Budget Public Hearing will be held on Monday, April 15. Please check the Village website for dates, times and locations of Budget Work Sessions. I wish to extend thanks to all Department Heads and staff in their work during the budget preparation process, with Special Thanks to Leslie Tillotson for her assistance.
5. **VILLAGE OFFICE CLOSURES:** Village Offices, including the Justice Court, Library, Community Center & Department of Public Works will be CLOSED on Friday, March 29, 2024, in observance of Good Friday.

Recycle & Refuse Collections is as follows:

- WEDNESDAY, MARCH 27, 2024-COLLECTION OF ALL RECYCLABLES.
- THURSDAY, MARCH 28, 2024-THERE WILL BE REFUSE & YARD WASTE COLLECTION FOR THE ENTIRE VILLAGE.
- FRIDAY, MARCH 29, 2024 -NO REFUSE COLLECTION.

3. ABSTRACT REPORT

- 3.a Village Manager, Joseph Cerretani read the March 18, 2024 Abstract Report as follows: From the General Fund:\$250,941.22 from the Trust & Agency Fund:\$5,481.00 and from the Capital Fund: \$327,694.99 Sewer Fund: \$1,398.74.

Moved by Trustee McGoey, Seconded by Trustee DiJusto and passed unanimously.

RESOLVED, that the Village Board of the Village of Ardsley hereby authorizes the Village Treasurer to make the following payments: From the General Fund: \$250,941.22 from the Trust & Agency Fund:\$5,481.00 from the Capital Fund:\$327,694.99 and Sewer Fund:\$1,398.74

Carried by the following votes: 4-0-0

Ayes: Mayor Kaboolian, Trustee DiJusto, Trustee McGoey, & Trustee Edelstein

Nays: None

Abstained: None

4. POLICE

4.a February 2024 Police Department Report

Lt. Watson read the following February 2024 Police Department Report:

Property lost or stolen -\$700.41
Property Recovered---- \$191.66
Court fines and fees --- \$36,727.00
Alarm fines and fees--- \$590.00
Traffic Accidents-----12
Arrests-----6
Calls for service-----255
Investigations-----11
Impounded vehicles-----7
UTT summonses issued---- 55
Parking summonses issued----151
Appearance tickets issued--2
Total summonses issued----208

February Events 2024

Training Total training for the month of February 2024
16 hours which consisted of training in RMS and evidence room training.

Community Policing (CPO)

Officer Abbott attended the following events:

- Westchester County Youth Association Meeting to discuss the Summers Youth Academy
- Senior Citizens Meeting-Doctor's United presentation
- Walk around Village to meet the business owner's and collect updated contract information (met twice with Deputy Mayor Edelstein)
- Greenburgh Youth Court-Juvenile case hearing (met three times)
- Ardsley Middle School lock down drill
- World read aloud day at Concord Elementary School 2nd Grade
- Concord Road Sweetheart Dance
- Ardsley High School emergency Management meeting
- Multicultural Committee monthly meeting

- Senior Citizens Valentine's Day luncheon
- Meeting at Pace College for Youth Academy Prep
- Supervisor of community service hours Greenburgh Youth Court
- Concord Road BLERT -Parent Reunification and Emergency Management meeting
- Village meeting in regards to Ramadan preparation
- Ardsley Middle School Ramadan decoration meeting
- Installed 5 car seats

For monthly statistics, please see attached February Events 2024

[February 2024 Police Reports Blotter Press & Statistics Report](#)

5. FIRE

5.a Mayor Kaboolian accepted the January/February 2024 Fire Department report under submission.

- 36 calls for January
- 27 calls for February
- Department held weekly training drills monthly.
- Department members assigned to county Haz-mat team attended various monthly drills.
- January 13 Chief Knoesel in quarters for annual gear inspection and repair.
- January 23 Chiefs in quarters to host Westchester Parade Judges meeting.
- January 24 Chiefs in quarters for monthly battalion 14 meeting and Con Edison presentation.
- January 29 Chief Knoesel met with Fire Marshal Murray regarding inspections.
- February 7 Chief Knoesel and Chief Podolski met with Village for preliminary budget meeting.
- February 8 Members completed annual physicals at Partners in Safety.
- February 15 Members completed annual CPR/First Aid/ Stop the Bleed Training
- February 27 D/C Coulehan attended Sound Shore Chiefs meeting in West Harrison
- February 28 Chiefs Knoesel and Lindsay attended monthly Battalion 14 meeting in Dobbs Ferry.

Training Officers Report -January 2024

January 4th -Performed SCBA maintenance, gear inspections and calibrated all meters. Training hours 38.00, 19 members present.

January 11th -Members trained on how don and doff PPE quickly and efficiently.

Training hours 38.00, 19 members present.

January 18th-Monthly Drill members conducted maintenance of rigs and tool as well as the fire house. Training hours 47.50, 19 Members present.

January 24th Hosted battalion Con Edison gas and electric training. Training hours 77.00, 22 members present.

New York State Classes
Training Hours 115, 79 Members Present
Online Training McNeil & Company e-learning:
Training: 115 hours
Inspections: 00.00 hours
Maintenance: 85.05 hours
New York State: 00.00 hours
Online Training McNeil & Co. e-learning 0.00
Total: 200.05 hours

Training Officers Report-February 2024

February 1 Members performed a breath down and cleaned all apparatus, Training 81.00, 27 members present

February 8 No Drill

February 15 Monthly drill -members performed CPR and stop the bleed training. Training hours 57.50, 23 members present

February 22 Members trained on and reviewed tools and equipment, training hours 57.50, 23 members present

February 29 No Drill

New York State Classes:
Training Hours 196.00 73 Members Present

Training: 196.00
Inspection: 0.00
Maintenance: 0.00
New York State: 0.00
Online Training McNeil & Company E-Learning: 0.00 hours
Total 196.00

6. BUILDING

- 6.a Mayor Kaboolian accepted the February 2024 Building Department report under submission.

February 2024 Building Department Report

11 Building permits
4 Application fees
5 Certificates of Occupancy
9 Plumbing permits
11 Electrical permits
2 Title Search & Compliance Letter
1 Miscellaneous
Total received - \$11,398.50

Other activities:

58 Building inspections
3 Zoning inspections
1 Fire Inspections
1 Violations
2 Warnings
0 Appearance Tickets

7. MAYOR'S ANNOUNCEMENTS

- 7.a Mayor Kaboolian announced the following:
- Attended a roundtable discussion for the Harris Project which is an organization that was founded by an Ardsley community member which focuses on drug abuse and mental illness with young adults.
 - Attended the Ramadan celebration on March 8th.
 - Attended the Spring Gardening Festival.
 - Met with the High School Environmental club.
 - Attended the Senior St. Patrick's Luncheon.
 - Attended a press conference with the Village Manager and Trustee Edelstein where Congressman Jamaal Bowman presented us with a check in the amount of \$977,827.00. This money will help revitalize our downtown area.

8. COMMITTEE & BOARD REPORTS

- 8.a
- Trustee DiJusto had nothing to report.
 - Trustee McGoey had nothing to report.
 - Trustee Edelstein had nothing to report.

5. OLD BUSINESS:

6. NEW BUSINESS:

6.1 Consider a Resolution Appointing Police Officer Daniel Seda

Moved by Trustee Edelstein, Seconded by Trustee DiJusto and passed unanimously.

RESOLVED, that the Village Board of the Village of Ardsley hereby appoints Daniel Seda to the position of Police Officer Fourth Grade, contingent upon successfully meeting all Civil Service requirements at the annual salary of \$81,807.00, effective March 19, 2024; and

BE IT FURTHER RESOLVED, that in accordance with the civil service rules and regulations of the Westchester County Department of Human Resources such appointment is subject to a probationary period of not less than 12 weeks and no more than 52 weeks.

Carried by the following votes: 4-0-0

Ayes: Mayor Kaboolian, Trustee DiJusto, Trustee McGoey, & Trustee Edelstein

Nays: None

Abstained: None

6.2 Consider a Resolution to Approve the Placing of the Little League Sponsorship Banners/Signs at McDowell Park Ballfields

Moved by Trustee DiJusto, Seconded by Trustee McGoey and passed unanimously.

RESOLVED, that the Village Board of the Village of Ardsley hereby approves the placement of Little League Sponsorship Banners / Signs starting April 1, 2024 through October 31, 2024 on the outfield fences at the McDowell Park ballfields. These signs will be subject to prior approval from the Village Manager in writing and the Village reserves the right to remove the signs at any time.

Carried by the following votes: 4-0-0

Ayes: Mayor Kaboolian, Trustee DiJusto, Trustee McGoey, & Trustee Edelstein

Nays: None

Abstained: None

7. CORRESPONDENCE

8. VISITORS

9. CALL FOR EXECUTIVE SESSION-LEGAL ADVICE

10. ADJOURNMENT OF MEETING

10.1 Adjournment

Moved by Trustee McGoey, Seconded by Trustee DiJusto and passed unanimously.

RESOLVED, that the Village Board of the Village of Ardsley Hereby adjourns the regular meeting of Monday March 18, 2024 at 9:13 p.m. to enter into Executive Session for Legal Advice and shall not return.

Carried by the following votes: 4-0-0

Ayes: Mayor Kaboolian, Trustee DiJusto, Trustee McGoey, & Trustee Edelstein

Nays: None

Abstained: None

11. UPCOMING EVENTS

- March 20th Senior Citizen Event-Lunch at Saw Mill Tavern 12:00 pm
- March 22nd World Water Day
- March 27th Senior Citizen Group Event-Ardsley Police Fraud & Scam Prevention Presentation 12:00
- March 28th Asian Movie Series-HERO 5:30 pm
- March 29th Good Friday-ALL VILLAGE OFFICES CLOSED
- March 30th Manga Club 1:00 pm
- March 30th Easter Egg Hunt 1:00 pm

12. UPCOMING MEETINGS

- March 19th Board of Architectural Review Meeting 8:00 pm
- March 21st Library Board Meeting 7:30 pm
- March 27th Zoning Board Meeting 8:00 pm

13. UPCOMING BOARD MEETINGS

- March 25th Board of Trustees Work Session 7:30 pm
- April 1st Board of Trustees Regular Meeting 8:00 pm

Village Clerk, Ann Marie Rocco

Date:

BLOTTER ACTIVITY REPORT
 By Time of Day
 FOR DATE RANGE OF 02/01/2024 TO 02/29/2024

Call Type	Invalid Time	0001-0200	0201-0400	0401-0600	0601-0800	0801-1000	1001-1200	1201-1400	1401-1600	1601-1800	1801-2000	2001-2200	2201-2400	TOTALS
ADMINISTRATIVE	0	0	0	0	0	1	4	0	2	4	1	0	0	12
AIDED	0	1	0	0	0	0	0	1	0	0	3	0	1	6
ALARM - FALSE	0	2	2	2	2	2	0	2	2	3	1	1	0	19
ABANDANCE	0	1	2	3	5	10	6	6	8	4	7	3	2	57
ANIMAL COMPLAINT	0	0	0	0	1	0	1	1	0	0	0	1	0	4
AUTO ACCIDENT	0	0	1	0	2	2	1	0	2	0	1	0	1	10
AUTO ACCIDENT - INJURY	0	0	0	0	0	1	0	0	0	1	0	0	0	2
BUILDING SECURITY	0	2	1	0	0	0	0	1	0	0	0	0	0	4
CHILD SEAT INSTALLATION	0	0	0	0	0	0	5	0	0	0	0	0	0	5
CIVIL MATTER	0	0	0	0	0	0	0	2	0	0	0	1	0	3
COURT MATTER	0	0	0	0	0	0	0	1	1	0	0	0	0	2
DISPUTE	0	0	0	0	0	0	0	0	0	0	0	0	1	1
DOG COMPLAINT	0	0	0	0	0	0	0	2	0	0	0	0	0	2
FINGER PRINTING	0	0	0	0	0	1	1	1	0	0	0	0	0	3
FIRE RESPONSE	0	0	0	0	0	2	1	2	1	1	2	0	0	9
FOA	0	0	1	0	0	0	0	1	1	0	1	1	0	5
GENERAL INFORMATION	0	0	0	0	0	1	0	0	0	0	0	0	0	1
HANDICAPPED PERMIT	0	0	0	0	0	0	4	5	1	0	0	0	0	10
HOT LINE	0	2	1	1	0	0	0	0	1	2	1	0	0	8
IMPOUNDS	0	0	0	0	0	0	0	1	0	1	0	1	0	3
JUVENILE ACTIVITY	0	0	0	0	0	0	0	0	0	0	0	0	1	1
LARCENY - GRAND	0	0	0	0	0	0	0	0	0	0	0	0	0	1
LARCENY - PETTY	0	0	0	0	0	1	1	1	1	0	0	0	0	4
ACTUAL AID	0	0	0	0	0	0	1	0	0	0	1	0	0	2
PARKING COMPLAINT	0	0	0	0	0	3	2	1	0	0	2	0	0	8
PERSONNEL	0	0	0	0	0	1	2	2	0	1	4	5	2	17
POLICE INFORMATION	0	0	0	0	0	0	0	0	1	0	0	0	0	1
PROPERTY - RECOVERED	0	0	0	0	0	0	1	0	0	0	0	0	0	1
PROPERTY DAMAGE	0	0	0	0	0	0	1	0	0	0	0	0	0	1
PROPERTY - TURNED IN	0	0	0	0	0	0	1	0	0	0	0	0	0	1
PROPERTY-LOST	0	0	0	0	0	0	0	0	0	0	0	0	0	1
PUBLIC UTILITIES	0	1	0	0	0	0	1	1	1	0	0	0	0	7
REAL TIME CRIME CENTER	0	2	1	1	1	1	0	0	0	0	0	1	0	6
ROAD HAZARD	0	0	0	0	0	0	0	0	0	1	1	0	0	2

Printed: 03/11/2024

BLOWER ACTIVITY REPORT
 By Time of Day
 FOR DATE RANGE OF 02/01/2024 TO 02/29/2024

Page: 2

Call Type	Invalid Time	0001-0200	0201-0400	0401-0600	0601-0800	0801-1000	1001-1200	1201-1400	1401-1600	1601-1800	1801-2000	2001-2200	2201-2400	TOTALS
SCHOOL CLOSING/DELAY	0	0	0	0	0	0	0	0	1	0	0	0	0	1
SUICIDE ATTEMPTS	0	0	0	0	0	0	0	0	1	0	0	0	0	1
SUSPICIOUS ACTIVITY	0	0	1	1	1	1	2	1	4	1	1	2	0	15
TRAFFIC	0	0	0	0	0	1	2	2	0	0	0	1	0	6
UNFOUNDED	0	0	0	0	1	0	0	0	1	2	1	1	0	6
V & T ARREST	0	0	0	0	0	0	0	1	0	0	0	0	0	1
WARRANT	0	0	0	0	0	2	1	0	0	0	0	1	0	4
WELFARE CHECK	0	0	0	0	0	0	1	0	1	0	0	0	0	2
TOTALS:	0	11	10	8	13	32	39	35	30	22	27	20	8	255

Printed: 03/11/2024

ARDSLEY POLICE DEPARTMENT

MONTHLY STATISTIC REPORT

Activity From 02/01/2024 Thru 02/29/2024

Type of Activity	MTD	YTD
Arrests	6	13
Sex- Male - MTD:	5	YTD: 12
Female - MTD:	1	YTD: 1
Unknown- MTD:	0	YTD: 0
Class- Felony- MTD:	1	YTD: 3
Misd - MTD:	3	YTD: 5
Violat- MTD:	2	YTD: 5
Blotters	255	550
Cases	11	26
Class- Felony- MTD:	1	YTD: 4
Misd - MTD:	6	YTD: 9
Violat- MTD:	4	YTD: 12
Citations	55	76
Type- Parking- MTD:	0	YTD: 0
Traffic- MTD:	55	YTD: 76
Summons- MTD:	0	YTD: 0
Field Interviews	0	0
Impounds	7	10
Juveniles	0	0
Sex- Male - MTD:	0	YTD: 0
Female - MTD:	0	YTD: 0
Unknown- MTD:	0	YTD: 0
Class- Felony- MTD:	0	YTD: 0
Misd - MTD:	0	YTD: 0
Violat- MTD:	0	YTD: 0
Medical Aided	0	0
Traffic Accidents	12	21
Type- Fatal- MTD:	0	YTD: 0
Injury- MTD:	2	YTD: 6
Other- MTD:	10	YTD: 15

Blotter/CC #	Date & Time	Location of Assignment	Call Type	Disposition	Officer Assigned
AP-000297-24	02/01/2024 -01:02	SAW MILL RIVER ROAD ARDSLEY	PUBLIC UTILITIES	NOTIFICATION MADE	033
AP-000298-24	02/01/2024 -01:29	SAW MILL RIVER RD ARDSLEY	ALARM - FALSE	DISPATCHED	044
AP-000303-24	02/01/2024 -03:50	SAW MILL RIVER RD ARDSLEY	ALARM - FALSE	DISPATCHED	044
AP-000299-24	02/01/2024 -07:29	CONCORD RD ARDSLEY	AMBULANCE	DISPATCHED	033
AP-000300-24	02/01/2024 -08:17	ASHFORD AVE ARDSLEY	REAL TIME CRIME	PATROL ADVISED	047
AP-000302-24	02/01/2024 -08:53	CENTER ST ARDSLEY	AUTO ACCIDENT -	DISPATCHED	047
AP-000305-24	02/01/2024 -10:46	ASHFORD AVE ARDSLEY	HANDICAPPED PERMIT	NO PRESS RELEASE	
AP-000306-24	02/01/2024 -13:39	SAW MILL RIVER RD ARDSLEY	AMBULANCE	DISPATCHED	047
AP-000307-24	02/01/2024 -14:32	SAW MILL RIVER RD ARDSLEY	AUTO ACCIDENT	DISPATCHED	047
AP-000308-24	02/01/2024 -15:29	SAW MILL RIVER RD ARDSLEY	AMBULANCE	DISPATCHED	041
AP-000309-24	02/01/2024 -16:00	SAW MILL RIVER RD ARDSLEY	SUSPICIOUS ACTIVITY	DISPATCHED	045
AP-000310-24	02/01/2024 -16:53	ABINGTON AVE ARDSLEY	SUSPICIOUS ACTIVITY	REPORT TAKEN	041
AP-000311-24	02/01/2024 -18:01	ASHFORD AVE ARDSLEY	PERSONNEL	NO PRESS RELEASE	
AP-000312-24	02/02/2024 -09:34	SAW MILL RIVER RD ARDSLEY	AMBULANCE	DISPATCHED	048
AP-000313-24	02/02/2024 -12:12	ASHFORD AVE ARDSLEY	PERSONNEL	NO PRESS RELEASE	
AP-000314-24	02/02/2024 -12:35	MARKWOOD ROAD ARDSLEY	SUSPICIOUS ACTIVITY	DISPATCHED	038
AP-000315-24	02/02/2024 -13:08	ASHFORD AVE ARDSLEY	HANDICAPPED PERMIT	NO PRESS RELEASE	
AP-000316-24	02/02/2024 -15:40	ASHFORD AVENUE ARDSLEY	LARCENY - PETIT	REPORT TAKEN	041
AP-000317-24	02/02/2024 -18:11	BRIDGE ST ARDSLEY	AIDED	DISPATCHED	041
AP-000318-24	02/02/2024 -18:39	ASHFORD AVE ARDSLEY	PERSONNEL	NO PRESS RELEASE	
AP-000319-24	02/02/2024 -18:40	SAW MILL RIVER RD ARDSLEY	AIDED	RENDERED	046
AP-000320-24	02/02/2024 -21:17	ALDEN PL HARTSDALE	SUSPICIOUS ACTIVITY	DISPATCHED	041
AP-000321-24	02/02/2024 -21:43	SAW MILL RIVER RD ARDSLEY	ALARM - FALSE		041
AP-000322-24	02/03/2024 -01:53	SAW MILL RIVER PKWY YONKERS	REAL TIME CRIME	DISPATCHED	038
AP-000323-24	02/03/2024 -05:15	87 N BRONX	REAL TIME CRIME	PATROL ADVISED	
AP-000324-24	02/03/2024 -10:23	SAW MILL RIVER RD ARDSLEY	ANIMAL COMPLAINT		
AP-000325-24	02/03/2024 -10:44	SAW MILL RIVER RD ARDSLEY	AMBULANCE		046
AP-000326-24	02/03/2024 -10:51	ASHFORD AVE ARDSLEY	PERSONNEL	NO PRESS RELEASE	
AP-000327-24	02/03/2024 -13:33	SAW MILL RIVER RD ARDSLEY	AIDED	DISPATCHED	038
AP-000328-24	02/03/2024 -14:41	SAWMILL RIVER RD ARDSLEY	SUICIDE ATTEMPTS	REPORT TAKEN	046
AP-000329-24	02/03/2024 -17:05	HENLOCK RD HARTSDALE	AMBULANCE	DISPATCHED	
AP-000330-24	02/03/2024 -18:57	BURKEWOOD RD HARTSDALE	AMBULANCE	DISPATCHED	
AP-000331-24	02/03/2024 -21:50	ABINGTON AVE ARDSLEY	SUSPICIOUS ACTIVITY		047
AP-000332-24	02/04/2024 -01:10	IRVINGTON	HOT LINE	PATROL ADVISED	033
AP-000333-24	02/04/2024 -03:53	ABINGTON AVE ARDSLEY	SUSPICIOUS ACTIVITY	PATROL ADVISED	033
AP-000334-24	02/04/2024 -08:35	SAW MILL RIVER RD ARDSLEY	AMBULANCE	DISPATCHED	048
AP-000335-24	02/04/2024 -13:31	CROSS RD ARDSLEY	ALARM - FALSE	DISPATCHED	041
AP-000336-24	02/04/2024 -14:48	SAW MILL RIVER RD ARDSLEY	AMBULANCE	DISPATCHED	041
AP-000337-24	02/04/2024 -17:16	YONKERS	HOT LINE	PATROL ADVISED	
AP-000338-24	02/05/2024 -08:51	ABINGTON AVE ARDSLEY	FIRE RESPONSE	DISPATCHED	045
AP-000339-24	02/05/2024 -09:24	ASHFORD AVENUE ARDSLEY	AMBULANCE	DISPATCHED	045
AP-000340-24	02/05/2024 -09:47	ASHFORD AVE ARDSLEY	FINGER PRINTING	RENDERED	028
AP-000341-24	02/05/2024 -14:38	SAW MILL RIVER RD ARDSLEY	AMBULANCE	DISPATCHED	045
AP-000342-24	02/05/2024 -14:45	ASHFORD AV ARDSLEY	COURT MATTER		
AP-000343-24	02/05/2024 -18:21	WINDSONG RD ARDSLEY	UNFOUNDED	DISPATCHED	037
AP-000344-24	02/06/2024 -02:11	WINDSONG RD ARDSLEY	BUILDING SECURITY	INVESTIGATED	044
AP-000345-24	02/06/2024 -09:13	SAW MILL RIVER RD ARDSLEY	AUTO ACCIDENT	DISPATCHED	045
AP-000346-24	02/06/2024 -11:04	WOODS ROAD VALHALLA	ADMINISTRATIVE	NO PRESS RELEASE	042
AP-000347-24	02/06/2024 -11:25	ASHFORD AVE ARDSLEY	ADMINISTRATIVE	NO PRESS RELEASE	
AP-000348-24	02/06/2024 -11:42	SAW MILL RIVER RD ARDSLEY	AMBULANCE	DISPATCHED	041
AP-000349-24	02/06/2024 -13:44	I 87 N ARDSLEY	TRAFFIC	NOTIFICATION MADE	
AP-000350-24	02/06/2024 -13:57	ASHFORD AVE ARDSLEY	HANDICAPPED PERMIT	RENDERED	
AP-000351-24	02/06/2024 -15:37	BEACON HILL DR DOBBS FERRY	AMBULANCE	DISPATCHED	
AP-000352-24	02/06/2024 -15:59	SAW MILL RIVER RD ARDSLEY	AMBULANCE	DISPATCHED	041
AP-000354-24	02/06/2024 -19:14	PARKVIEW RD ELMSFORD	AMBULANCE	DISPATCHED	
AP-000355-24	02/06/2024 -22:14	CLUBHOUSE LANE SCARSDALE	AMBULANCE	DISPATCHED	

Blotter/CC #	Date & Time	Location of Assignment	Call Type	Disposition	Officer Assigned
AP-000356-24	02/07/2024 -01:17	KENSINGTON RD ARDSLEY	BUILDING SECURITY	INVESTIGATED	044
AP-000357-24	02/07/2024 -04:40	SAW MILL RIVER RD ARDSLEY	AMBULANCE	DISPATCHED	048
AP-000358-24	02/07/2024 -07:03	SAW MILL RIVER RD ARDSLEY	ALARM - FALSE		048
AP-000359-24	02/07/2024 -08:46	SAWMILL RIVER RD ARDSLEY	ALARM - FALSE	DISPATCHED	045
AP-000360-24	02/07/2024 -10:35	ASHFORD AVE ARDSLEY	HANDICAPPED PERMIT	RENDERED	
AP-000362-24	02/07/2024 -11:27	SAW MILL RIVER RD ARDSLEY	AMBULANCE	DISPATCHED	041
AP-000363-24	02/07/2024 -16:35	AMERICAN LEGION DR ARDSLEY	UNFOUNDED	DISPATCHED	038
AP-000364-24	02/07/2024 -19:24	MAIN ST DOBBS FERRY	MUTUAL AID	CONFIDENTIAL	047
AP-000365-24	02/08/2024 -13:09	CHESTER ST ARDSLEY	AMBULANCE	DISPATCHED	
AP-000366-24	02/08/2024 -14:46	SAW MILL RIVER RD ARDSLEY	AMBULANCE	DISPATCHED	037
AP-000367-24	02/08/2024 -15:31	SAW MILL RIVER RD ARDSLEY	AUTO ACCIDENT	DISPATCHED	038
AP-000368-24	02/08/2024 -17:18	SAW MILL RIVER RD ARDSLEY	ROAD HAZZARD	DISPATCHED	047
AP-000369-24	02/08/2024 -18:50	CENTER ST ARDSLEY	AIDED	DISPATCHED	047
AP-000370-24	02/08/2024 -19:48	ASHFORD AVE ARDSLEY	PERSONNEL	NO PRESS RELEASE	
AP-000371-24	02/08/2024 -21:30	HIGHLAND DR ARDSLEY	AMBULANCE	DISPATCHED	038
AP-000372-24	02/08/2024 -22:26	SAW MILL RIVER ROAD ARDSLEY	LARCENY - GRAND	REPORT TAKEN	047
AP-000373-24	02/09/2024 -02:59	I 87 N ARDSLEY	AMBULANCE	DISPATCHED	
AP-000374-24	02/09/2024 -04:30	ASHFORD AVE DOBBS FERRY	AMBULANCE	DISPATCHED	
AP-000375-24	02/09/2024 -09:50	ASHFORD AV ARDSLEY	GENERAL INFORMATION	PATROL ADVISED	041
AP-000376-24	02/09/2024 -11:56	SAW MILL RIVER RD ARDSLEY	LARCENY - PETIT	REPORT TAKEN	046
AP-000377-24	02/09/2024 -12:47	BROADWAY DOBBS FERRY	AMBULANCE	DISPATCHED	
AP-000378-24	02/09/2024 -12:57	COLUMBIA RD ARDSLEY	DOG COMPLAINT	DISPATCHED	046
AP-000379-24	02/09/2024 -13:45	AUGUSTINE AVE ARDSLEY	ALARM - FALSE	DISPATCHED	046
AP-000380-24	02/09/2024 -20:53	ASHFORD AVE ARDSLEY	PERSONNEL	NO PRESS RELEASE	
AP-000381-24	02/10/2024 -08:00	SAW MILL RIVER RD ARDSLEY	AMBULANCE	DISPATCHED	041
AP-000382-24	02/10/2024 -09:00	FULLER AVE ARDSLEY	AMBULANCE	DISPATCHED	046
AP-000383-24	02/10/2024 -09:35	KENSINGTON RD ARDSLEY	AUTO ACCIDENT	DISPATCHED	041
AP-000384-24	02/10/2024 -10:43	CENTER ST ARDSLEY	ADMINISTRATIVE	NOTIFICATION MADE	
AP-000385-24	02/10/2024 -11:08	SAW MILL RIVER RD ARDSLEY	WELFARE CHECK	DISPATCHED	046
AP-000386-24	02/10/2024 -11:23	ASHFORD AVE ARDSLEY	CHILD SEAT	RENDERED	041
AP-000387-24	02/10/2024 -15:00	LAKEVIEW AVE VALHALLA	HOT LINE	PATROL ADVISED	
AP-000388-24	02/10/2024 -15:53	I87 ARDSLEY	AMBULANCE	DISPATCHED	
AP-000389-24	02/10/2024 -17:21	SAW MILL RIVER RD ARDSLEY	AMBULANCE	DISPATCHED	048
AP-000390-24	02/11/2024 -04:16	ARDSLEY	HOT LINE	PATROL ADVISED	
AP-000391-24	02/11/2024 -05:36	SAW MILL RIVER RD ARDSLEY	AMBULANCE	DISPATCHED	048
AP-000392-24	02/11/2024 -07:18	PROSPECT AVE ARDSLEY	ANIMAL COMPLAINT	NOTIFICATION MADE	
AP-000393-24	02/11/2024 -12:47	SAW MILL RIVER RD ARDSLEY	V & T ARREST	ARREST MADE	046
AP-000394-24	02/11/2024 -13:42	SECOR RD HARTSDALE	AMBULANCE	DISPATCHED	
AP-000395-24	02/11/2024 -15:05	ELM ST ARDSLEY	SUSPICIOUS ACTIVITY	DISPATCHED	046
AP-000396-24	02/11/2024 -17:36	ASHFORD AVE ARDSLEY	AUTO ACCIDENT -	DISPATCHED	045
AP-000398-24	02/12/2024 -01:42	SAW MILL RIVER RD ARDSLEY	AMBULANCE	DISPATCHED	045
AP-000399-24	02/12/2024 -06:37	SAW MILL RIVER RD ARDSLEY	AMBULANCE	DISPATCHED	
AP-000400-24	02/12/2024 -08:39	ASHFORD AVE ARDSLEY	ADMINISTRATIVE		028
AP-000401-24	02/12/2024 -10:57	CENTER ST ARDSLEY	AUTO ACCIDENT	DISPATCHED	047
AP-000402-24	02/12/2024 -11:44	DANFORTH AVE DOBBS FERRY	MUTUAL AID	DISPATCHED	038
AP-000403-24	02/12/2024 -12:58	ASHFORD AV ARDSLEY	DOG COMPLAINT	DISPATCHED	047
AP-000404-24	02/12/2024 -14:32	FARM RD ARDSLEY	SCHOOL CLOSING/DELAY	NO PRESS RELEASE	
AP-000405-24	02/12/2024 -14:52	SAW MILL RIVER RD ARDSLEY	WELFARE CHECK	DISPATCHED	038
AP-000406-24	02/12/2024 -15:32	ELM ST ARDSLEY	FOA	DISPATCHED	047
AP-000407-24	02/12/2024 -17:01	ASHFORD AVE ARDSLEY	PERSONNEL	NO PRESS RELEASE	
AP-000408-24	02/12/2024 -18:07	KENSINGTON RD ARDSLEY	FIRE RESPONSE	DISPATCHED	041
AP-000409-24	02/12/2024 -19:23	AMERICAN LEGION DR ARDSLEY	AUTO ACCIDENT	DISPATCHED	041
AP-000410-24	02/12/2024 -22:34	ASHFORD AVE ARDSLEY	PERSONNEL	NO PRESS RELEASE	
AP-000411-24	02/13/2024 -08:41	OVERLOOK RD ARDSLEY	AMBULANCE	DISPATCHED	038
AP-000412-24	02/13/2024 -09:07	SAW MILL RIVER PKWY ARDSLEY	AMBULANCE	DISPATCHED	
AP-000414-24	02/13/2024 -10:16	CENTER ST ARDSLEY	TRAFFIC	RENDERED	038

Blotter/CC #	Date & Time	Location of Assignment	Call Type	Disposition	Officer Assigned
AP-000415-24	02/13/2024 -10:27	LINCOLN AVE ARDSLEY	PUBLIC UTILITIES	DISPATCHED	038
AP-000417-24	02/13/2024 -13:23	CRESTVIEW PL ARDSLEY	FIRE RESPONSE	DISPATCHED	038
AP-000418-24	02/13/2024 -16:20	SAW MILL RIVER RD ARDSLEY	ALARM - FALSE	DISPATCHED	045
AP-000419-24	02/13/2024 -19:57	SAW MILL RIVER RD ARDSLEY	ALARM - FALSE	DISPATCHED	045
AP-000420-24	02/13/2024 -21:17	MAPLE AVE HASTINGS ON HUDSON	WARRANT	ARREST MADE	045
AP-000421-24	02/14/2024 -02:22	DOBBS FERRY	HOT LINE	PATROL ADVISED	
AP-000422-24	02/14/2024 -07:52	SAW MILL RIVER ROAD ARDSLEY	ALARM - FALSE	DISPATCHED	044
AP-000423-24	02/14/2024 -13:08	ASHFORD AVE ARDSLEY	HANDICAPPED PERMIT	NO PRESS RELEASE	
AP-000425-24	02/14/2024 -18:44	ASHFORD AVE ARDSLEY	HOT LINE	NO PRESS RELEASE	
AP-000426-24	02/14/2024 -20:16	ASHFORD AVE ARDSLEY	PERSONNEL	NO PRESS RELEASE	
AP-000427-24	02/15/2024 -02:23	FARM RD ARDSLEY	ALARM - FALSE	DISPATCHED	039
AP-000428-24	02/15/2024 -10:00	SAW MILL RIVER RD ARDSLEY	AMBULANCE	DISPATCHED	037
AP-000429-24	02/15/2024 -10:40	SHADY RD ARDSLEY	AMBULANCE	DISPATCHED	037
AP-000430-24	02/15/2024 -11:06	SAW MILL RIVER ROAD ARDSLEY	AMBULANCE		038
AP-000431-24	02/15/2024 -11:50	ASHFORD AVE ARDSLEY	HANDICAPPED PERMIT	RENDERED	037
AP-000432-24	02/15/2024 -12:43	SAW MILL RIVER RD ARDSLEY	ANIMAL COMPLAINT	DISPATCHED	037
AP-000433-24	02/15/2024 -15:22	ASHFORD AVE ARDSLEY	ADMINISTRATIVE	NO PRESS RELEASE	
AP-000434-24	02/15/2024 -18:31	ASHFORD AVE ARDSLEY	PERSONNEL	NO PRESS RELEASE	
AP-000435-24	02/15/2024 -18:41	CONCORD RD ARDSLEY	FIRE RESPONSE	DISPATCHED	047
AP-000436-24	02/15/2024 -18:54	ASHFORD AVE ARDSLEY	ADMINISTRATIVE	NO PRESS RELEASE	
AP-000437-24	02/16/2024 -04:07	SAW MILL RIVER RD ARDSLEY	ALARM - FALSE	DISPATCHED	033
AP-000438-24	02/16/2024 -08:20	PLAINVIEW AVE ARDSLEY	FIRE RESPONSE	DISPATCHED	041
AP-000439-24	02/16/2024 -09:23	CENTER ST ARDSLEY	PUBLIC UTILITIES	DISPATCHED	041
AP-000440-24	02/16/2024 -09:44	SAW MILL RIVER RD ARDSLEY	AMBULANCE	DISPATCHED	045
AP-000441-24	02/16/2024 -12:31	SAW MILL RIVER RD ARDSLEY	CIVIL MATTER	DISPATCHED	045
AP-000442-24	02/16/2024 -18:57	ASHFORD AVE ARDSLEY	SUSPICIOUS ACTIVITY	DISPATCHED	033
AP-000443-24	02/16/2024 -20:28	LINCOLN AVE ARDSLEY	JUVENILE ACTIVITY	DISPATCHED	033
AP-000444-24	02/17/2024 -03:53	SAW MILL RIVER RD ARDSLEY	AUTO ACCIDENT	DISPATCHED	033
AP-000445-24	02/17/2024 -07:12	SAW MILL RIVER RD ARDSLEY	AMBULANCE	DISPATCHED	033
AP-000446-24	02/17/2024 -08:58	SAW MILL RIVER RD ARDSLEY	AMBULANCE	DISPATCHED	045
AP-000449-24	02/17/2024 -14:14	FRANCIS J MCCORMACK ROAD ARDSLEY	SUSPICIOUS ACTIVITY	DISPATCHED	
AP-000450-24	02/17/2024 -14:55	AGNES CIR ARDSLEY	UNFOUNDED		
AP-000451-24	02/17/2024 -15:18	SAWMILL RIVER RD ARDSLEY	ALARM - FALSE	DISPATCHED	046
AP-000453-24	02/18/2024 -00:39	87 NB YONKERS	REAL TIME CRIME	DISPATCHED	048
AP-000454-24	02/18/2024 -06:32	ABINGTON AVE ARDSLEY	AUTO ACCIDENT	DISPATCHED	044
AP-000459-24	02/18/2024 -12:58	DELLWOOD LN ARDSLEY	FIRE RESPONSE	DISPATCHED	045
AP-000460-24	02/18/2024 -17:36	ASHFORD AVE ARDSLEY	HOT LINE	ARREST MADE	047
AP-000461-24	02/18/2024 -21:05	HEATHERDELL RD ARDSLEY	FOA	DISPATCHED	047
AP-000462-24	02/18/2024 -21:16	FRANKLIN CT ARDSLEY	UNFOUNDED	UNFOUNDED	
AP-000463-24	02/19/2024 -08:49	ASHFORD AVE ARDSLEY	WARRANT	NO PRESS RELEASE	
AP-000464-24	02/19/2024 -08:55	ASHFORD AVENUE ARDSLEY	WARRANT	NO PRESS RELEASE	028
AP-000465-24	02/19/2024 -09:27	SAW MILL RIVER RD ARDSLEY	ALARM - FALSE	DISPATCHED	041
AP-000466-24	02/19/2024 -11:45	WAYNE CT ARDSLEY	AMBULANCE	DISPATCHED	041
AP-000467-24	02/19/2024 -15:47	FARM RD ARDSLEY	POLICE INFORMATION	NO PRESS RELEASE	
AP-000468-24	02/19/2024 -16:01	AUGUSTINE AVE ARDSLEY	ALARM - FALSE	DISPATCHED	041
AP-000469-24	02/19/2024 -16:41	ASHFORD AVE ARDSLEY	ADMINISTRATIVE	NO PRESS RELEASE	
AP-000470-24	02/19/2024 -16:56	ELM ST ARDSLEY	PROPERTY-LOST	RENDERED	
AP-000471-24	02/19/2024 -17:52	JORDAN LN ARDSLEY	UNFOUNDED	DISPATCHED	041
AP-000472-24	02/19/2024 -21:09	AMERICAN LEGION DR ARDSLEY	ANIMAL COMPLAINT	DISPATCHED	041
AP-000473-24	02/19/2024 -22:10	SHEFFIELD CT ARDSLEY	AMBULANCE	DISPATCHED	041
AP-000474-24	02/20/2024 -11:13	ASHFORD AVE ARDSLEY	WARRANT	ARREST MADE	047
AP-000475-24	02/20/2024 -11:32	ASHFORD AVE ARDSLEY	ADMINISTRATIVE	NO PRESS RELEASE	
AP-000476-24	02/20/2024 -13:10	SAW MILL RIVER RD ARDSLEY	LARCENY - PETIT	DISPATCHED	048
AP-000477-24	02/20/2024 -14:54	ASHFORD AVE ARDSLEY	HANDICAPPED PERMIT	RENDERED	
AP-000478-24	02/20/2024 -23:50	SAW MILL RIVER ROAD ARDSLEY	AIDED	NOTIFICATION MADE	
AP-000479-24	02/21/2024 -04:45	CRESTVIEW PL ARDSLEY	SUSPICIOUS ACTIVITY	DISPATCHED	039

Blotter/CC #	Date & Time	Location of Assignment	Call Type	Disposition	Officer Assigned
AP-000480-24	02/21/2024 -07:21	SAW MILL RIVER RD ARDSLEY	AUTO ACCIDENT		045
AP-000481-24	02/21/2024 -10:22	ARDSLEY	TRAFFIC	DISPATCHED	043
AP-000482-24	02/21/2024 -11:51	ASHFORD AVE ARDSLEY	FIRE RESPONSE	DISPATCHED	046
AP-000483-24	02/21/2024 -12:20	ASHFORD AVE ARDSLEY	HANDICAPPED PERMIT	RENDERED	
AP-000484-24	02/21/2024 -20:05	SAW MILL RIVER RD ARDSLEY	TRAFFIC	DISPATCHED	028
AP-000485-24	02/21/2024 -20:58	FAIRMONT AVE ARDSLEY	IMPOUNDS	REPORT TAKEN	046
AP-000486-24	02/21/2024 -22:00	ASHFORD AVE ARDSLEY	PERSONNEL	NO PRESS RELEASE	
AP-000487-24	02/22/2024 -02:55	SAW MILL RIVER PKWY YONKERS	REAL TIME CRIME	PATROL ADVISED	
AP-000488-24	02/22/2024 -10:08	ASHFORD AVE ARDSLEY	SUSPICIOUS ACTIVITY	DISPATCHED	037
AP-000489-24	02/22/2024 -13:57	BROADWAY DOBBS FERRY	AMBULANCE	DISPATCHED	
AP-000490-24	02/22/2024 -21:37	ASHFORD AVE ARDSLEY	CIVIL MATTER	DISPATCHED	041
AP-000491-24	02/23/2024 -00:26	CENTER ST ARDSLEY	ALARM - FALSE	DISPATCHED	045
AP-000492-24	02/23/2024 -09:29	SYLVIA AVE ARDSLEY	TRAFFIC	DISPATCHED	046
AP-000493-24	02/23/2024 -10:15	ASHFORD AVE ARDSLEY	FINGER PRINTING	NO PRESS RELEASE	028
AP-000494-24	02/23/2024 -10:40	ASHFORD AVE ARDSLEY	CHILD SEAT	RENDERED	043
AP-000495-24	02/23/2024 -10:51	ASHFORD AVE ARDSLEY	CHILD SEAT	RENDERED	043
AP-000496-24	02/23/2024 -10:53	ASHFORD AVE ARDSLEY	CHILD SEAT	RENDERED	
AP-000497-24	02/23/2024 -10:57	ASHFORD AVE ARDSLEY	HANDICAPPED PERMIT	RENDERED	037
AP-000498-24	02/23/2024 -12:03	CENTER ST ARDSLEY	IMPOUNDS	INVESTIGATED	046
AP-000499-24	02/23/2024 -12:32	SAW MILL RIVER RD ARDSLEY	TRAFFIC	DISPATCHED	037
AP-000500-24	02/23/2024 -12:40	ASHFORD AVE ARDSLEY	HANDICAPPED PERMIT	RENDERED	
AP-000501-24	02/23/2024 -13:18	CONCORD RD ARDSLEY	BUILDING SECURITY	NOTIFICATION MADE	
AP-000502-24	02/23/2024 -15:45	LINCOLN AVE ARDSLEY	FIRE RESPONSE	DISPATCHED	041
AP-000503-24	02/23/2024 -17:24	EASTERN DR ARDSLEY	FIRE RESPONSE	DISPATCHED	041
AP-000504-24	02/23/2024 -18:28	JUDSON AVE ARDSLEY	ROAD HAZZARD	DISPATCHED	041
AP-000505-24	02/24/2024 -00:10	SAW MILL RIVER PKWY ARDSLEY	HOT LINE	DISPATCHED	
AP-000506-24	02/24/2024 -02:24	SAW MILL RIVER RD ARDSLEY	FOA	DISPATCHED	048
AP-000507-24	02/24/2024 -05:13	SAW MILL RIVER RD ARDSLEY	ALARM - FALSE	DISPATCHED	048
AP-000508-24	02/24/2024 -06:05	SAW MILL RIVER RD ARDSLEY	AMBULANCE	DISPATCHED	048
AP-000509-24	02/24/2024 -09:22	SAW MILL RIVER RD ARDSLEY	AMBULANCE	DISPATCHED	047
AP-000510-24	02/24/2024 -10:53	ASHFORD AVE ARDSLEY	PERSONNEL	NO PRESS RELEASE	
AP-000511-24	02/24/2024 -19:38	SAW MILL RIVER RD ARDSLEY	AMBULANCE	DISPATCHED	041
AP-000512-24	02/24/2024 -21:33	SAW MILL RIVER RD ARDSLEY	AMBULANCE	DISPATCHED	041
AP-000513-24	02/24/2024 -22:10	SAW MILL RIVER RD ARDSLEY	DISPUTE	DISPATCHED	041
AP-000514-24	02/24/2024 -22:35	MCKINLEY PL ARDSLEY	AUTO ACCIDENT	DISPATCHED	041
AP-000515-24	02/25/2024 -09:03	RIDGE RD ARDSLEY	SUSPICIOUS ACTIVITY	DISPATCHED	044
AP-000516-24	02/25/2024 -09:54	SAW MILL RIVER ROAD ARDSLEY	LARCENY - PETIT	ARREST MADE	044
AP-000517-24	02/25/2024 -14:36	OVERLOOK RD ARDSLEY	ALARM - FALSE	DISPATCHED	044
AP-000518-24	02/25/2024 -19:41	SAW MILL RIVER RD ARDSLEY	AMBULANCE	DISPATCHED	047
AP-000519-24	02/26/2024 -00:35	OVERLOOK RD ARDSLEY	AIDED	DISPATCHED	044
AP-000520-24	02/26/2024 -03:46	SAW MILL RIVER RD ARDSLEY	AMBULANCE	DISPATCHED	048
AP-000521-24	02/26/2024 -07:44	SAW MILL RIVER RD ARDSLEY	SUSPICIOUS ACTIVITY	DISPATCHED	048
AP-000522-24	02/26/2024 -07:50	HUNTLEY DRIVE ARDSLEY	UNFOUNDED	DISPATCHED	047
AP-000523-24	02/26/2024 -09:51	ASHFORD AVE ARDSLEY	PERSONNEL	NO PRESS RELEASE	
AP-000525-24	02/26/2024 -13:54	ASHFORD AVE ARDSLEY	COURT MATTER	NO PRESS RELEASE	028
AP-000526-24	02/26/2024 -16:57	SAW MILL RIVER RD ARDSLEY	AMBULANCE	DISPATCHED	046
AP-000527-24	02/26/2024 -18:44	ASHFORD AVE DOBBS FERRY	FOA	DISPATCHED	046
AP-000528-24	02/26/2024 -19:00	CENTER ST ARDSLEY	AMBULANCE	DISPATCHED	028
AP-000529-24	02/26/2024 -19:44	SAW MILL RIVER RD ARDSLEY	AMBULANCE	RENDERED	046
AP-000530-24	02/27/2024 -01:43	ASHFORD AVE ARDSLEY	BUILDING SECURITY	INVESTIGATED	038
AP-000531-24	02/27/2024 -10:15	SAW MILL RIVER RD ARDSLEY	PROPERTY - RECOVERED	RENDERED	032
AP-000532-24	02/27/2024 -11:46	ASHFORD AVE ARDSLEY	CHILD SEAT	RENDERED	043
AP-000533-24	02/27/2024 -12:26	HAWK DRIVE NEW PALTZ	FOA	PATROL ADVISED	
AP-000534-24	02/27/2024 -16:11	ASHFORD AVE ARDSLEY	ADMINISTRATIVE	NO PRESS RELEASE	
AP-000535-24	02/27/2024 -16:19	ASHFORD AVE ARDSLEY	ADMINISTRATIVE	NO PRESS RELEASE	
AP-000536-24	02/27/2024 -16:26	ASHFORD AVE ARDSLEY	ADMINISTRATIVE	NO PRESS RELEASE	

Blotter/CC #	Date & Time	Location of Assignment	Call Type	Disposition	Officer Assigned
AP-000537-24	02/27/2024 -16:52	SYLVIA LANE ARDSLEY	AMBULANCE	DISPATCHED	046
AP-000538-24	02/27/2024 -20:52	SAW MILL RIVER RD ARDSLEY	AMBULANCE	DISPATCHED	037
AP-000539-24	02/28/2024 -11:24	SAW MILL RIVER ROAD ARDSLEY	SUSPICIOUS ACTIVITY	REPORT TAKEN	045
AP-000540-24	02/28/2024 -16:33	SAW MILL RIVER RD ARDSLEY	ALARM - FALSE	DISPATCHED	049
AP-000541-24	02/28/2024 -17:46	SAW MILL RIVER RD ARDSLEY	IMPOUNDS	INVESTIGATED	049
AP-000542-24	02/29/2024 -09:01	LINCOLN AVE ARDSLEY	PUBLIC UTILITIES	NOTIFICATION MADE	
AP-000543-24	02/29/2024 -13:01	SAW MILL RIVER RD ARDSLEY	CIVIL MATTER	DISPATCHED	041
AP-000545-24	02/29/2024 -13:05	SAW MILL RIVER RD ARDSLEY	AMBULANCE	DISPATCHED	045
AP-000544-24	02/29/2024 -13:11	ASHFORD AVE ARDSLEY	FINGER PRINTING	NO PRESS RELEASE	
AP-000546-24	02/29/2024 -14:23	ASHFORD AVE ARDSLEY	ADMINISTRATIVE		028
AP-000547-24	02/29/2024 -15:51	HEATHERDELL RD ARDSLEY	SUSPICIOUS ACTIVITY	DISPATCHED	043
AP-000548-24	02/29/2024 -15:52	SAW MILL RIVER RD ARDSLEY	AMBULANCE	DISPATCHED	048
AP-000549-24	02/29/2024 -18:49	SAW MILL RIVER RD ARDSLEY	AMBULANCE	DISPATCHED	049
AP-000550-24	02/29/2024 -20:19	HILLCROFT RD ARDSLEY	REAL TIME CRIME	DISPATCHED	046
AP-000551-24	02/29/2024 -21:08	ASHFORD AVE ARDSLEY	PERSONNEL	NO PRESS RELEASE	

TOTAL PRIORITY CALLS ==> 239

Blotter/CC #	Date & Time	Location of Assignment	Call Type	Disposition	Officer Assigned
AP-000301-24	02/01/2024 -08:38	DELLWOOD LN ARDSLEY	PARKING COMPLAINT	DISPATCHED	038
AP-000304-24	02/01/2024 -09:05	OAK HILL RD ARDSLEY	PARKING COMPLAINT	DISPATCHED	038
AP-000353-24	02/06/2024 -18:18	SAW MILL RIVER RD ARDSLEY	PARKING COMPLAINT	DISPATCHED	041
AP-000361-24	02/07/2024 -11:01	HUNTLEY DR ARDSLEY	PARKING COMPLAINT	DISPATCHED	045
AP-000397-24	02/11/2024 -22:53	ASHFORD AVE ARDSLEY	PERSONNEL	NO PRESS RELEASE	
AP-000413-24	02/13/2024 -09:47	ADDYMAN SQUARE ARDSLEY	PARKING COMPLAINT	DISPATCHED	047
AP-000416-24	02/13/2024 -10:50	LINCOLN AVE ARDSLEY	PARKING COMPLAINT	DISPATCHED	038
AP-000424-24	02/14/2024 -18:40	KING ST ARDSLEY	PARKING COMPLAINT	DISPATCHED	046
AP-000447-24	02/17/2024 -10:39	REVERE RD ARDSLEY	PROPERTY DAMAGE	DISPATCHED	046
AP-000448-24	02/17/2024 -14:10	SAW MILL RIVER RD ARDSLEY	PUBLIC UTILITIES	DISPATCHED	046
AP-000452-24	02/17/2024 -20:12	ASHFORD AVE ARDSLEY	PERSONNEL	NO PRESS RELEASE	
AP-000455-24	02/18/2024 -07:58	MCKINLEY PL ARDSLEY	PUBLIC UTILITIES	NOTIFICATION MADE	045
AP-000456-24	02/18/2024 -11:17	ASHFORD AVE ARDSLEY	PROPERTY- TURNED IN	REPORT TAKEN	037
AP-000457-24	02/18/2024 -12:18	KENSINGTON RD ARDSLEY	PUBLIC UTILITIES	NOTIFICATION MADE	046
AP-000458-24	02/18/2024 -12:51	ASHFORD AVE ARDSLEY	PERSONNEL	NO PRESS RELEASE	
AP-000524-24	02/26/2024 -13:54	HUNTLEY DR ARDSLEY	PARKING COMPLAINT	DISPATCHED	047

TOTAL PRIORITY 1 CALLS ==> 16
GRAND TOTAL ==> 255

ABSTRACT FOR VILLAGE BOARD MEETING OF April 1, 2024

GENERAL FUND \$69,124.53

TRUST & AGENCY FUND \$0.00

CAPITAL FUND \$125,160.34

SEWER FUND \$27,150.80

Date	Vendor Name	Description	Amount
3/26/2024	STATE COMPTROLLER	finances and fees January 2024	\$13,948.00
3/26/2024	Atlantic A Program of De Lage	Service for March 2024	<u>\$174.04</u>
		Ardsley Court Subtotal	\$14,122.04
3/19/2024	ALFREDO DIVITTO	Service for 3-4 to 3-15	\$550.00
3/19/2024	VINCENT GIORDANO	Service for 3-4 to 3-15	<u>\$385.00</u>
		Building Dept. Subtotal	\$935.00
3/19/2024	CAMILLE ALFALLA	Security Deposit Refund	\$250.00
3/19/2024	VERIZON	Usage for 3-10 to 4-9	\$51.91
3/25/2024	A1 Athletics	instructor	\$630.00
3/27/2024	SIGNARAMA	banners	\$260.00
3/27/2024	READERS HARDWARE INC	tennis keys	\$62.50
3/21/2024	CON EDISON	Usage for 2-7 to 3-8	\$1,414.97
3/21/2024	Veolia Water NY Inc-VWW-RD1	Usage for 2-5 to 3-6	\$50.51
3/25/2024	Aarti Palamadai	Zumba/Toning instructor	\$2,192.00
3/26/2024	Atlantic A Program of De Lage	Service for March 2024	\$64.42

3/26/2024	Atlantic Tomorrows Office	Color Copies Overage	<u>\$10.25</u>
		Community Center Subtotal	\$4,986.56
3/19/2024	VERIZON	Usage for 3-10 to 4-9	\$525.25
3/20/2024	MES	MES-SUPPLIES	\$416.00
3/20/2024	FIREFIGHTER'S EQUIP. OF NY, IN	FIRE EQUIP-GEAR	\$711.89
3/25/2024	Cintas	CINTAS-INSPECTION	\$145.45
3/25/2024	FIREFIGHTER'S EQUIP. OF NY, IN	FIRE EQUIP. TAGS	\$70.92
3/20/2024	READERS HARDWARE INC	READERS-SUPPLIES	\$79.95
3/20/2024	CON EDISON	Usage 2-9 to 3-12	\$4,480.90
3/27/2024	VERIZON	Usage 3-22 to 4-21	\$37.76
3/25/2024	D.P. WOLFF INC	DP WOLFF- INSPECTION	\$492.27
3/25/2024	ALL SAFE FIRE SPRINKLERS	ALL SAFE-SPRINKLER INSEPCTION	\$275.00
3/25/2024	ADT Commercial	ADT-INSPECTION	\$1,295.73
3/25/2024	PARTNERS IN SAFETY INC	PARTNERS IN SAFETY-PHYSICALS	\$287.00
3/25/2024	PARTNERS IN SAFETY INC	PARTNERS IN SAFETY-PHYSICALS	\$249.00
3/25/2024	PARTNERS IN SAFETY INC	PARTNERS IN SAFETY-PHYSICALS	\$287.00
3/25/2024	PARTNERS IN SAFETY INC	PARTNERS IN SAFETY-PHYSICALS	<u>\$4,932.00</u>
		Fire Dept. Subtotal	\$14,286.12
3/21/2024	Veolia Water NY Inc-VWW-RD1	Usage for 2-5 to 3-6	\$116.22
3/25/2024	AIRGAS	cylinder rental	\$121.32
3/27/2024	CURRY CHEVROLET	filters/oil	\$64.40
3/27/2024	CURRY CHEVROLET	filters/oil	\$128.80
3/27/2024	RED'S AUTO & TRUCK PARTS	solenoid	\$39.95
3/27/2024	GABRIELLI TRUCK SALES LTD	starter/relay switch	\$567.25
3/27/2024	WESTCHESTER WASTE OIL CO.	remove waste oil	\$175.00
3/27/2024	NATIONAL GEAR & PISTON	del fluid	\$333.21
3/20/2024	KIMBALL-MIDWEST	Grease, Paint Supplies	\$758.00
3/21/2024	CON EDISON	Usage for 2-7 to 3-8	\$1,480.22
3/25/2024	WESTCHESTER TOOL RENTALS	wheel barrow tire	\$68.59
3/25/2024	REDICARE LLC	medical supplies	\$62.00
3/27/2024	SAW MILL STONE & MASONRY SUPPLIES	rakes/item 4	\$233.58
3/27/2024	SEA BOX INC	sea box rental	\$250.00
3/20/2024	READERS HARDWARE INC	Bleach, Sanitizer, sweeper	\$7.82
3/20/2024	READERS HARDWARE INC	Bleach, Sanitizer, sweeper	\$38.54
3/27/2024	RCA ASPHALT LLC	Asphalt	\$865.20
3/25/2024	SAW MILL STONE & MASONRY SUPPLIES	3/4 gravel	\$128.00
3/25/2024	SAW MILL STONE & MASONRY SUPPLIES	3/4 gravel	\$256.00

3/25/2024	SAW MILL STONE & MASONRY SUPPLIES	3/4 gravel/cement	\$328.00
3/25/2024	SAW MILL STONE & MASONRY SUPPLIES	3/4 gravel	\$256.00
3/25/2024	SAW MILL STONE & MASONRY SUPPLIES	mulch hay	\$18.99
3/20/2024	WESTCHESTER COUNTY DEF	Tipping for February 2024	\$5,227.18
3/20/2024	LONG ISLAND SANITATION EQUIP.	filter/elements/wheel bearings	\$1,254.06
3/27/2024	LONG ISLAND SANITATION EQUIP.	Clamp, Spacers	<u>\$695.51</u>
		Highway Sept. Subtotal	\$13,473.84
3/27/2024	VERIZON	Usage 3-22 to 4-21	\$40.52
3/26/2024	Atlantic A Program of De Lage	Service for March 2024	<u>\$185.02</u>
		Police Dept. Subtotal	\$225.54
3/26/2024	West City Dept of Mental Health	2024 EAP Service	\$2,610.00
3/26/2024	Atlantic A Program of De Lage	Service for March 2024	\$227.27
3/26/2024	Atlantic Tomorrows Office	Color Copies Overage	\$39.50
3/21/2024	FEDEX	Delivery Charges	\$33.26
3/21/2024	PITNEY BOWES	Leasing for 1-25 to 4-24	\$297.00
3/25/2024	PITNEY BOWES, INC.	Ink Purchase	\$238.47
3/21/2024	CON EDISON	Usage for 2-7 to 3-8	\$726.91
3/26/2024	OPTIMUM	Usage 3-23 to 4-22	\$16.83
3/26/2024	ALL SAFE FIRE SPRINKLERS	Sprinkler Inspection	\$300.00
3/27/2024	DIV. OF REAL ESTATE SVCS.	Occupancy Agreement Acct #5299	\$1.00
3/20/2024	Con Edison	Usage 2-9 to 3-12	\$87.96
6/21/2023	GEORGE MALONE	Cable Access Broadcast/Editing	\$856.47
7/14/2023	GEORGE MALONE	Work Session Coverage	\$856.47
3/27/2024	WESTON & SAMPSON	Park Improve Service 2-23-24	\$1,265.00
3/27/2024	WESTON & SAMPSON	Professional Service 12-29-23	\$7,090.00
3/27/2024	WESTON & SAMPSON	Professional Service 1-26-24	\$3,545.00
3/27/2024	Village of Sleepy Hollow	Land Use Board Training	\$724.35
3/26/2024	STANDARD INSURANCE COMPANY	April 2024 Premium	\$1,069.25
3/19/2024	GEORGE F. CALVI	Medical Reimbursement April 2024	\$633.20
3/20/2024	De Grill Inc	Eid Event	<u>\$477.49</u>
		Village Hall Subtotal	\$21,095.43
		General Fund Total	\$69,124.53
		Trust & Agency Total	\$0.00
1/9/2024	MOTOROLA SOLUTIONS	CHR IMP VEH EXT	<u>\$1,867.14</u>

3/5/2024	Healey Ford Lincoln, LLC	Fire Dept. Radio Upgrade Project	\$1,867.14
		2023 Ford F-550	<u>\$91,252.50</u>
		DPW Truck Replacement Project	\$91,252.50
3/20/2024	Con Edison	Usage for 2-9 to 3-12	\$2,040.70
3/28/2024	Carey & Walsh	New Highway Garage	<u>\$30,000.00</u>
		New Highway Garage Project	\$32,040.70
		Capital Fund Total	\$125,160.34
3/19/2024	Fred A Cook Jr Inc	Video Inspection	\$15,076.80
3/19/2024	Fred A Cook Jr Inc	Mobilization	\$4,500.00
3/19/2024	Fred A Cook Jr Inc	Video Inspection	<u>\$7,574.00</u>
		Sewer Fund Total	\$27,150.80

**RESOLUTION AUTHORIZING THE MAYOR TO SIGN LETTER TO
THE PUBLIC SERVICE COMMISSION REGARDING CLEAN ENERGY
COMMUNITIES PROGRAM**

WHEREAS, funding for local governments through the NYSERDA Clean Energy Communities Program from 2021-2026 was approximately \$40M; and

WHEREAS, in the Mid-Hudson Region, 130 local governments have participated in the Clean Energy Communities Program, including the Village of Ardsley, that receive no-match grants provided by the Clean Energy Communities Program which have helped local governments like ours pay for clean energy projects that would not be viable otherwise; and

WHEREAS, the Local Government Engagement section of the NYSERDA Non-Low to Moderate-Income Energy Efficiency/Building Electrification Portfolio Proposal suggests that this funding for the program from 2026-2030 will be reduced to just \$16M; and now therefore be it

RESOLVED, that the Village Board of the Village of Ardsley authorize the Mayor to sign the attached letter to the Public Service Commission to Reinstate the Clean Energy Communities' No-Match Grants and Technical Assistance Coordinators in the 2026-2030 Clean Energy Fund Budget.

Mayor
NANCY KABOOLIAN

Trustees
STEVEN EDELSTEIN, Deputy Mayor
ANDY DIJUSTO
SHEILA NARAYANAN
BARRY MCGOEY

Village of Ardsley



507 Ashford Avenue
Ardsley, NY 10502
(914) 693-1550
Fax: (914) 693-3706
www.ardsleyvillage.com

Village Manager
JOSEPH L. CERRETANI

Village Treasurer
LESLIE TILLOTSON

Village Clerk
ANN MARIE ROCCO

Honorable Michelle L. Phillips
Secretary to the Commission
New York State Public Service Commission
Empire State Plaza
Agency Building 3
Albany, NY 12223-1350

RE:

Case 14-M-0094 – Proceeding on Motion of the Commission to Consider a Clean Energy Fund
Case 18-M-0084 – In the Matter of a Comprehensive Energy Efficiency Initiative

Dear Secretary Phillips:

The Village of Ardsley has comments regarding the NYSERDA Proposal under the following areas:

II. Proposed Portfolios - Within the budget guidelines indicated by the Order Directing Proposals, do the proposals reflect an appropriate budget and resource allocation among program areas? If not, how should resources be allocated differently?

The Local Government Engagement section of the NYSERDA Non-Low to Moderate-Income Energy Efficiency/Building Electrification Portfolio Proposal suggests that this funding for the program from 2026-2030 will end. The no-match grant funding and technical assistance provided through the Program have been important to Village of Ardsley reaching our goals.

Village of Ardsley has participated in the Clean Energy Communities Program. The no-match grants provided by the Clean Energy Communities Program have helped local governments like ours pay for energy audits for municipal buildings. The opportunity to receive the grants have also pushed municipalities to take more actions related to clean energy than we would have otherwise, from converting our streetlights to LED, convert municipal building lighting to LED, and conducting multiple community campaigns.

The Clean Energy Communities Coordinators have been supportive of Ardsley's goals in implementing clean energy projects. They have helped walk us through actions and projects from start to finish and answered questions throughout the process. The proposal lays out NYSERDA's plan to transition this municipal outreach

role to NYS Department of Environmental Conservation's (DEC) Climate Smart Communities Coordinators. We are concerned that the CSC Program has much less funding for technical assistance and a competitive grant structure with 50% match that limits municipal participation. The CSC Grants also have not funded municipal energy projects—typically focusing on planning, climate adaptation, vehicle miles traveled reduction projects, and refrigerant management.

On the horizon, the Village is looking to develop and expand its electrification of Village vehicles and equipment, as well as explore expansion of our municipal solar projects. Without the grant funding and Coordinator assistance, it is unlikely that the State's Climate Act goals will be met.

IX. Additional comments on collective or individual proposals - Provide any other comments not covered in the sections above.

The Climate Act Scoping Plan specifically mentions the importance of the State partnering with local governments to meet the emissions reductions requirements of the Act:

Municipalities and other local government entities, including industrial development agencies, local development corporations, and special purpose districts, have an important role to play in meeting Climate Act mandates. They enact codes, develop projects, adopt policies, and regulate land use, all of which are critical to supporting all members of the community in moving toward a more energy-efficient future. They also control assets like street lighting systems, wastewater treatment plants, landfills, and public transit systems. By implementing energy efficiency measures and choosing clean sources of energy for their own facilities and operations, municipalities reduce overall GHG emissions and pave the way for broader adoption of such measures. When communities lead by example, clean energy, energy efficiency, and sustainability are more likely to be priorities for residents, businesses, and institutions.¹

We urge the State to reinstate the Clean Energy Communities' no-match grants and technical assistance Coordinators in the 2026-2030 Clean Energy Fund budget. The CEC Program has been immensely successful as it has encouraged widespread clean energy project implementation by municipalities in the Mid-Hudson Region and by the Village of Ardsley. The current proposal for the Program will leave most of the State's municipalities behind and unable to support the State as it strives to meet the goals of the Climate Act.

Sincerely,

Nancy Kaboolian
Mayor, Village of Ardsley

¹ New York Scoping Plan Full Report, December 2022. <https://climate.ny.gov/resources/scoping-plan/> pg. 396

**RESOLUTION SCHEDULING A PUBLIC HEARING TO
SET SEWER RENTS IN THE VILLAGE PURSUANT TO SECTION 165
OF THE VILLAGE CODE**

RESOLVED, that the Village Board of the Village of Ardsley hereby schedules a public hearing on Monday, April 15, 2024 at 8:00 p.m. or soon thereafter to discuss setting sewer rents in the Village pursuant to Chapter 165 of the Village Code in the amount not to exceed \$2.124/CCF for the year 2024-2025.

**RESOLUTION TO SCHEDULE PUBLIC HEARING ON THE TENTATIVE
2024-2024 VILLAGE BUDGET**

RESOLVED, that the Village Board of the Village of Ardsley hereby schedules a public hearing on Monday, April 15, 2024 at 8:00 p.m. or soon thereafter at Village Hall-Court Room Facility, 507 Ashford Avenue, Ardsley, New York to review the Tentative 2024-2025 Village Budget.

PROPOSED BUDGET:

**Village of Ardsley
2024 - 2025 Tentative Budget Multi-Fund Summary**

BE IT ORDAINED BY THE VILLAGE OF ARDSLEY BOARD OF TRUSTEES THAT THE FOLLOWING SUM COMPRISING THE ANNUAL APPROPRIATION ORDINANCE FOR THE YEAR 2024 - 2025 IS HEREBY APPROVED TO MEET THE VILLAGE'S TENTATIVE BUDGETARY NEEDS FOR THE YEAR 2024 – 2025

Date: **March 20, 2024**

	<u>General Fund</u>	<u>Sewer Fund</u>	<u>Library Fund</u>	<u>Total</u>
Appropriations	\$18,112,446	\$352,026	\$775,589	\$19,240,061
less:				
Total Revenue	\$3,566,204	\$352,026	\$775,589	\$4,693,819
Balance of Appropriations for Tax Levy	\$14,546,242	\$0	\$0	\$14,546,242
less:				
Tax Levy	\$14,546,242			
Add: Estimated Uncollectible Tax Levy	\$0			
Deduct: Estimated Collectible Delinquent Taxes	\$0			
Deduct: Appropriation from Debt Reserve	\$275,000			
Deduct: Appropriation from Fund Balance	\$0			

Village of Ardsley Board of Trustees Agenda-April 1, 2024

Adjusted Tax Levy

\$14,271,242

Allowable levy at tax cap

\$14,293,330

Excess Levy Per Tax Cap

(\$22,088)

2024-25 Tax Rate

10.77

Assessed Values

3/1/2024

\$1,325,241,431

**RESOLUTION TO SUSPEND PARKING METER FEES IN THE
VILLAGE OF ARDSLEY THROUGH JANUARY 1, 2025**

RESOLVED, that the Village Board of the Village of Ardsley hereby suspends parking meter fees at all metered parking spaces in the Village of Ardsley through January 1, 2025; and

BE IT FURTHER RESOLVED, that all other parking rules and regulations, including but not limited to posted time limits, shall remain in full effect.

**RESOLUTION AUTHORIZING THE VILLAGE MANAGER TO
EXECUTE AGREEMENT FOR ART DISPLAY AT VILLAGE HALL**

WHEREAS, the Village of Ardsley is home to many talented artists and is desirous of expanding public art in the Village; and

WHEREAS, the Ardsley Village Hall 2nd Floor Lobby has been identified as a suitable location to host a public art gallery; and

WHEREAS, an agreement between the Village and Artists has been drafted, discussed and revised over the course of multiple Work Sessions of the Board of Trustees; now therefore be it

RESOLVED, that the Village Board of the Village of Ardsley authorizes the Village Manager to execute the attached agreement for the inaugural art show with local artist Carol Sommerfield.

Mayor
NANCY KABOOLIAN

Trustees
STEVEN EDELSTEIN, Deputy Mayor
ANDY DIJUSTO
SHEILA NARAYANAN
BARRY MCGOEY

Village of Ardsley



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Village Manager
JOSEPH L. CERRETANI

Village Treasurer
LESLIE TILLOTSON

Village Clerk
ANN MARIE ROCCO

Artists Information and Consent Form

In a step to enhance and promote local art in the Community, the Village of Ardsley Village Hall 2nd floor lobby (“Gallery”) will provide a space to show artwork in our culturally rich and receptive community. The Gallery is housed in a space open to the public.

Hours: The Gallery is open to the public Monday through Friday 9 AM to 4 PM, excluding holidays.

Opening: The show opening reception will be from 4:00 PM to 6:00 PM on the Saturday designated by the Village, which is customarily on the day of the opening. The artist will need to be at Village Hall by 3:00 PM to prepare for the reception. Alcohol shall not be permitted at the reception.

Publicity and Press Releases: The Village manages the general publicity for the exhibit. Any additional publicity or special promotions (posters, detailed press releases, postcards) should be handled directly by the artist.

The Village reserves the right to take pictures of the opening, which may appear on its social media pages and other publicity venues without claim of copyright infringement, as the artist authorizes this use. Unless an artist explicitly informs the Village otherwise, in which event the Village can decline to have such piece hung, the artist grants permission to allow his/her work and image(s) to be used in publicity material for the artist’s show and/or for the Village.

Artwork: All artwork should be framed, **wired** and ready for hanging by the artist. If a piece is not properly wired it will not be hung. Artwork should be delivered to the Village by 10 am on the Thursday preceding the opening unless other arrangements have been made.

Mounting the Show: All artwork mounting is done by the Artist, usually on the Thursday or Friday prior to the opening. The artist is expected to have indicated in advance which pieces will be hanging, and their location, and which pieces might require special hanging arrangements. The Village will try to honor the artist’s wishes whenever possible but reserves the right to reject any hanging or mounting which, in the Village’s sole discretion, creates the risk of excessive damage to Village property. The Village will have representatives present for the installation of any artwork, which must be accomplished by the artist, and all mounting equipment must be approved by the Village in advance and purchased by the Artist. However, the Village shall have the sole discretion to approve or disapprove the location and manner of any hanging or mounting so as to protect Village property.

After the show is hung, the Artist will number each work of art and the artist is responsible for creating a price list that corresponds to the numbers assigned to the pieces. The artist is also responsible for creating and displaying an artist's statement for the exhibit. Though not necessary, some artists like to create professional labels to be affixed next to each piece. Creating labels is the artist's responsibility and must adhere to the following guidelines:

- No prices are listed on the labels
- The labels contain customary information about the pieces (e.g. title, medium, year, size)
- The labels are affixed to the wall either by rolled painter's tape or white removable mounting putty. No other methods to affix labels are allowed as they may damage the gallery walls. If the walls are damaged the artist will be responsible for the cost of repair.

Sales: All sales transactions must take place between the artist and the buyer. The artist is responsible for applying and reporting all sales taxes. The artist is requested to make a check payable to **The Village of Ardsley** for 10% of the pre-tax sales made as reimbursement towards administrative expenses incurred by the Village. This check should be sent to The Village of Ardsley, 507 Ashford Ave, Ardsley, NY 10502, Attention: Village Manager, accompanied by one copy of the price list (noting "sold" pieces) within two weeks of the closing of the show.

Insurance: It is highly recommended that the artist have an insurance policy/rider to cover their artwork for loss, damage, or theft while it is in the Gallery and should produce proof of same and remit a copy of same to the Village prior to hanging any artwork at the Gallery. However, whether the artist is insured or uninsured, the artist agrees that the Village of Ardsley is not, and will not be, liable for any damage or theft that occurs while the work is on the premises. The artist assumes all risk of leaving artwork at the Village premises and hereby indemnifies and holds the Village harmless from and against any claims for loss, damage and/or theft of artwork. Notwithstanding and without limiting the above, the Village will make reasonable efforts to keep the artwork secure given that the Village Hall is open to the public.

End of Show: All artwork must be removed from the Gallery, by the artist, on the date indicated by the Village, which is usually the Monday after the close of the show. The artist is also responsible for delivering any sold pieces to the purchasers. The Village does not have facilities to store artwork.

Please sign below to indicate that you have read and agree to the above. Return the signed original to the Village Manager. BY SIGNING BELOW, THE ARTIST HOLDS THE VILLAGE HARMLESS AND SHALL INDEMNIFY THE VILLAGE AGAINST ANY CLAIMS FOR LOSS, DAMAGE, AND/OR THEFT OF ARTWORK TO THE FULLEST EXTENT PERMITTED BY LAW.

SIGNED:

DATE:

APPROVED:

DATE:

Joseph L. Cerretani
Village Manager

**RESOLUTION TO APPROVE WORK CHANGE ORDER NUMBERS
11 - 14 FOR NEW DPW GARAGE**

WHEREAS, on June 6, 2022, the Village Board of the Village Ardsley unanimously approved a resolution to award a bid with alternates for the General Contracting for the new highway garage to APS Contracting Inc. located at 155-161 Pennsylvania Avenue, Paterson, NJ 07503 in the amount of \$14,637,000; and

WHEREAS, on June 6, 2022, the Village Board of the Village Ardsley unanimously approved a resolution to award a bid for the Mechanical Contracting for the new highway garage to Carey and Walsh, Inc. located at 529 North State Road, P.O. Box 2529, Briarcliff Manor, NY 10510 in the amount of \$853,564.00; and

WHEREAS, it has been determined that additional footing excavation and removal of 20 yards of unsuitable soil below subgrade was necessary during construction; and

WHEREAS, it has been determined that additional sand and stone dust was needed for conduit excavation; and

WHEREAS, it has been determined that the layout of the curbs would result in additional parking spaces and more maneuvering space if it was moved closer to the building near the main entrance; and

WHEREAS, it has been determined that the layout of the exhaust piping in the maintenance garage would be improved if raised up and over the garage door, versus at a lower level; and

WHEREAS, the Engineer, Highway Foreman and Village Manager have reviewed and approved the work in the field; now therefore

BE IT RESOLVED, that the Village Board of the Village of Ardsley hereby approves work change order number 11 in the amount of \$3,259.95 to APS Contracting, Inc. related to the additional footing excavation and removal of 20 yards of unsuitable soil below subgrade; and

BE IT FURTHER RESOLVED, that the Village Board of the Village of Ardsley hereby approves work change order number 12 in the amount of \$2,079.00 to APS Contracting, Inc. related to the additional sand and stone dust was needed for conduit excavation; and

BE IT FURTHER RESOLVED, that the Village Board of the Village of Ardsley hereby approves work change order number 13 in the amount of \$2,538.17 to APS Contracting, Inc. related to moving the curb close to the building at the building's main entrance; and

BE IT FURTHER RESOLVED, that the Village Board of the Village of Ardsley hereby approves work change order number 14 in the amount of \$5,412.00 to Carey and Walsh, Inc. related to the furnishing and installation of 6" spiral pipe and gasketed stamped fittings to route the monoxivent ducting up and over the garage door.



CONSTRUCTION MANAGEMENT
OWNER'S REPRESENTATIVE
CONSULTING
GENERAL CONTRACTING

CALGI CONSTRUCTION COMPANY, INC.
56 Lafayette Avenue, Suite 350
White Plains, NY 10603
TEL: 914-682-9423
FAX: 914-682-9420
E-MAIL: altdraw@calgiconstruction.com

CHANGE ORDER LOG SUMMARY

Village of Ardsley Department of Public Works

Project: Village of Ardsley Department of Public works
Change Order Log Summary Revision Date: March 1 2024

Original Contract Sum All Prime Contractors - Total Base Bids and Alternates \$17,838,154.00
Approved Change Orders All Prime Contractors \$200,259.14
Total Base Bids and Alternates + Approved CO's All Prime Contractors \$18,038,413.14
New CO's Pending Approval All Prime Contractors \$13,289.12
New Contract Sum Including New CO's Pending Approval All Prime Contractors \$18,051,702.26
Pending CO's Amount All Prime Contractors \$0.00
Total Contract Plus Pending CO's All Prime Contractors \$1,300,000.00
Project Contingency \$1,086,451.74
Remaining Project Contingency

Contract	Contract Amount Base Bid	Contract Amount with CO's	Approved CO's to Date	New CO's Pending Approval	Pending CO's Amount	Approved CO's Generated by Owner	Approved CO's Generated by Field Condition	Approved CO's Generated by Design Consultant	% of Approved CO's against Original Contract Sum
GCC General Construction - APS	\$14,637,000.00	\$14,771,412.47	\$134,412.47	\$7,877.12	\$0.00	\$2,538.17	\$139,751.42	\$0.00	0.97%
PC Plumbing Construction- LJ Caproia	\$758,500.00	\$789,686.53	\$31,186.53	\$0.00	\$0.00	\$8,134.71	\$2,386.45	\$20,665.37	4.11%
FSC Fire Protection Systems - SRI	\$230,000.00	\$231,020.00	\$1,020.00	\$0.00	\$0.00	\$0.00	\$1,020.00	\$0.00	0.44%
MC - Mechanical Construction - Carey and Walsh	\$853,654.00	\$853,654.00	\$0.00	\$5,412.00	\$0.00	\$5,412.00	\$0.00	\$0.00	0.63%
EC - Electrical Construction - RLJ	\$1,359,000.00	\$1,392,640.14	\$33,640.14	\$0.00	\$0.00	\$0.00	\$21,852.64	\$11,787.50	2.48%
TOTALS	\$17,838,154.00	\$18,038,413.14	\$200,259.14	\$13,289.12	\$0.00	\$16,084.88	\$164,990.51	\$32,472.87	1.20%

NOTES:
CO = Change Order
COR = Change Order Request

CHANGE ORDER LOG

Project: New Public Works and Parks Garage Facility
 APS Contracting Inc - Contract No. 1 General Construction
 Client: Village of Ardsley
 Change Order Log Summary Revision Date: March 1 2024
 Change Order Log Revision Date: March 1 2024

Original Contract Sum - Total Base Bids and Alternates \$14,637,000.00
 Previously Authorized Change Orders \$134,412.47
 Contract Sum to Date \$14,771,412.47
 New Change Orders \$7,877.12
 New Contract Sum including Change Orders to Date \$14,779,289.59
 Pending COR Amount \$0.00
 Total Contract Plus Pending \$14,779,289.59
 % of Approved CO's against Original Contract Sum 0.97%

PRIME COR#	DESCRIPTION	DATE COR RECEIVED	COR AMOUNT	COR STATUS	PENDING COR AMOUNT	APPROVED AMOUNT	SOURCE OF REQUEST				OWNER CHANGE ORDER #		REMARKS	
							OWNER	FIELD	DESIGN CONSULTANTS	OWNER CHANGE ORDER #	PREVIOUS	NEW		
1	Water main changes	11/22/22	\$16,832.73	Rejected										Processed
2	12" & 6" Water Main Valve Inserts	12/27/22	\$48,683.90	Approved		\$48,683.90					CO#1	\$48,683.90		Rejected
3	Rock Removal	12/30/22	\$41,637.75	Rejected										Processed
4	Footing Excavation	1/30/23	\$3,259.95	Reviewed							CO#4	\$3,259.95		Processed
5	Extending Retaining Wall & Asphalt Pavement	3/7/23	\$78,750.00	Approved		\$78,750.00					CO#2	\$78,750.00		Processed
6	Drain Pipe Under Vehicle Maintenance Area	4/12/23	\$10,159.48	Revise										Processed
6R	Drain Pipe Under Vehicle Maintenance Area	4/25/23	\$6,978.57	Approved		\$6,978.57					CO#3	\$6,978.57		Processed
7	Stone dust and sand	5/22/23	\$2,079.00	Reviewed							CO#5	\$2,079.00		Processed
8	Sectional Door Wind Load	5/24/23	\$10,657.07	Rejected										Rejected
9	C101B Site Plan Changes	10/27/23	\$90,050.72	Rejected										Rejected
9.1	C101B Site Plan Changes Rev. 1	11/16/23	\$66,750.05	Rejected										Rejected
10	Additional Fence work Change	11/16/23	\$72,219.00	Rejected										Rejected
11	Additional Excavation and Backfill for Curb change.	11/22/23	\$2,538.17	Reviewed							CO#6	\$2,538.17		Processed
TOTALS			\$440,596.37			\$134,412.47	\$2,538.17	\$139,751.42	\$0.00			\$134,412.47	\$7,877.12	



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FAX: 914-682-9420
EMAIL: abidlaw@calgiconstruction.com
www.calgiconstruction.com

CHANGE ORDER LOG

Project: Village of Ardsley Department of Public Works
L.J Coppola, Inc. - Contract No. 2 Plumbing
Client: Village of Ardsley
Change Order Log Summary Revision Date: March 1 2024
Change Order Log Revision Date: March 1 2024

Original Contract Sum - Total Base Bids and Alternates \$759,500.00
Previously Authorized Change Orders \$31,186.53
Contract Sum to Date \$789,686.53
New Change Orders \$0.00
New Contract Sum Including Change Orders to Date \$789,686.53
Pending COR Amount \$0.00
Total Contract Plus Pending \$789,686.53
% of Approved CO's against Original Contract Sum 4.11%

PRIME COR #	DESCRIPTION	DATE COR RECEIVED	COR AMOUNT	COR STATUS	PENDING COR AMOUNT	APPROVED AMOUNT	SOURCE OF REQUEST				OWNER CHANGE ORDER #	AUTHORIZED CHANGE ORDERS		REMARKS	
							OWNER	FIELD	DESIGN CONSULTANTS	CONSULTANTS		PREVIOUS	NEW		
1	ASI #2 Changes	11/16/23	\$2,366.45	reviewed		\$2,366.45		\$2,366.45			CO#1	\$2,366.45		completed	
2	Pressure Reducing Valve	9/5/23	\$5,841.30	reviewed		\$5,841.30		\$5,841.30			CO#2	\$5,841.30		completed	
3	Washer Dryer	9/13/23	\$9,467.45	reviewed		\$8,134.71		\$8,134.71			CO#3	\$8,134.71		T&M	
4	PVC Vent Plenum Insulation	12/18/23	\$8,222.50	reviewed		\$8,222.50		\$8,222.50			CO#4	\$8,222.50		completed	
5	Boiler Makeup water	12/20/23	\$6,621.57	reviewed		\$6,621.57		\$6,621.57			CO#5	\$6,621.57		completed	
TOTALS							\$32,519.27	\$0.00	\$31,186.53	\$8,134.71	\$2,366.45	\$20,685.37	\$31,186.53	\$0.00	



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www.calgiconstruction.com

CHANGE ORDER LOG

Project: Village of Ardsley Department of Public Works
SRI Fire Sprinkler - Contract No. 3 Fire protection

Client: Village of Ardsley

Change Order Log Summary Revision Date:

Change Order Log Revision Date:

March 1 2024
March 1 2024

Original Contract Sum - Total Base Bids and Alternates \$230,000.00
Previously Authorized Change Orders \$1,020.00
Contract Sum to Date \$231,020.00
New Change Orders \$0.00
New Contract Sum Including Change Orders to Date \$231,020.00
Pending COR Amount \$0.00
Total Contract Plus Pending \$231,020.00
% of Approved CO's against Original Contract Sum 0.44%

SRI Fire Sprinkler LLC - CONTRACT NO. 4 ELECTRICAL

PRIME COR #	DESCRIPTION	DATE COR RECEIVED	COR AMOUNT	COR STATUS	PENDING COR AMOUNT	APPROVED AMOUNT	OWNER	SOURCE OF REQUEST	DESIGN CONSULTANTS	OWNER CHANGE ORDER #	AUTHORIZED CHANGE ORDERS PREVIOUS	AUTHORIZED CHANGE ORDERS NEW	REMARKS
1	Additional Sprinkler Head in Compressor Room	5/24/23	\$1,020.00	processed		\$1,020.00		FIELD			\$1,020.00		completed
TOTALS			\$1,020.00		\$0.00	\$1,020.00	\$0.00				\$1,020.00	\$0.00	



CONSTRUCTION MANAGEMENT
OWNER'S REPRESENTATIVE
CONSULTING
GENERAL CONTRACTING

Established 1919

CHANGE ORDER LOG

Project: Village of Ardsley Department of Public Works
Client: Village of Ardsley
Change Order Log Summary Revision Date: March 1 2024
Change Order Log Revision Date: March 1 2024

Original Contract Sum - Total Base Bids and Alternates \$853,654.00
Previously Authorized Change Orders \$0.00
Contract Sum to Date \$853,654.00
New Change Orders \$5,412.00
New Contract Sum including Change Orders to Date \$859,066.00
Pending COR Amount \$0.00
Total Contract Plus Pending \$859,066.00
% of Approved CO's against Original Contract Sum 0.63%

PRIME COR #	DESCRIPTION	DATE RECEIVED	COR AMOUNT	COR STATUS	PENDING COR AMOUNT	APPROVED AMOUNT	SOURCE OF REQUEST				OWNER CHANGE ORDER #	AUTHORIZED CHANGE ORDERS		REMARKS	
							OWNER	FIELD	DESIGN CONSULTANTS	OWNER		PREVIOUS	NEW		
COR #1	Spiral exhaust reel extension	1/4/24	\$5,412.00	Processed			\$5,412.00						\$5,412.00		completed
TOTALS			\$5,412.00			\$0.00	\$5,412.00	\$0.00	\$0.00		\$0.00		\$5,412.00		



CONSTRUCTION MANAGEMENT
OWNER'S REPRESENTATIVE
CONSULTING
GENERAL CONTRACTING

Established 1919

CHANGE ORDER LOG

Project: Village of Ardsley Department of Public Works
Client: Village of Ardsley
Change Order Log Summary Revision Date: March 1 2024
Change Order Log Revision Date: March 1 2024

Original Contract Sum - Total Base Bids and Alternates \$1,389,000.00
Previously Authorized Change Orders \$22,173.48
Contract Sum to Date \$1,381,173.48
New Change Orders \$0.00
New Contract Sum Including Change Orders to Date \$1,381,173.48
Pending CO's Amount \$0.00
Total Contract Plus Pending \$1,381,173.48
% of Approved CO's against Original Contract Sum 1.53%

RLJ Electric Corporation - CONTRACT NO. 4 ELECTRICAL

PRIME COR #	DESCRIPTION	DATE COR RECEIVED	COR AMOUNT	COR STATUS	PENDING COR AMOUNT	APPROVED AMOUNT	OWNER	SOURCE OF REQUEST	FIELD	DESIGN CONSULTANTS	OWNER CHANGE ORDER #	AUTHORIZED CHANGE ORDERS PREVIOUS	AUTHORIZED CHANGE ORDERS NEW	REMARKS
1	not valid	NA												NA
2	Install conduit to Heatherhill pole	5/5/23	\$23,936.48	Rejected										Rejected
2.1	Install conduit to Heatherhill pole	9/18/23	\$11,466.66	Under review		\$11,466.66			\$11,466.66					Under Review
3	Temporary power	1/6/24	\$93,164.04	Rejected										Rejected
3.A	Temporary power R1	1/11/24	\$80,981.99	Rejected										Rejected
3.B	Temporary Power R2	1/18/24	\$78,378.33	Rejected										Rejected
4	Step up Transformer	12/22/23	\$10,385.98	Reviewed		\$10,385.98			\$10,385.98					completed
5	Pad and Excavation for Conduit Temp. Power	12/22/23	\$11,787.50	Reviewed		\$11,787.50			\$11,787.50					completed
TOTALS			\$310,100.98		\$0.00	\$33,640.14			\$21,852.64	\$11,787.50		\$22,173.48	\$0.00	



Village of Ardsley Department of Public Works Facility

Prime Contractor Application for Payment Summary

Date 2/31/2024

APS Contracting GC Original Contract Sum: \$14,637,000

AFP #	Period To	C.O.'s This Period	Contract Sum to Date	Total Completed & Stored	Total Retainage	Application Payment	Total Earned Less Retainage	Percent Complete
1	8/31/2023	\$ -	\$ 14,637,000.00	\$ 545,000.00	\$ 27,250.00	\$ 517,750.00	\$ 517,750.00	3.72%
2	9/30/2023	\$ -	\$ 14,637,000.00	\$ 1,307,250.00	\$ 65,362.50	\$ 724,137.50	\$ 1,241,887.50	9%
3	10/30/2023	\$ -	\$ 14,637,000.00	\$ 1,490,750.00	\$ 74,537.50	\$ 174,325.00	\$ 1,416,212.50	10%
4	11/30/2023	\$ -	\$ 14,637,000.00	\$ 1,915,150.00	\$ 95,757.50	\$ 403,180.00	\$ 1,819,392.50	13%
5	12/31/2023	\$ -	\$ 14,637,000.00	\$ 2,692,050.00	\$ 134,602.50	\$ 738,055.00	\$ 2,557,447.50	18%
6	1/31/2023	\$ -	\$ 14,637,000.00	\$ 3,706,825.00	\$ 185,341.25	\$ 964,036.25	\$ 3,521,483.75	25%
7	2/28/2023	\$ -	\$ 14,637,000.00	\$ 4,144,262.50	\$ 207,213.13	\$ 415,565.62	\$ 3,937,049.37	28%
8	3/31/2023	\$ 48,683.90	\$ 14,685,683.90	\$ 5,002,821.40	\$ 250,141.08	\$ 815,630.95	\$ 4,752,680.32	34%
9	4/30/2023	\$ 78,750.00	\$ 14,764,433.90	\$ 5,390,746.40	\$ 269,537.33	\$ 368,528.75	\$ 5,121,209.07	36%
10	5/31/2023	\$ 6,978.57	\$ 14,771,412.47	\$ 7,675,474.97	\$ 383,773.76	\$ 2,170,492.14	\$ 7,291,701.21	52%
11	6/30/2023	\$ -	\$ 14,771,412.47	\$ 10,303,312.47	\$ 515,165.64	\$ 2,496,445.62	\$ 9,788,146.83	70%
12	7/31/2023	\$ -	\$ 14,771,412.47	\$ 10,107,513.08	\$ 531,974.39	\$ 319,366.25	\$ 10,107,513.08	72%
13	8/31/2023	\$ -	\$ 14,771,412.47	\$ 11,141,337.47	\$ 557,066.89	\$ 476,757.50	\$ 10,584,270.58	75%
14	9/30/2023	\$ -	\$ 14,771,412.47	\$ 11,670,587.47	\$ 583,529.39	\$ 502,787.50	\$ 11,087,058.08	79%
15	10/31/2023	\$ -	\$ 14,771,412.47	\$ 12,204,337.47	\$ 610,216.69	\$ 507,062.60	\$ 11,594,120.58	82%
16	11/30/2023	\$ -	\$ 14,771,412.47	\$ 13,040,112.47	\$ 652,005.64	\$ 793,986.25	\$ 12,388,106.83	88%
17	12/31/2023	\$ -	\$ 14,771,412.47	\$ 13,424,987.47	\$ 671,249.39	\$ 365,631.25	\$ 12,753,738.08	91%
18	1/31/2024	\$ -	\$ 14,771,412.47	\$ 13,457,487.47	\$ 677,374.39	\$ 116,373.00	\$ 12,870,113.08	92%

Carey & Walsh MC Original Contract Sum: \$853,654

AFP #	Period To	C.O.'s This Period	Contract Sum to Date	Total Completed & Stored	Total Retainage	Application Payment	Total Earned Less Retainage	Percent Complete
1	2/2/2023	\$ -	\$ 853,654.00	\$ 9,500.00	\$ 475.00	\$ 9,025.00	\$ 9,025.00	1%
2	2/28/2023	\$	\$ 853,654.00	\$ 45,475.00	\$ 2,273.75	\$ 34,761.25	\$ 43,201.25	5%
3	3/31/2023	\$	\$ 853,654.00	\$ 54,075.00	\$ 2,703.75	\$ 8,170.00	\$ 53,171.25	6%
4r1	7/31/2023	\$	\$ 853,654.00	\$ 252,027.00	\$ 12,601.35	\$ 188,054.00	\$ 239,425.65	30%
5	8/31/2023	\$	\$ 853,654.00	\$ 315,042.00	\$ 15,752.00	\$ 59,864.25	\$ 299,289.90	37%
6	9/30/2023	\$	\$ 853,654.00	\$ 554,574.00	\$ 27,728.70	\$ 227,555.40	\$ 526,845.30	65%
7	10/31/2023	\$	\$ 853,654.00	\$ 651,184.00	\$ 32,559.20	\$ 91,779.50	\$ 618,624.80	76%
8	11/30/2023	\$	\$ 853,654.00	\$ 728,934.00	\$ 36,446.70	\$ 73,862.50	\$ 692,487.30	85%
9	12/31/2023	\$	\$ 853,654.00	\$ 775,924.00	\$ 38,796.20	\$ 44,640.50	\$ 737,127.80	91%
10	1/31/2024	\$ 5,412.00	\$ 859,066.00	\$ 810,996.00	\$ 40,549.80	\$ 33,318.40	\$ 770,446.20	94%

RU Electric EC Original Contract Sum: \$1,359,000

AFP #	Period To	C.O.'s This Period	Contract Sum to Date	Total Completed & Stored	Total Retainage	Application Payment	Total Earned Less Retainage	Percent Complete
1	1/27/2023	\$ -	\$ 1,359,000.00	\$ 222,250.00	\$ 11,113.00	\$ 211,137.00	\$ 211,137.00	16%
2	3/31/2023	\$	\$ 1,359,000.00	\$ 321,850.00	\$ 16,093.00	\$ 94,620.00	\$ 305,757.00	24%
3	4/30/2023	\$	\$ 1,359,000.00	\$ 399,250.00	\$ 19,163.00	\$ 73,530.00	\$ 379,287.00	29%
4	5/31/2023	\$	\$ 1,359,000.00	\$ 495,626.00	\$ 24,781.00	\$ 91,588.00	\$ 470,845.00	36%
5	7/31/2023	\$	\$ 1,359,000.00	\$ 661,934.00	\$ 34,838.65	\$ 191,089.65	\$ 661,934.35	51%
6	8/31/2023	\$	\$ 1,359,000.00	\$ 748,737.50	\$ 37,436.88	\$ 49,366.27	\$ 711,300.62	55%
7	9/30/2023	\$	\$ 1,359,000.00	\$ 804,987.50	\$ 40,249.38	\$ 53,437.50	\$ 764,738.12	59%
8	10/31/2023	\$	\$ 1,359,000.00	\$ 875,315.00	\$ 43,765.75	\$ 66,811.13	\$ 831,549.25	64%
9	11/30/2023	\$	\$ 1,359,000.00	\$ 1,006,451.00	\$ 50,322.55	\$ 124,579.20	\$ 956,128.45	74%
10	12/31/2023	\$	\$ 1,359,000.00	\$ 1,136,627.50	\$ 56,831.38	\$ 123,667.67	\$ 1,079,796.12	84%
11	1/31/2024	\$ 21,660.98	\$ 1,380,660.98	\$ 1,288,595.98	\$ 64,429.80	\$ 144,370.06	\$ 1,224,166.18	93%



CONSTRUCTION MANAGEMENT
 OWNER'S REPRESENTATIVE
 CONSULTING
 GENERAL CONTRACTING

LI Coppola PC Original Contract Sum:

\$758,500

AFP #	Period To	C.O.'s This Period	Contract Sum to Date	Total Completed & Stored	Total Retainage	Application Payment	Total Earned Less Retainage	Percent Complete
1	8/31/2022	\$ -	\$ 758,500.00	\$ 29,000.00	\$ 1,450.00	\$ 27,550.00	\$ 27,550.00	4%
2	11/9/2022	\$ -	\$ 758,500.00	\$ 36,000.00	\$ 1,800.00	\$ 6,650.00	\$ 34,200.00	5%
3	3/31/2023	\$ -	\$ 758,500.00	\$ 200,000.00	\$ 10,000.00	\$ 155,800.00	\$ 190,000.00	26%
4	5/31/2023	\$ -	\$ 758,500.00	\$ 350,500.00	\$ 17,525.00	\$ 142,975.00	\$ 332,975.00	46%
5	6/30/2023	\$ -	\$ 758,500.00	\$ 381,000.00	\$ 19,050.00	\$ 28,975.00	\$ 361,950.00	50%
6	8/31/2023	\$ -	\$ 758,500.00	\$ 413,500.00	\$ 20,675.00	\$ 30,875.00	\$ 392,825.00	55%
7	9/30/2023	\$ -	\$ 758,500.00	\$ 472,500.00	\$ 23,625.00	\$ 56,050.00	\$ 448,875.00	62%
8	10/31/2023	\$ -	\$ 758,500.00	\$ 532,000.00	\$ 26,600.00	\$ 56,525.00	\$ 505,400.00	70%
9	11/30/2023	\$ -	\$ 758,500.00	\$ 592,400.00	\$ 29,620.00	\$ 57,360.00	\$ 562,780.00	78%
10	12/31/2024	\$ -	\$ 758,500.00	\$ 620,700.00	\$ 31,035.00	\$ 26,885.00	\$ 589,665.00	81%
11	1/31/2024	\$ -	\$ 758,500.00	\$ 690,286.53	\$ 34,514.34	\$ 66,107.19	\$ 655,772.19	87%

SRI Fire Sprinkler FSC Original Contract Sum:

\$230,000

AFP #	Period To	C.O.'s This Period	Contract Sum to Date	Total Completed & Stored	Total Retainage	Application Payment	Total Earned Less Retainage	Percent Complete
1	8/31/2022	\$ -	\$ 230,000.00	\$ 6,700.00	\$ 335.00	\$ 6,365.00	\$ 6,365.00	2.91%
2	9/30/2022	\$ -	\$ 230,000.00	\$ 24,300.00	\$ 1,215.00	\$ 16,720.00	\$ 23,085.00	11%
3	2/28/2023	\$ -	\$ 230,000.00	\$ 25,175.00	\$ 1,258.00	\$ 831.25	\$ 23,916.25	11%
4	5/31/2023	\$ -	\$ 230,000.00	\$ 25,780.00	\$ 1,289.00	\$ 574.75	\$ 24,491.00	12%
5	7/31/2023	\$ -	\$ 230,000.00	\$ 89,408.50	\$ 4,470.42	\$ 60,447.08	\$ 84,938.00	39%
6	8/31/2023	\$ -	\$ 230,000.00	\$ 113,248.50	\$ 5,662.42	\$ 22,648.00	\$ 107,586.08	49%
7	9/30/2023	\$ -	\$ 230,000.00	\$ 157,613.20	\$ 7,880.66	\$ 42,146.46	\$ 149,732.54	69%
8	10/31/2023	\$ -	\$ 230,000.00	\$ 182,023.00	\$ 9,101.19	\$ 23,189.97	\$ 172,922.51	74%
9	11/30/2023	\$ -	\$ 230,000.00	\$ 198,873.70	\$ 9,943.69	\$ 16,007.50	\$ 188,930.01	86%

CHANGE ORDER
CONSTRUCTION MANAGER-ADVISOR EDITION
 AIA DOCUMENT G701/CMa

OWNER
 CONSTRUCTION MANAGER
 ARCHITECT
 CONTRACTOR
 FIELD
 OTHER

(Instructions on reverse side)

PROJECT: New Department of Public Works facility
 (Name and address) Village Of Ardsley
 507 Ashford Avenue
 Ardsley, NY 10502

CHANGE ORDER NO.: APS-004

INITIATION DATE: January 30, 2023

PROJECT NOS.: 1811 - C

CONTRACTOR: APS Contracting, Inc.
 (Name and address) 155-161 Pennsylvania Avenue
 Patterson, NJ 07503

CONTRACT FOR: CONTRACT NO. 001 GC

CONTRACT DATE: Signed June 6, 2022

The contract is changed as follows:

Footing Excavation:

GC PCO #004

Removal and replacement of approximately 20yds of unsuitable material found subgrade footings column line N (4-2) \$3,259.95

TOTAL **\$3,259.95**

Not valid until signed by the Owner, Construction Manager, Architect and Contractor.

The original (Contract Sum) (Guaranteed Maximum Price) was.....	\$14,637,000.00
Net change by previously authorized Change Orders.....	\$134,412.47
The (Contract Sum) (Guaranteed Maximum Price) prior to this Change Order was.....	\$14,771,412.47
The (Contract Sum) (Guaranteed Maximum Price) will be (increased) (decreased) (unchanged) by this Change Order.....	\$3,259.95
The new (Contract Sum) (Guaranteed Maximum Price) including this Change Order will be.....	\$14,774,672.42
The Contract Time will be (increased) (decreased) (unchanged) by.....	0 Day
The date of Substantial Completion as of the date of this Change Order therefore is.....	Unchanged

NOTE: This summary does not reflect changes in the Contract Sum, Contract Time or Guaranteed Maximum Price which have been authorized by Construction Change Directive.

Calgi Construction Management
 CONSTRUCTION MANAGER

Weston & Sampson, PE, LA, PC, ARCHITECTS, P.C.
 ARCHITECT

56 Lafayette Avenue, White Plains, NY 10603
 ADDRESS

1 Winners Circle, Suite 130, Albany, NY 12205
 ADDRESS

BY *Andrew Laidlaw* 2/5/2024
 Andrew Laidlaw, Project Manager DATE

BY *Denise* 1/31/2024
 DATE

APS Contracting, Inc.
 CONTRACTOR

Village of Ardsley
 OWNER

155-161 Pennsylvania Avenue Patterson, NJ 07503
 ADDRESS

507 Ashford Avenue Ardsley, NY 10502
 ADDRESS

BY *Dimitri Mitrov* 2/5/2024
 Dimitri Mitrov, Project Manager DATE

BY *David Digregorio* 3-14-24
 David Digregorio, Superintendent DATE



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G701/CMa-1992



PCO #004

APS Contracting, Inc.
155-161 Pennsylvania Avenue
Paterson, New Jersey 07503
Phone: (973) 754-1980
Fax: (973) 754-1909

Project: 135 - Village of Ardsley - New Public Works Facility
220 Heatherdell Road
Ardsley, New York 10502

Prime Contract Potential Change Order #004: Footing Excavation

TO:	Village of Ardsley 507 Ashford Avenue Ardsley, New York 10502	FROM:	APS Contracting, Inc 155-161 Pennsylvania Avenue Paterson, New Jersey 07503
PCO NUMBER/REVISION:	004 / 0	CONTRACT:	1 - GC Contract: Village of Ardsley Contract No. VOA-1811 New Public Works Facility
REQUEST RECEIVED FROM:		CREATED BY:	Stanka Stoilova (APS Contracting, Inc)
STATUS:	Pending - In Review	CREATED DATE:	1/30/2023
REFERENCE:		PRIME CONTRACT CHANGE ORDER:	None
FIELD CHANGE:	No		
LOCATION:		ACCOUNTING METHOD:	Amount Based
SCHEDULE IMPACT:		PAID IN FULL:	No
EXECUTED:	No	SIGNED CHANGE ORDER RECEIVED DATE:	
		TOTAL AMOUNT:	\$3,259.95

POTENTIAL CHANGE ORDER TITLE: Footing Excavation

CHANGE REASON: Allowance

POTENTIAL CHANGE ORDER DESCRIPTION: *(The Contract Is Changed As Follows)*
CE #011 - Footing Excavation
The following proposal is for the additional footing excavation and removal of unsuitable soil below subgrade.

ATTACHMENTS:
[CO#6 - Addl Footing Excavation & Removal of Unsuitable Soil COVER & BACKUP.pdf](#)

#	Budget Code	Description	Amount
1	320-320000.000.Subcontract Exterior Improvements.Subcontract	Footing Excavation	\$3,104.71
Subtotal:			\$3,104.71
O&P (5.00% Applies to Subcontract.):			\$155.24
Grand Total:			\$3,259.95

Jeffery Budrow (Weston & Sampson)
1 Winners CirY 12205
Albany, New York 12205

Village of Ardsley
507 Ashford Avenue
Ardsley, New York 10502

APS Contracting, Inc
155-161 Pennsylvania Avenue
Paterson, New Jersey 07503

_____ SIGNATURE	_____ DATE	_____ SIGNATURE	_____ DATE	_____ SIGNATURE	_____ DATE
--------------------	---------------	--------------------	---------------	--------------------	---------------

Tony Casale Inc.

1185 Saw Mill River Rd.
Yonkers, NY 10710
Phone: (914) 375-2177
Fax: (914) 375-0620

Request for Change Order

To: APS CONTRACTING, INC.
155-161 PENNSYLVANIA AVE
PATERSON, NJ 07503
Project: ARDSLEY DPW

RFC No: 6
Date: 1/12/2023
Description: CO#6 - Additional Footing Excavation & Removal of Unsuitable Soil
Below Subgrade

The above work is subject to the same conditions as specified in the original contract unless otherwise stipulated.

Upon approval the sum of \$3,104.71 will be added to the contract price.

Authorized Signature: _____ Date: _____
Tony Casale Inc.

Authorized Signature: _____ Date: _____
APS CONTRACTING, INC.

TONY CASALE INC.

1185 SAW HILL RIVER ROAD
 YONKERS, NEW YORK 10710
 TELEPHONE NUMBER: (914) 375-2177
 FAX NUMBER: (914) 375-0620

Project: Ardsley DPW
 Date: 12-Jan-23
 CO #: 6
 Subject: Additional Footing Excavation & removal of unsuitable soil below subgrade

Item	QTY	Unit	Labor Cost	Labor Total	Equipment Cost	Equipment Total	Material Cost	Material Total	Subcontractor Cost	Subcontractor Total
LABORERS (2)	2	MH	\$ 114.27	\$ 228.54	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
OPERATOR	1	MH	\$ 148.17	\$ 148.17	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Excavator	1	HR	\$ -	\$ -	\$ 88.00	\$ 88.00	\$ -	\$ -	\$ -	\$ -
3/4" Stone	20	CY	\$ -	\$ -	\$ -	\$ -	\$ 60.00	\$ 1,200.00	\$ -	\$ -
Truck & Dump Unsuitable Soil	1	LS	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 1,200.00	\$ 1,200.00
				\$ 376.71		\$ 88.00		\$ 1,200.00		\$ 1,200.00

NOTES:

Labor Total \$ 376.71
 Equipment Total \$ 88.00
 Material Total \$ 1,200.00
 Material Markup (10%) \$ 120.00
 Subcontractor Total \$ 1,200.00
 Subcontractor Markup (10%) \$ 120.00

CO TOTAL \$ 3,104.71

EXTRA WORK ORDER 06603

TONY CASALE

1185 SAW MILL RIVER RD. • YONKERS, N.Y. 10710
 PHONE: (914) 375-2177 FAX: (914) 375-0620
 WWW.TONYCASALEINC.COM

TO _____

JOB NAME 513 Ardsley
 DATE 01-10-23

MATERIAL	DESCRIPTION OF WORK
20 yards of 57 Stone for base	Digg Down 2'5" To Find THE ROCK For base
OUT 20 yards of WET DIRT TO PUT Stone for base	DIRT was wet AND PUT 2'5" OF 57 Stone Down For base
18' L X 12' W X 2'6" D	TO ELE. 264.50
EQUIPMENT	TO THE ROCK
238 Komatsu LHR	

	LABOR TYPE	QTY	HRS EACH	HRS TOTAL
	Operator	1	1 X 1	1
	Labor	2	1 X 2	2

Work ordered by _____
 Signature _____

I hereby acknowledge the satisfactory completion of the above described work.

CHANGE ORDER
CONSTRUCTION MANAGER-ADVISOR EDITION
 AIA DOCUMENT G701/CMa

OWNER
 CONSTRUCTION MANAGER
 ARCHITECT
 CONTRACTOR
 FIELD
 OTHER

(Instructions on reverse side)

PROJECT: New Department of Public Works facility
 (Name and address) Village Of Ardsley
 507 Ashford Avenue
 Ardsley, NY 10502

CHANGE ORDER NO.: APS-005

INITIATION DATE: May 22, 2023

PROJECT NOS.: 1811 - C

CONTRACTOR: APS Contracting, Inc.
 (Name and address) 155-161 Pennsylvania Avenue
 Patterson, NJ 07503

CONTRACT FOR: CONTRACT NO. 001 GC

CONTRACT DATE: Signed June 6, 2022

The contract is changed as follows:

Supply Material:

GC PCO #007

Supply and deliver stone dust and sand for conduit excavation to Heatherdell.

\$2,079.00

TOTAL \$2,079.00

Not valid until signed by the Owner, Construction Manager, Architect and Contractor.

The original (Contract Sum) (Guaranteed Maximum Price) was.....	\$14,637,000.00
Net change by previously authorized Change Orders.....	\$137,672.42
The (Contract Sum) (Guaranteed Maximum Price) prior to this Change Order was.....	\$14,774,672.42
The (Contract Sum) (Guaranteed Maximum Price) will be (increased) (decreased) (unchanged) by this Change Order.....	\$2,079.00
The new (Contract Sum) (Guaranteed Maximum Price) including this Change Order will be.....	\$14,776,751.42
The Contract Time will be (increased) (decreased) (unchanged) by.....	0 Day
The date of Substantial Completion as of the date of this Change Order therefore is.....	Unchanged

NOTE: This summary does not reflect changes in the Contract Sum, Contract Time or Guaranteed Maximum Price which have been authorized by Construction Change Directive.

Calgi Construction Management
 CONSTRUCTION MANAGER

Weston & Sampson, PE, LA, PC, ARCHITECTS, P.C.
 ARCHITECT

56 Lafayette Avenue, White Plains, NY 10603
 ADDRESS

1 Winners Circle, Suite 130, Albany, NY 12205
 ADDRESS

BY Andrew Laidlaw, Project Manager DATE 2/5/2024

BY Demetrius DATE 1/31/2024

APS Contracting, Inc.
 CONTRACTOR

Village of Ardsley
 OWNER

155-161 Pennsylvania Avenue Patterson, NJ 07503
 ADDRESS

507 Ashford Avenue Ardsley, NY 10502
 ADDRESS

BY Dimitri Mitrov, Project Manager DATE 2/5/2024

BY David DiGregorio, Superintendent DATE 3/14/24



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G701/CMa-1992



APS Contracting, Inc.
 155-161 Pennsylvania Avenue
 Paterson, New Jersey 07503
 Phone: +19737541980

PCO #007

Project: 135 - Village of Ardsley - New Public Works Facility
 220 Heatherdell Road
 Ardsley, New York 10502

Prime Contract Potential Change Order #007: Stone Dust & Sand

TO:	Village of Ardsley 507 Ashford Avenue Ardsley, New York 10502	FROM:	APS Contracting, Inc 155-161 Pennsylvania Avenue Paterson, New Jersey 07503
PCO NUMBER/REVISION:	007 / 0	CONTRACT:	1 - GC Contract: Village of Ardsley Contract No. VOA-1811 New Public Works Facility
REQUEST RECEIVED FROM:		CREATED BY:	Stanka Stoilova (APS Contracting, Inc)
STATUS:	Pending - In Review	CREATED DATE:	5/22/2023
REFERENCE:		PRIME CONTRACT CHANGE ORDER:	None
FIELD CHANGE:	No		
LOCATION:		ACCOUNTING METHOD:	Amount Based
SCHEDULE IMPACT:		PAID IN FULL:	No
EXECUTED:	No	SIGNED CHANGE ORDER RECEIVED DATE:	
		TOTAL AMOUNT:	\$2,079.00

POTENTIAL CHANGE ORDER TITLE: Stone Dust & Sand

CHANGE REASON: Allowance

POTENTIAL CHANGE ORDER DESCRIPTION: *(The Contract Is Changed As Follows)*

CE #023 - Stone Dust & Sand

The following proposal is for the additional stone dust & sand.

ATTACHMENTS:

[CO#14 - Stone Dust & Sand COVER & BACKUP.pdf](#)

#	Budget Code	Description	Amount
1	320-320000.000.Subcontract Exterior Improvements.Subcontract	Stone Dust & Sand	\$1,980.00
Subtotal:			\$1,980.00
Profit (5.00% Applies to Subcontract.):			\$99.00
Grand Total:			\$2,079.00

Jeffery Budrow (Weston & Sampson)
 1 Winners CirY 12205
 Albany, New York 12205

Village of Ardsley
 507 Ashford Avenue
 Ardsley, New York 10502

APS Contracting, Inc
 155-161 Pennsylvania Avenue
 Paterson, New Jersey 07503

SIGNATURE

DATE

SIGNATURE

DATE

SIGNATURE

DATE

Tony Casale Inc.

1185 Saw Mill River Rd.
Yonkers, NY 10710
Phone: (914) 375-2177
Fax: (914) 375-0620

Request for Change Order

To: APS CONTRACTING, INC.
155-161 PENNSYLVANIA AVE
PATERSON, NJ 07503
Project: ARDSLEY DPW

RFC No: 14
Date: 5/12/2023
Description: CO#14 - Stone Dust & Sand

OTHER TRADES REQUESTED TO TAKE THE FOLLOWING
MATERIAL AND REIMBURSE TCI. SEE BELOW MATERIAL &
PRICE BREAKDOWN PER LOAD

-TWO LOADS OF STONE DUST DELVIERED - \$1200
-ONE LOAD OF SAND - \$600

The above work is subject to the same conditions as specified in the original contract
unless otherwise stipulated.

Upon approval the sum of \$1,980.00 will be added to the contract price.

Authorized Signature: _____ Date: _____
Tony Casale Inc.

Authorized Signature: _____ Date: _____
APS CONTRACTING, INC.

EXTRA WORK ORDER 06635

TONY CASALE

1185 SAW MILL RIVER RD. • YONKERS, N.Y. 10710
 PHONE: (914) 375-2177 FAX: (914) 375-0620
 WWW.TONYCASALEINC.COM

TO APS

#513 #15 Let
 JOB NAME 220 Heather Dell Rd
 DATE 05-08-23

MATERIAL	DESCRIPTION OF WORK
2 TRIAXLE OF STONE DUST FOR PLUMBING	send one TRUCK TO GET 2 LOADS OF STONE DUST
1 TRIAXLE OF YELLOW SAND FOR THE EA ELECTRICAL	AND 1 Load OF SAND

EQUIPMENT

	LABOR TYPE	QTY	HRS EACH	HRS TOTAL

Work ordered by _____
 Signature *David Jones*

I hereby acknowledge the satisfactory completion of the above described work.

CHANGE ORDER
CONSTRUCTION MANAGER-ADVISOR EDITION
 AIA DOCUMENT G701/CMa

OWNER
 CONSTRUCTION MANAGER
 ARCHITECT
 CONTRACTOR
 FIELD
 OTHER

(Instructions on reverse side)

PROJECT: New Department of Public Works facility
 (Name and address) Village Of Ardsley
 507 Ashford Avenue
 Ardsley, NY 10502

CHANGE ORDER NO.: APS-006
 INITIATION DATE: November 22, 2023

CONTRACTOR: APS Contracting, Inc.
 (Name and address) 155-161 Pennsylvania Avenue
 Patterson, NJ 07503

PROJECT NOS.: 1811 - C
 CONTRACT FOR: CONTRACT NO. 001 GC
 CONTRACT DATE: Signed June 6, 2022

The contract is changed as follows:

Additional Excavation and Backfill:

GC PCO #0011

Provide labor and material to move the curb closer to the building at the buildings main entrance. \$2,538.17

TOTAL **\$2,538.17**

Not valid until signed by the Owner, Construction Manager, Architect and Contractor.

The original (Contract Sum) (Guaranteed Maximum Price) was.....	\$14,637,000.00
Net change by previously authorized Change Orders.....	\$139,751.42
The (Contract Sum) (Guaranteed Maximum Price) prior to this Change Order was.....	\$14,776,751.42
The (Contract Sum) (Guaranteed Maximum Price) will be (increased) (decreased) (unchanged) by this Change Order.....	\$2,538.17
The new (Contract Sum) (Guaranteed Maximum Price) including this Change Order will be.....	\$14,779,289.59
The Contract Time will be (increased) (decreased) (unchanged) by.....	0 Day
The date of Substantial Completion as of the date of this Change Order therefore is.....	Unchanged

NOTE: This summary does not reflect changes in the Contract Sum, Contract Time or Guaranteed Maximum Price which have been authorized by Construction Change Directive.

Calgi Construction Management
 CONSTRUCTION MANAGER
 56 Lafayette Avenue, White Plains, NY 10603
 ADDRESS
 BY Andrew Laidlaw, Project Manager DATE 2/5/2024

Weston & Sampson Engineers, Inc.
 ARCHITECT
 1 Winners Circle Albany N.Y. 12205
 ADDRESS D. Tenney III DATE 1/30/2024
 BY Daniel Tenney III, Project Architect

APS Contracting, Inc.
 CONTRACTOR
 155-161 Pennsylvania Avenue Patterson, NJ 07503
 ADDRESS
 BY Dimitri Mitano, Project Manager DATE 2/5/2024

Village of Ardsley
 OWNER
 507 Ashford Avenue Ardsley, NY 10502
 ADDRESS
 BY David DiGregorio, Superintendent DATE 3-14-24



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G701/CMa-1992



APS Contracting, Inc.
 155-161 Pennsylvania Avenue
 Paterson, New Jersey 07503
 Phone: +19737541980

PCO #011

Project: 135 - Village of Ardsley - New Public Works Facility
 220 Heatherdell Road
 Ardsley, New York 10502

Prime Contract Potential Change Order #011: Additional Excavation, Backfill

TO:	Village of Ardsley 507 Ashford Avenue Ardsley, New York 10502	FROM:	APS Contracting, Inc 155-161 Pennsylvania Avenue Paterson, New Jersey 07503
PCO NUMBER/REVISION:	011 / 0	CONTRACT:	1 - GC Contract: Village of Ardsley Contract No. VOA-1811 New Public Works Facility
REQUEST RECEIVED FROM:		CREATED BY:	Stanka Stoilova (APS Contracting, Inc)
STATUS:	Pending - In Review	CREATED DATE:	11/22/2023
REFERENCE:		PRIME CONTRACT CHANGE ORDER:	None
FIELD CHANGE:	No		
LOCATION:		ACCOUNTING METHOD:	Amount Based
SCHEDULE IMPACT:		PAID IN FULL:	No
EXECUTED:	No	SIGNED CHANGE ORDER RECEIVED DATE:	
		TOTAL AMOUNT:	\$2,538.17

POTENTIAL CHANGE ORDER TITLE: Additional Excavation, Backfill

CHANGE REASON: Allowance

POTENTIAL CHANGE ORDER DESCRIPTION: *(The Contract Is Changed As Follows)*
CE #032 - Additional Excavation, Backfill & Shift Curb Forms
 Additional Excavation, Backfill & Shift Curb Forms

ATTACHMENTS:

[CO#17 - Additional Excavation, Backfill & Shift Curb Forms COVER & BACKUP OWNER.pdf](#)

#	Budget Code	Description	Amount
1	320-320000.000.Subcontract Exterior Improvements.Subcontract	Additional Excavation, Backfill & Shift Curb Forms	\$2,417.30
Subtotal:			\$2,417.30
Profit (5.00% Applies to Subcontract.):			\$120.87
Grand Total:			\$2,538.17

Jeffery Budrow (Weston & Sampson)
 1 Winners CirY 12205
 Albany, New York 12205

Village of Ardsley
 507 Ashford Avenue
 Ardsley, New York 10502

APS Contracting, Inc
 155-161 Pennsylvania Avenue
 Paterson, New Jersey 07503

 SIGNATURE DATE

 SIGNATURE DATE

 SIGNATURE DATE

Tony Casale Inc.

1185 Saw Mill River Rd.
Yonkers, NY 10710
Phone: (914) 375-2177
Fax: (914) 375-0620

Request for Change Order

To: APS CONTRACTING, INC.
155-161 PENNSYLVANIA AVE
PATERSON, NJ 07503
Project: ARDSLEY DPW

RFC No: 17
Date: 11/17/2023
Description: CO#17 - Additional Excavation, Backfill & Shift Curb Forms Owner

The above work is subject to the same conditions as specified in the original contract unless otherwise stipulated.

Upon approval the sum of \$2,417.30 will be added to the contract price.

Authorized Signature: _____ Date: _____
Tony Casale Inc.

Authorized Signature: _____ Date: _____
APS CONTRACTING, INC.

TONY CASALE INC.

1165 SAW MILL RIVER ROAD
YONKERS, NEW YORK 10710

TELEPHONE NUMBER: (914) 375-2177
FAX NUMBER: (914) 375-0020

Project: Ardsley DPW
Date: 17-Nov-23
CO #: 17
Subject: Additional Excavation, Backfill & Shift Curb Forms

Per Ardsley DPW Superintendent: remove installed framing for concrete curb and reinstall per VOA new layout.

	QTY	Unit	Labor Cost	Labor Total	Equipment Cost	Equipment Total	Material Cost	Material Total	Subcontractor Cost	Subcontractor Total
Operator	5	MH	\$ 151.70	\$ 758.50	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Laborer	5	MH	\$ 117.59	\$ 587.95	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Carpenter	5	MH	\$ 126.17	\$ 630.85	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Excavator	5	HR	\$ -	\$ -	\$ 88.00	\$ 440.00	\$ -	\$ -	\$ -	\$ -
				\$ 1,977.30		\$ 440.00		\$ -		\$ -

Labor Total \$ 1,977.30
Equipment Total \$ 440.00
Material Total \$ -
Material Markup (10%) \$ -
Subcontractor Total \$ -
Subcontractor Markup (10%) \$ -

CO TOTAL \$ 2,417.30

CO TOTAL \$ 2,417.30

EXTRA WORK ORDER

2456

TONY CASALE

1185 SAW MILL RIVER RD. • YONKERS, N.Y. 10710
PHONE: (914) 375-2177 FAX: (914) 375-0620
WWW.TONYCASALEINC.COM

TO _____

JOB NAME #513 DPW ARD5Ler

DATE 11-04-23

MATERIAL

DESCRIPTION OF WORK

Remove Frame curb
Forms and Reintal & T/Kem
~~make~~ Close TO BUILDING
about 80'

EQUIPMENT

AX-57 Kubota 5 HRS

LABOR TYPE	QTY	HRS EACH	HRS TOTAL
------------	-----	----------	-----------

operator	1	5x1	5
carpenter	1	5x1	5
labor	1	5x1	5

Work ordered by

T. Casale

Signature

I hereby acknowledge the satisfactory completion of the above described work.

CHANGE ORDER
CONSTRUCTION MANAGER-ADVISOR EDITION
 AIA DOCUMENT G701/CMa

OWNER
 CONSTRUCTION MANAGER
 ARCHITECT
 CONTRACTOR
 FIELD
 OTHER

(Instructions on reverse side)

PROJECT: New Department of Public Works facility
 (Name and address) Village Of Ardsley
 507 Ashford Avenue
 Ardsley, NY 10502

CHANGE ORDER NO.: C&W-001

INITIATION DATE: January 4, 2024

PROJECT NOS.: 1811 - C

CONTRACTOR: Carey and Walsh, Inc.
 (Name and address) 529 North State Road, P.O. Box 2529
 Briarcliff Manor, New York 10510

CONTRACT FOR: Contract No. 1811-004 MC

CONTRACT DATE: Signed June 6, 2022

The contract is changed as follows:

Install 6" spiral pipe:
 MC PCO #001

Furnish and install 6" spiral pipe and gasketed stamped fittings to route the monoxivent ducting up and over the garage door. \$5,412.00

TOTAL **\$5,412.00**

Not valid until signed by the Owner, Construction Manager, Architect and Contractor.

The original (Contract Sum) (Guaranteed Maximum Price) was.....	\$853,654.00
Net change by previously authorized Change Orders.....	\$0.00
The (Contract Sum) (Guaranteed Maximum Price) prior to this Change Order was.....	\$853,654.00
The (Contract Sum) (Guaranteed Maximum Price) will be (increased) (decreased) (unchanged) by this Change Order.....	\$5,412.00
The new (Contract Sum) (Guaranteed Maximum Price) including this Change Order will be.....	\$859,066.00
The Contract Time will be (increased) (decreased) (unchanged) by.....	0 Day
The date of Substantial Completion as of the date of this Change Order therefore is.....	Unchanged

NOTE: This summary does not reflect changes in the Contract Sum, Contract Time or Guaranteed Maximum Price which have been authorized by Construction Change Directive.

Calgi Construction Management
 CONSTRUCTION MANAGER
 56 Lafayette Avenue, White Plains, NY 10603
 ADDRESS

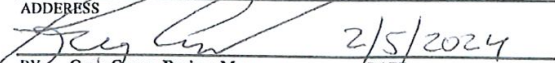
Weston & Sampson, PE, LA, PC, ARCHITECTS, P.C.
 ARCHITECT
 1 Winners Circle, Suite 130, Albany, NY 12205
 ADDRESS

BY  2/3/2024
 Andrew Laidlaw, Project Manager DATE

BY  1/31/2024
 DATE

Carey and Walsh, Inc.
 CONTRACTOR
 529 North State Road, P.O. Box 2529
 Briarcliff Manor, New York 10510
 ADDRESS

Village of Ardsley
 OWNER
 507 Ashford Avenue Ardsley, NY 10502
 ADDRESS

BY  2/5/2024
 Greg Carey, Project Manager DATE

BY  3-14-24
 David Digregorio, Superintendent DATE

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*MECHANICAL CONTRACTORS
INDOOR COMFORT SPECIALISTS*

**CAREY &
WALSH INC.**

529 North State Road, P.O. Box 2529
Briarcliff Manor, New York 10510
Tel. (914) 762-9600 Fax (914) 7629600

January 4, 2024

CALGI Construction Management
56 Lafayette Ave. Ste 350
White Plains, NY 10603

ATTN: Andrew Laidlaw

RE: Ardsley DPW Alternate Monoxivent ductwork routing

Carey and Walsh, Inc. is pleased to provide the following quotation to perform additional work at the above referenced project.

The price to furnish and install 6" spiral pipe and gasketed stamped fittings to route the monoxivent ducting up and over the garage door as discussed in the field and shown on the attached sketches is \$5,412.00. The breakdown is as follows:

Material **\$1,152.00**

- 70' of 6" spiral ductwork
- 6 – 6" stamped 45deg elbows with built in gaskets
- 4 – 6" stamped 90deg elbows with built in gaskets
- 20' of 1-5/8" Unistrut
- Band Iron strapping
- Hardware

Labor **\$4,260.00**

- Survey and field measure 1 man 1 hour
- Install spiral pipe 2men 1-1/2 days
- Material Delivery

We appreciate the opportunity to provide this proposal and please feel free to contact me with any questions.

Respectfully submitted,

Greg Carey
Project Manager



60 HOSE
LENGTH
OF REEL

HISU ROOF
DOSENECK

MOUNTING HEIGHT AND LOCATION
TO BE COORDINATED
WITH OWNER/ARCHITECT

VERTICAL
VENT K&G UH-121
21-
ABO
1
FLC

4" VERTICAL
VEN
WITH TE

6' extend down
to 10' support
allow 13" gap

ALL extend supports
for CO?

6' extend down
to support
for CO?

4

5

- 70' 0" steel
- 3000' 1200
- 200' 12" steel
- 4' 90' steel
- 6' 115' steel

7


**RESOLUTION DECLARING LEAD AGENCY AND SCHEDULING A
PUBLIC HEARING FOR
RIVER ROCK MUSIC SCHOOL, 721 SAW MILL RIVER ROAD**

RESOLVED, that the Village Board of the Village of Ardsley hereby declares itself Lead Agency for a proposed modification of the existing use to allow “Sip ‘n Strum” events at River Rock Music School, located at 721 Saw Mill River Road; and

NOW THEREFORE BE IT FURTHER RESOLVED, that the Village Board of the Village of Ardsley hereby schedules a public hearing on Monday, April 15, 2024 at 8:00 p.m. or soon thereafter to discuss the proposed request for this event.

MEMO

TO: Mayor Kaboolian
Village Board of Trustees

FROM: Larry J. Tomasso 

DATE: March 27, 2024

RE: River Rock Music School, 721 Saw Mill River Road

Ken Baum of the River Rock Music School applied for a permit to hold “an occasional, regular (monthly)” “Sip ‘n Strum” event at the school which is located at 721 Saw Mill River Road. As Mr. Baum outlined in his letter, during the event, a maximum of 20 adults would be able to play instruments in a casual atmosphere while being provided light snacks and wine and beer.

Based on my preliminary review, it appears that the addition of these events would not alter the approved use based on the NYS Building Code. However, the addition of these events will cause a substantial enough change in the use from a zoning standpoint to require Village Board approval.

The Village Board should declare itself Lead Agency for this review and schedule a public hearing for the 4/15/24 agenda.

Let me know if you need any additional information.

Files: VILLAGE BOARD/smrr721 river rock music 03-27-24

721 Saw Mill River Rd.
April 1, 2024

Board of Trustees
Village of Ardsley
507 Ashford Ave
Ardsley, NY 10502

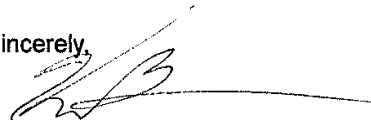
Dear Board Members,

I am seeking approval to hold an occasional, regular (monthly) event at River Rock School. The proposed event, called "Sip 'N Strum," would occur at the school location (721 Saw Mill River Rd) between the hours of 7:00 PM and 10:00 PM, most likely on a Thursday or Friday night.

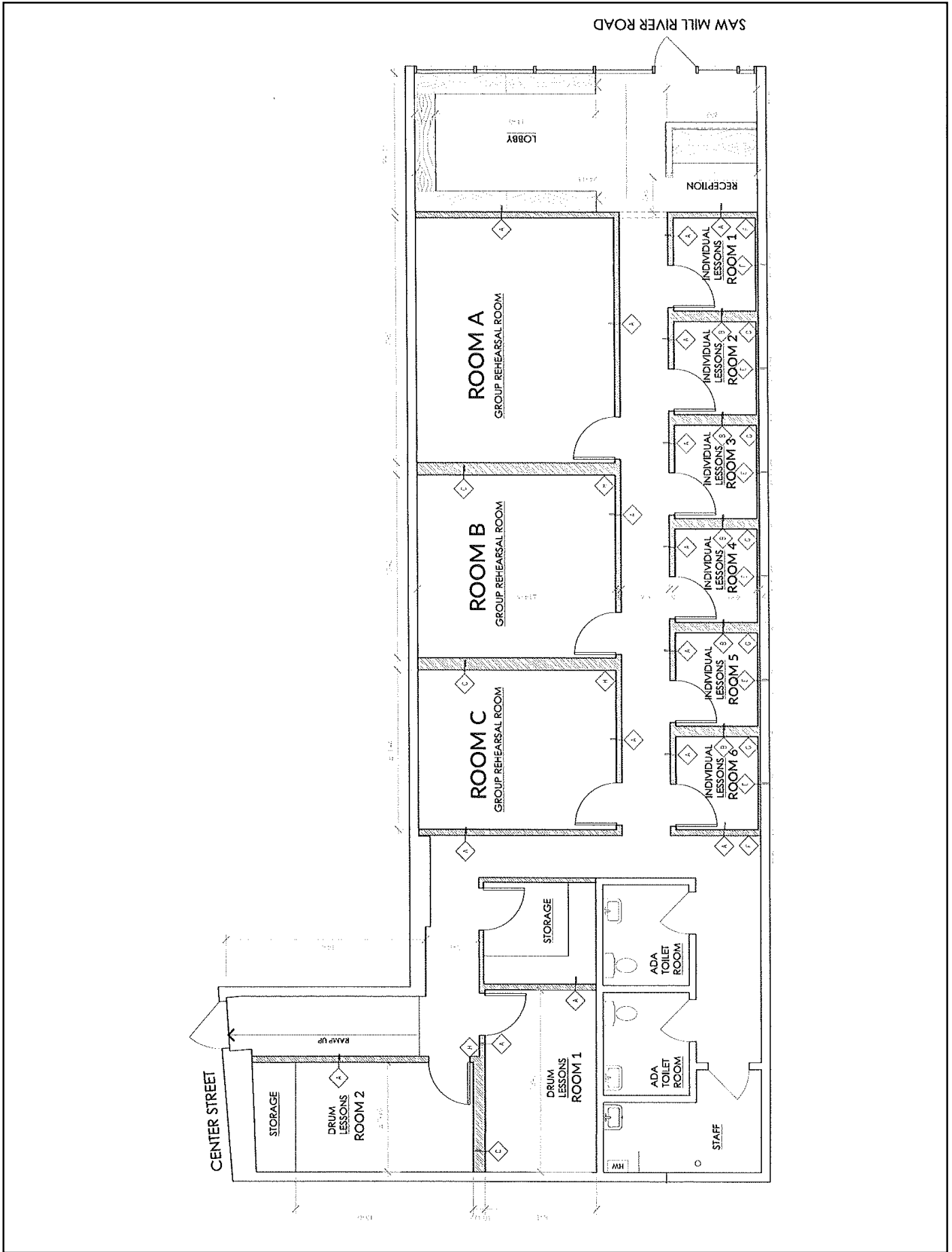
During this event, adults (21+) would play instruments in a casual atmosphere and would be provided with light snacks and wine/beer. I would obtain the appropriate NYS alcohol permits and I, along with one of my designated employees, would ensure that alcohol consumption was limited and reasonable. I have checked both with my architect and with the Building Inspector, who both say that the proposed use is within the current certificate of occupancy and would require no variances. Prior registration would be required (no walk-ins), and we would cap this event to 20 people (exclusive of staff). Please note that I am greatly aware of the traffic situation in the shopping plaza and would make sure that traffic in/out was smooth and safe. I would of course notify Ardsley PD of dates of the events far in advance so they are aware of an atypical number of cars in the plaza.

By opening this up to those who play music already in addition to complete beginners, it is my hope to provide a space for a supportive, musical community to grow in Ardsley. I would greatly appreciate your consideration.

Sincerely,



Ken Baum
Managing Member
River Rock Music, LLC



ARDSLEY ASSOCIATES
110 WEST 34TH STREET, 9fl.
NEW YORK, NY 10001

March 18, 2024

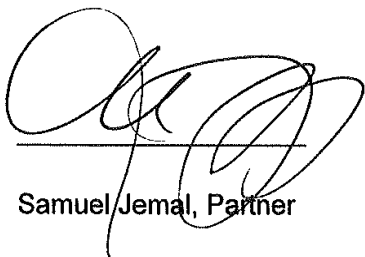
River Rock Music, LLC
721 Saw Mill River Rd.
Ardsley, NY 10502

Dear Mr. Baum,

This letter is to grant permission for River Rock Music, LLC to use the premises located at 721 Saw Mill River Road, Ardsley, NY for the purpose of your "Sip & Strum" event, which will have adults of legal age playing music, socializing, and having wine/beer/refreshments. We understand that this will occur approximately once per month and will take place in the evenings between 7pm and 10pm.

I would also like for you to ensure that a staff member is onsite making sure that alcohol consumption is not excessive. Thank you for your attention and best of luck with your events.

Sincerely,



Samuel Jemal, Partner

3/22/24
DATE

**A RESOLUTION APPROVING AND ACCEPTING THE
SETTLEMENT OF THE MATTER OF THE APPLICATION OF
1007-11 YONKERS AVENUE LLC - SECTION 6.50, BLOCK 18,
LOT 2 – 468-472 ASHFORD AVENUE**

WHEREAS, 1007-11 YONKERS AVENUE LLC commenced proceedings in Supreme Court, Westchester County to challenge the assessment placed on its property for the tax Assessment Years 2021 – 2023, and

WHEREAS, the Village of Ardsley has contested that challenge and defended its assessment roll, and

WHEREAS, the Town of Greenburgh (“Town”) has defended this claim, and the Town having now settled on the following terms, and

WHEREAS, the Town and property owners have reached a mutually agreeable resolution via Consent Judgment; and

WHEREAS, the Town commissioned and/or conducted a preliminary analysis, and

WHEREAS, the Ardsley School District has reviewed such settlement and has approved same, and

WHEREAS, the Town of Greenburgh is awaiting approval from the Village of Ardsley before preparing and passing their Resolution settling this matter, and

WHEREAS, after consultation between Village counsel and Tax Certiorari counsel for the Town of Greenburgh, Dylan Harris, Esq., and Town Attorney, Joseph A. Danko, Esq., with counsel for the Ardsley School District and the Board of Education having approved this settlement via Resolution on or about Jan 23, 2024 (see letter from

Ardley Union Free School District Counsel to the Town of Greenburgh dated February 18, 2024 and the Resolution attached), and

WHEREAS, in light of the settlement reached by the Town of Greenburgh and approved by the School District, the Village of Ardsley now believes that the settlement which has been achieved by Consent Judgment represents the best interests of the Village and its residents and resolves these lawsuits without the risk and cost of further litigation,

NOW THEREFORE BE IT RESOLVED, that the Village Board is authorized to adopt the Consent Judgment settling that property's Assessment years as follows:

<u>Year</u>	<u>Assessed Valuation</u>		<u>Reduction</u>
	<u>Reduced From</u>	<u>Reduced To</u>	
2021	2,490,500	1,800,000	690,500
2022	2,568,300	1,800,000	768,300
2023	2,568,300	1,800,000	768,300

AND BE IT FURTHER RESOLVED, that the Interim Village Counsel is authorized to execute the Consent Judgment, if requested, and the Village Treasurer is authorized to compute and process for payment the foregoing Consent Judgment by the Court and to issue the appropriate refund as provided in the Consent Judgment for Assessment Years 2021 and 2022, inasmuch as the Village Property Tax bill referable to the 2023 Assessment Year has not yet been issued, which present refund is estimated to total a combined refund of \$23,612.22 For Assessment Years 2021 and 2022.

**A RESOLUTION APPROVING AND ACCEPTING THE
SETTLEMENT OF THE MATTER OF THE APPLICATION OF
R.S.A. CORPORATION - SECTION 6.50, BLOCK 18,
LOTS 10 & 12 – 690 & 692 SAW MILL RIVER ROAD**

WHEREAS, R.S.A. CORPORATION commenced proceedings in Supreme Court, Westchester County to challenge the assessment placed on its property for the tax Assessment Years 2018 – 2022, for both lots, and

WHEREAS, the Village of Ardsley has contested that challenge and defended its assessment roll, and

WHEREAS, the Town of Greenburgh (“Town”) has defended this claim, and the Town having now settled on the following terms, and

WHEREAS, the Town and property owners have reached a mutually agreeable resolution via Consent Judgment; and

WHEREAS, the Town commissioned and/or conducted a preliminary analysis, and

WHEREAS, the Ardsley School District has reviewed and will be asked to approve this settlement on similar terms, and

WHEREAS, after consultation between Village counsel and Tax Certiorari counsel for the Town of Greenburgh, Dylan Harris, Esq., and Town Attorney, Joseph A. Danko, Esq., with counsel for the Ardsley School District and the Board of Education having approved this settlement (see letter from Ardsley Union Free School District Counsel to the Town of Greenburgh dated November 12, 2023 and Resolution attached), and

WHEREAS, in light of the settlement reached by the Town of Greenburgh and approved by the School District, the Village of Ardsley now believes that the settlement which has been achieved by Consent Judgment represents the best interests of the Village and its residents and resolves these lawsuits without the risk and cost of further litigation,

NOW THEREFORE BE IT RESOLVED, that the Village Board is authorized to adopt the Consent Judgment settling that property's Assessment years as follows:

Lot 10

<u>Tax ID</u>	<u>Assessment Roll Year</u>	<u>Assessment Reduced From</u>	<u>Valuation Reduced To</u>	<u>Amount of Reduction</u>
6.50-18-10	2018	\$1,440,000	\$1,103,166	\$336,834
6.50-18-10	2019	\$1,440,000	\$1,103,166	\$336,834
6.50-18-10	2020	\$1,440,000	\$1,103,166	\$336,834
6.50-18-10	2021	\$1,378,600	\$1,095,802	\$282,798
6.50-18-10	2022	\$1,401,300	\$1,095,844	\$305,456

Lot 12

<u>Tax ID</u>	<u>Assessment Roll Year</u>	<u>Assessment Reduced From</u>	<u>Valuation Reduced To</u>	<u>Amount of Reduction</u>
6.50-18-12	2018	\$322,200	\$246,834	\$75,366
6.50-18-10	2019	\$322,200	\$246,834	\$75,366
6.50-18-10	2020	\$322,200	\$246,834	\$75,366
6.50-18-10	2021	\$319,800	\$254,198	\$65,602
6.50-18-10	2022	\$325,000	\$254,156	\$70,844

AND BE IT FURTHER RESOLVED, that the Interim Village Counsel is authorized to execute the Consent Judgment, if requested, and the Village Treasurer is authorized to compute and process for payment the foregoing Consent Judgment by the Court and to issue the appropriate refund as provided in the Consent Judgment, which is estimated to total a combined refund of \$20,168.09.