

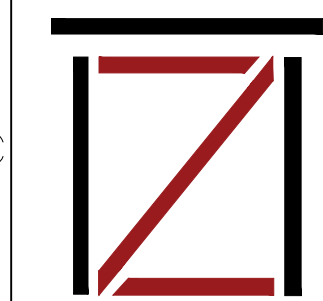
ELJAMAL RESIDENCE

9 CROSS ROAD, ARDSLEY, NY 10502

Issued for ZBA 09.10.2021

ELJAMAL RESIDENCE

9 CROSS ROAD, ARDSLEY, NY 10502
ZONE: R3 SECTION: 6.120 BLOCK: 103, LOT: 10

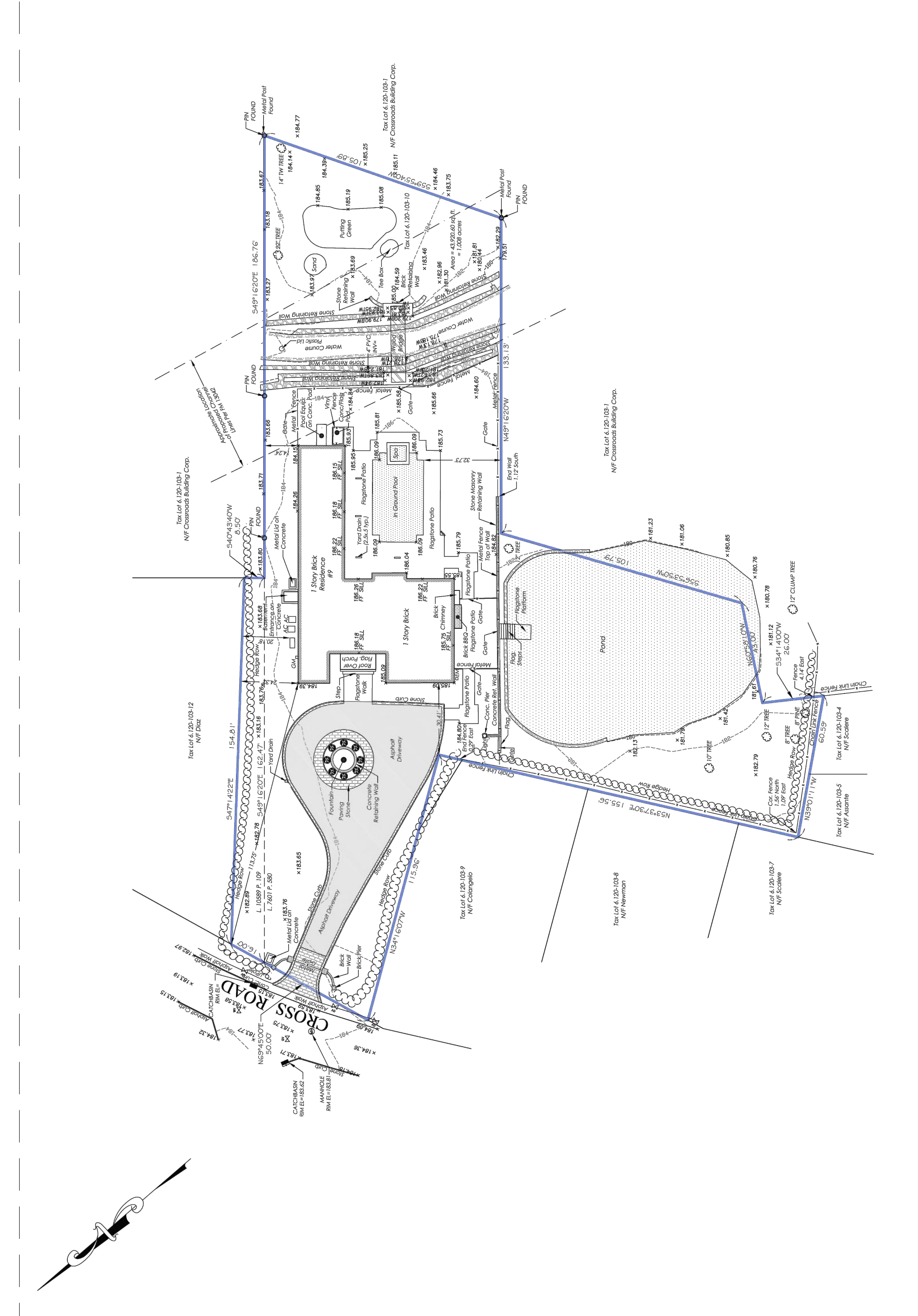


F Z A D
ARCHITECTURE + DESIGN
16 WEST 56TH STREET, 5TH FLOOR, NEW YORK, NY 10019
T 212.243.2933 F 212.243.2868 E FZ@FZAD.COM

Client:
Sammy Eljama
9 Cross Road
Ardsley, NY 10502
T 914.693.2145
F 914.896.5681

TOPOGRAPHY OF PROPERTY PREPARED FOR TAX LOT 10
VILLAGE OF ARDSLEY
WESTCHESTER COUNTY, NEW YORK
SCALE: 1" = 20'
GRAPHIC SCALE

Stamped in accordance with Elected Law 1002, Part 100 and Elected Law 1005B, Part 109 of the Village of Ardsley, New York. This drawing is a site survey and is not to be used for any other purpose. It is the responsibility of the client to verify the accuracy of the information provided herein. The client shall be responsible for any errors or omissions in this drawing. The client shall be responsible for any costs incurred in the preparation of this drawing. The client shall be responsible for any damages caused by the use of this drawing. The client shall be responsible for any legal action taken against the architect or designer. The client shall be responsible for any costs incurred in the preparation of this drawing. The client shall be responsible for any damages caused by the use of this drawing. The client shall be responsible for any legal action taken against the architect or designer.



3 SITE SURVEY
NTS

Building Information

Name of Project: Eljama Residence
Address: 9 Cross Road, Ardsley, NY 10502
Existing Use: Residential - No Change
Client: Sammy Eljama
9 Cross Road, Ardsley, NY 10502
E-mail address: musa@foodsmartcs.com
Phone #: (914) 693-2145

Building Code Jurisdiction

Erect a Building Addition to a Building Install a Sign Other
 Alter a Building Repairs/Replacement Demolish Building

Building Data

Existing Floor Area: 3,770 sq. ft.
Proposed Floor Area: 632
Total Floor Area: 4,402 sq. ft.
Building Coverage: 4,402 sq. ft.

Zoning Analysis

Section: 6.120
Block No.: 103
Lot No.: 10
Zoning District: R3-40,000 sq.ft. or more - One family residential
Lot Coverage: Not more than 28% of the area of the lot
Lot Area: 43,911 SQFT - 75% OF WETLANDS = 37,027 SQ FT
Max Permitted Floor Area: 7,150 SQFT
Max Permitted Land Coverage: 8,100 SQFT
Max Building Height: 30 Feet and/or 2 Stories
Yard Set Back: Front: 20 ft Sides: 15 ft Rear: 20 ft
Street Frontage: 60 ft

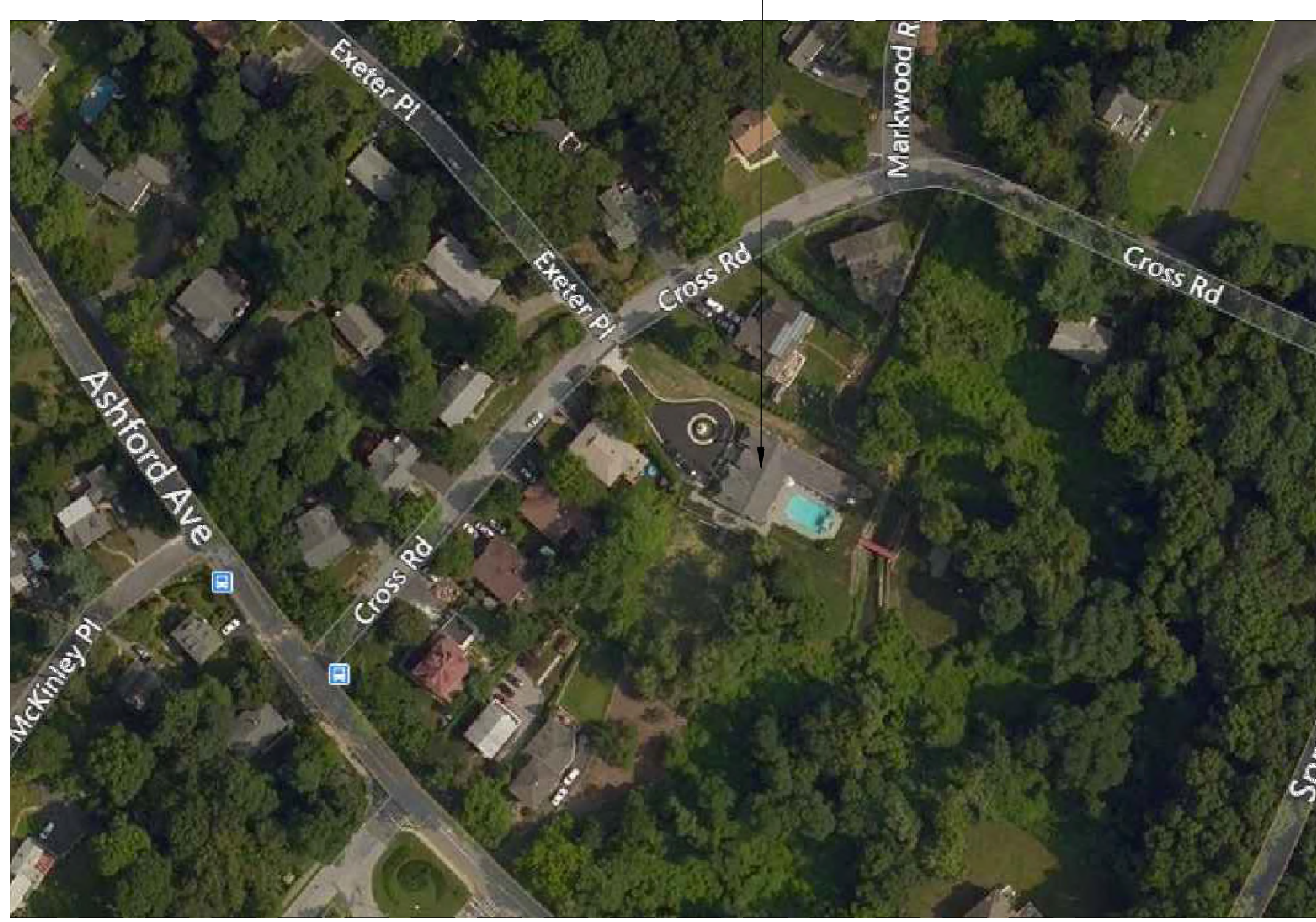
Scope of Work

Addition to the building. Remove interior partitions and door.
Install interior partitions, door, finishes, plumbing fixtures, electrical.
No change to use and occupancy.

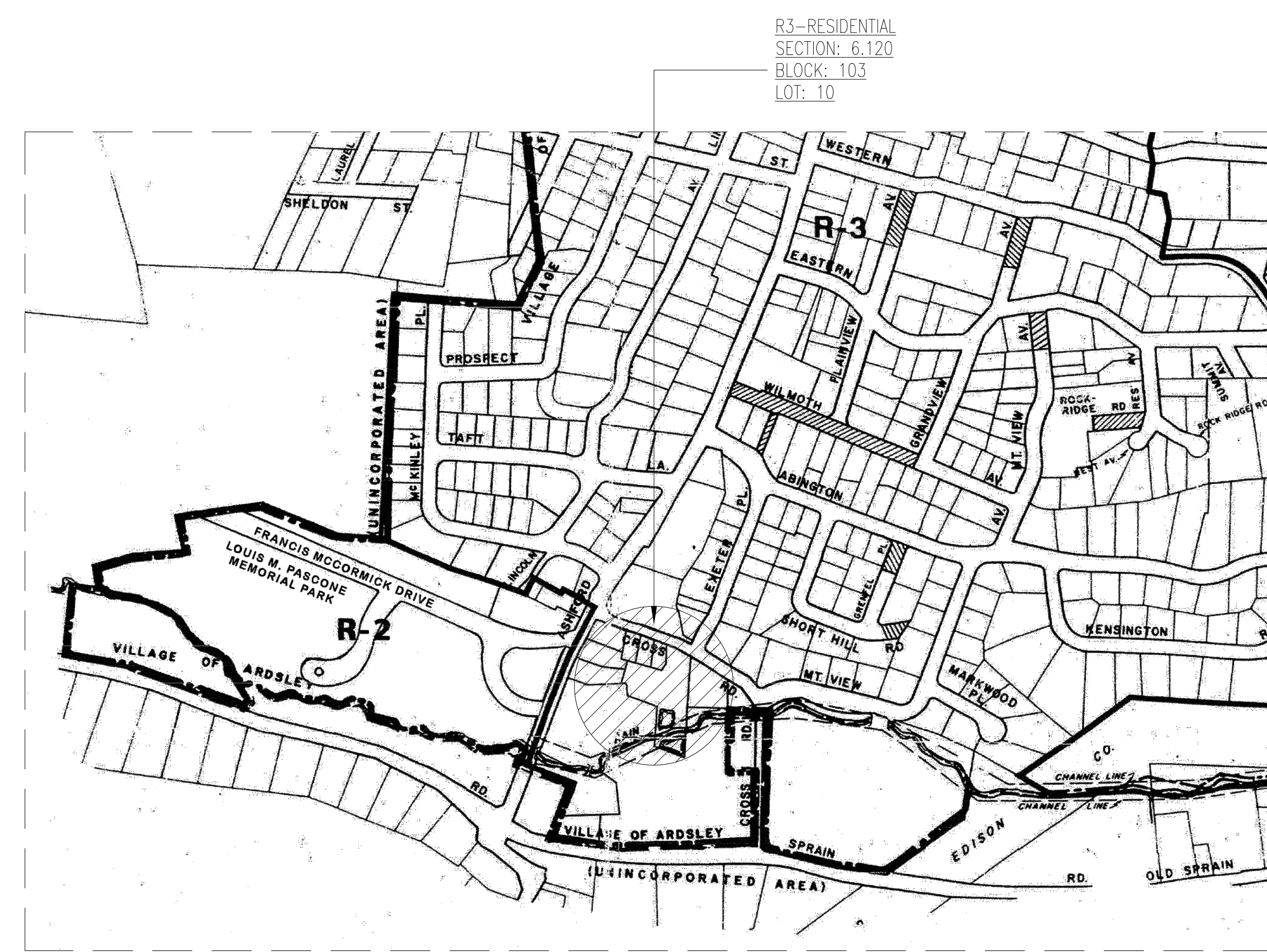
DRAWING INDEX

I. ARCHITECTURAL

- Sheet Description
- T-000.00 TITLE SHEET
 - G-100.00 SITE PLAN
 - G-101.00 SITE COVERAGE CALCULATIONS
 - A-100.00 EXISTING PLAN
 - DM-101.00 DEMOLITION FLOOR PLAN
 - A-103.00 EXTERIOR ELEVATIONS
 - A-400.00 1ST FLOOR CONSTRUCTION PLAN



2 AERIAL PHOTO
NTS



1 ZONE DISTRICT R3 - RESIDENTIAL
NTS

No.	Description	Date
7	Issued For Zoning	09.10.2021
6	Issued For Zoning	07.13.2021
5	Issued For Planning Board	12.04.2020
4	Issued For DOB	01.15.2020
3	Issued For DOB	11.11.2018
2	Issued For Bidding	09.07.2018
1	Issued For Client	09.07.2018

PROJECT: **ELJAMAL RESIDENCE**

TITLE SHEET

REGISTERED ARCHITECT
FRANCIS M. MCCORMICK
STATE OF NEW YORK
014123

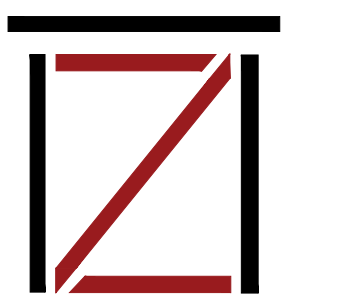
Floor: 1st fl.
Project #: 17-106

DWG: **T-000.00**

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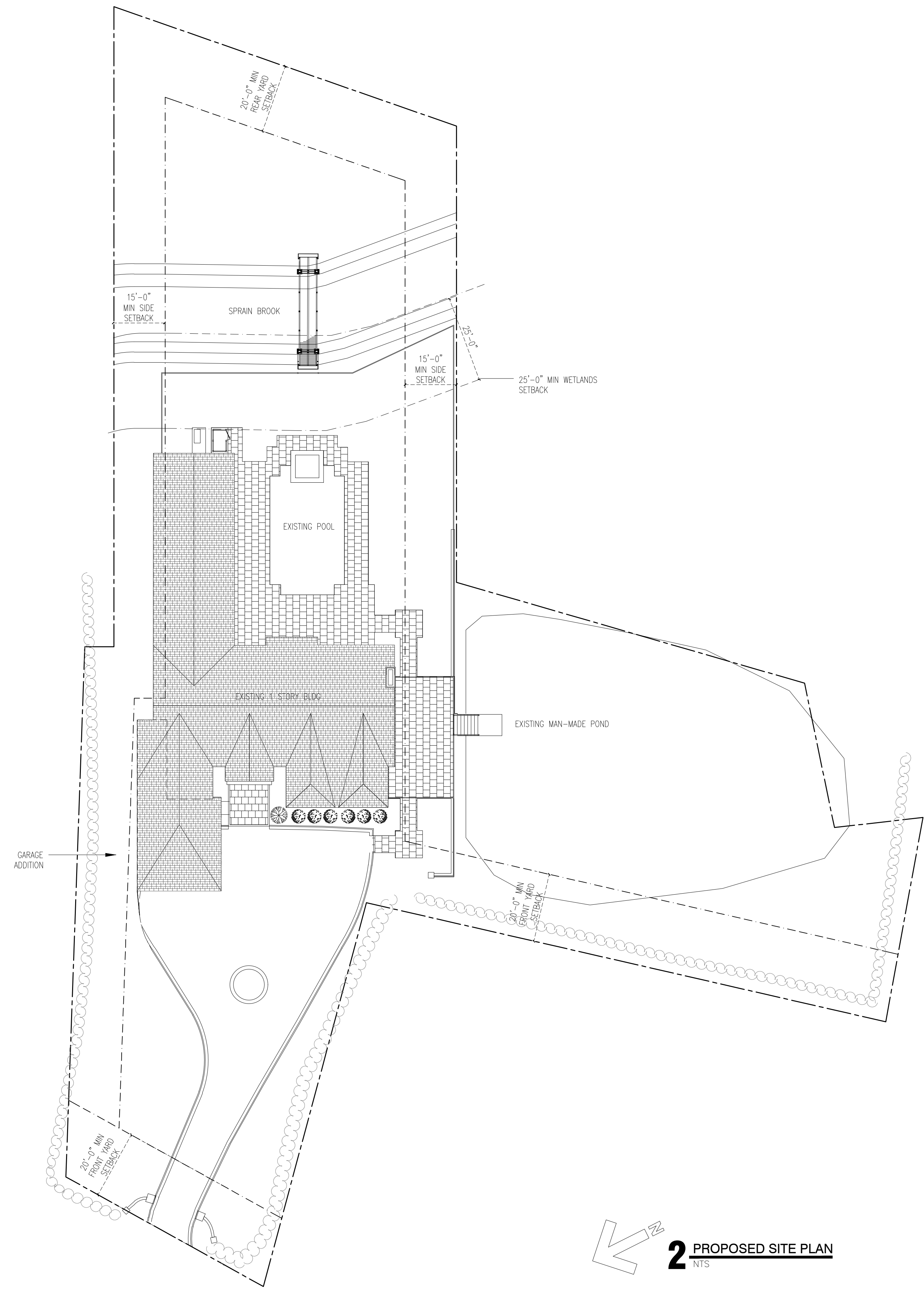
ELJAMAL RESIDENCE

9 CROSS ROAD, ARDSLEY, NY 10502
 ZONE:R3 SECTION:6.120 BLOCK:103, LOT:10

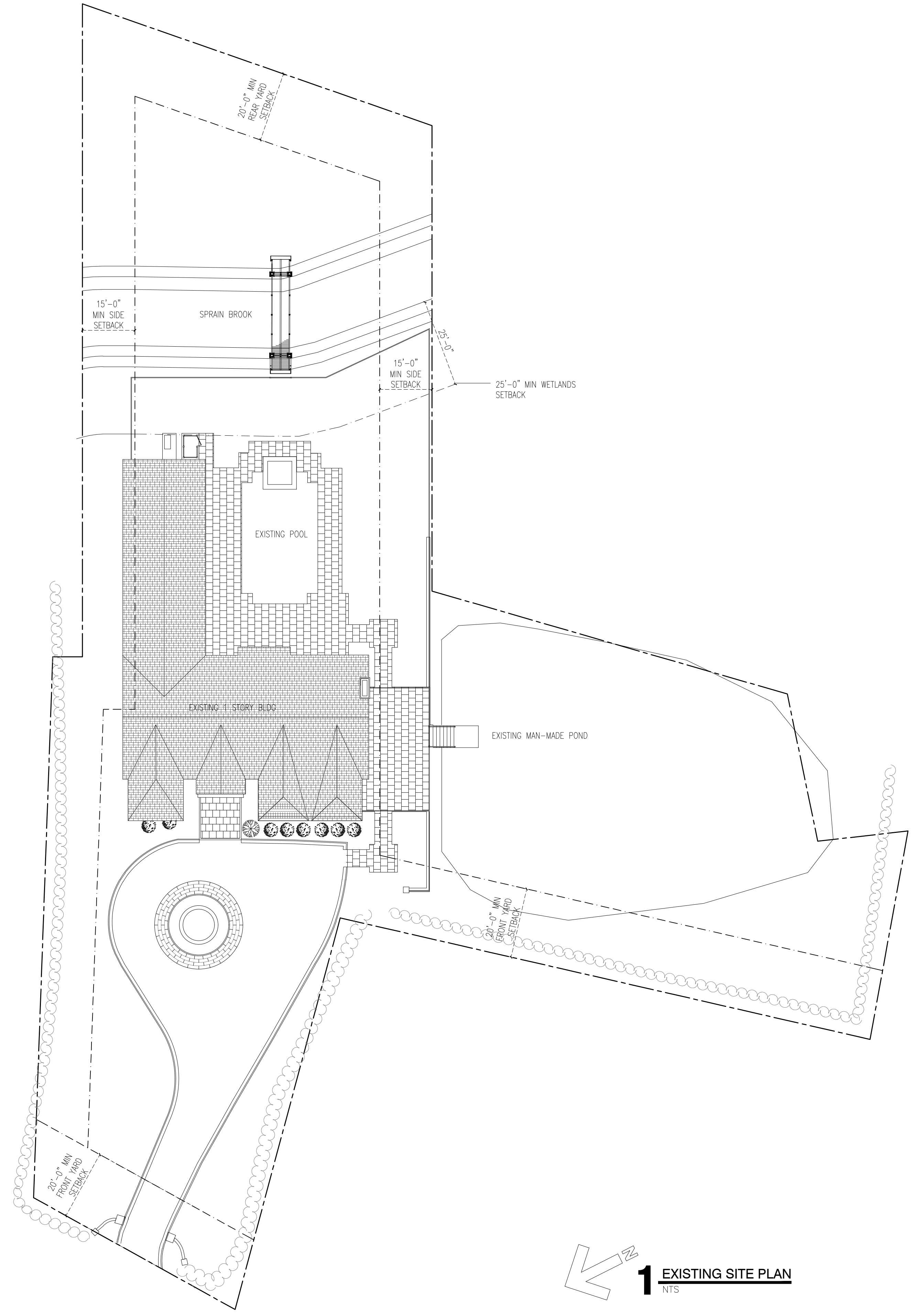


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2 PROPOSED SITE PLAN
 NTS



1 EXISTING SITE PLAN
 NTS

No.	Description	Date
5	Issued For Zoning	09.10.2021
4	Issued For Zoning	07.13.2021
3	Issued For Planning Board	12.04.2020
2	Issued For DOB	01.15.2020
1	Issued For DOB	11.11.2018

PROJECT: **ELJAMAL RESIDENCE**

EXISTING AND PROPOSED SITE PLAN



Floor: 1st fl.
 Project #: 17-106
 DWG:
G-100.00

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ELJAMAL RESIDENCE

9 CROSS ROAD, ARDSLEY, NY 10502
ZONE: R3 SECTION: 18-08B BLOCK: 00, LOT: P76



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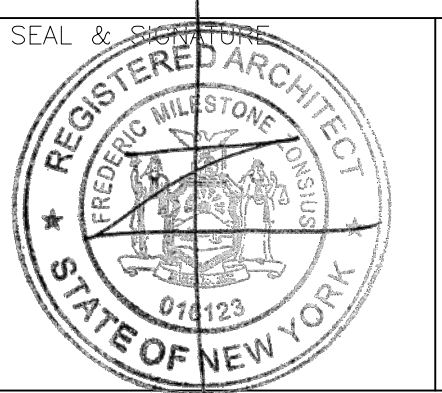
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6	Issued For Planning Board	12.04.2020
5	Issued For DOB	01.15.2020
4	Issued For DOB Review	06.24.2019
3	Issued For DOB Review	01.17.2019
2	Issued For DOB	11.11.2018
1	Issued For Client Review	09.22.2017

PROJECT: **ELJAMAL RESIDENCE**

SITE PLAN ANALYSIS



Floor:
Project #:
DWG:
G-101.00

COVER AGE CALCULATIONS FOR COMPLIANCE WITH THE VILLAGE OF ARDSLEY
LAND COVERAGE FOR ONE FAMILY DWELLING LOTS

	EXISTING PRINCIPAL BUILDINGS	3,770 SF
	EXISTING TERRACE, WALKWAY DRIVEWAY, PARKING AREAS	7,970 SF
TOTAL EXISTING GROSS LAND COVERAGE		11,740 SF
MAXIMUM PERMITTED GROSS LAND COVERAGE		8,100 SF
EXISTING NON-COMPLYING STATUS		

2 EXISTING LAND COVERAGE TABLE

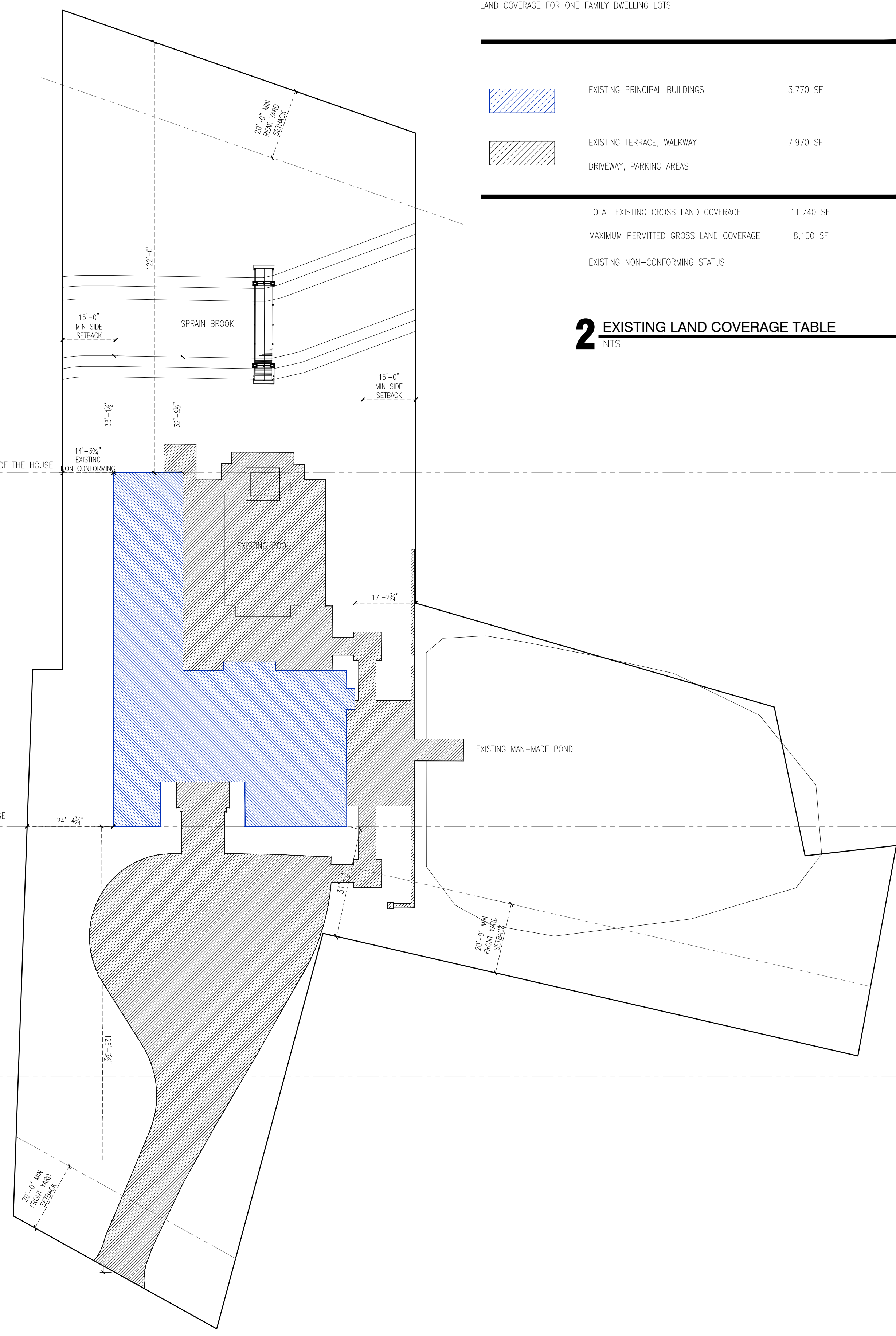
NTS

COVER AGE CALCULATIONS FOR COMPLIANCE WITH THE VILLAGE OF ARDSLEY
LAND COVERAGE FOR ONE FAMILY DWELLING LOTS

	EXISTING PRINCIPAL BUILDINGS	3,770 SF
	EXISTING + PROPOSED TERRACE, WALKWAY, DRIVEWAY, PARKING AREAS	7,690 SF
	PROPOSED BUILDING EXTENSION, GARAGE	833 SF
TOTAL PROPOSED GROSS LAND COVERAGE		12,293 SF
MAXIMUM PERMITTED GROSS LAND COVERAGE		8,100 SF

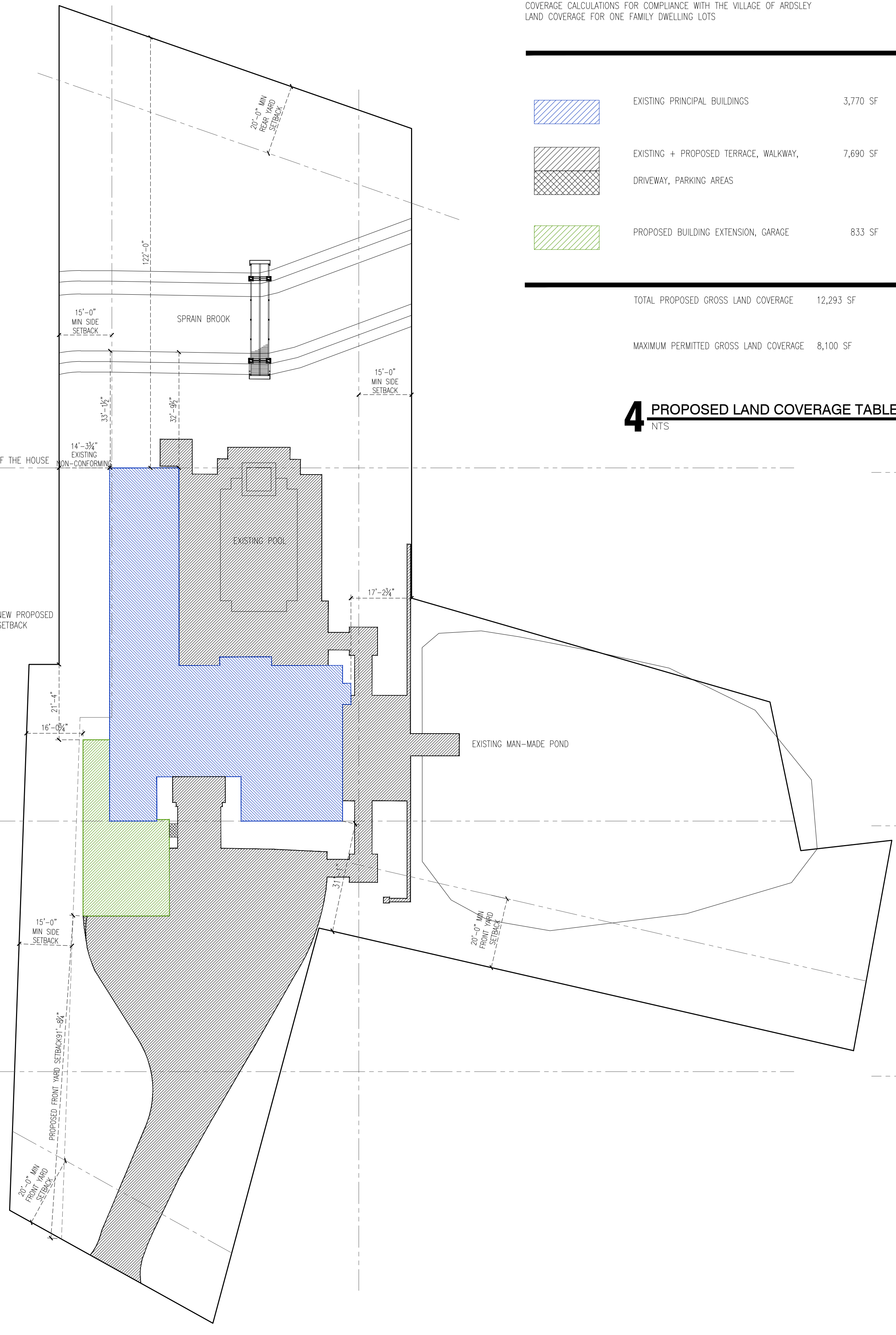
4 PROPOSED LAND COVERAGE TABLE

NTS



1 EXISTING LAND COVERAGE

NTS



3 PROPOSED LAND COVERAGE

NTS

RESIDENCE DISTRICT: R-3
SECTION: 6.120
BLOCK: 103
LOT: 10

BUILDING COVERAGE:

MAXIMUM	10,368.00 SQ.FT. (NOT MORE THAN 28% OF THE AREA OF LOT)
EXISTING	3,770.00 SQ.FT.
PROPOSED	833.00 SQ.FT.
EXISTING + PROPOSED	4,603.00 SQ.FT. (COMPLIES)

7 BUILDING COVERAGE CALCULATIONS

NTS

LAND COVERAGE:

BASIC	6,900.00 SQ.FT.
MAXIMUM	8,100.00 SQ.FT.
EXISTING BUILDING	3,770.00 SQ.FT.
EXISTING LAND COVERAGE	7,678.00 SQ.FT. (DECREASED DUE TO NEW BUILDOUT)
ADDITIONAL LAND COVERAGE	12.00 SQ.FT.
PROPOSED ADDITIONS	833.00 SQ.FT.
EXISTING + PROPOSED	12,283.00 SQ.FT. (REQUIRES VARIANCE)

6 LAND COVERAGE CALCULATIONS

NTS

FLOOR AREA:

BASIC PERMITTED	6,157.00 SQ.FT.
MAXIMUM	7,346.00 SQ.FT.
EXISTING	3,770.00 SQ.FT.
PROPOSED	833.00 SQ.FT.
EXISTING + PROPOSED	4,603.00 SQ.FT. (COMPLIES W/ BASIC)

6 FLOOR AREA CALCULATIONS

NTS

RESIDENCE DISTRICT: R-3
SECTION: 6.120
BLOCK: 103
LOT: 10

- MAXIMUM COVERAGE VALUES
- PRESENT LOT AREA IS: = 43,911 SQ.FT.
 - NET LOT AREA = 43,911 - 75% (WETLANDS/WATERBODIES/WATER COURSES) = 43,911 - 75%(9,179) = 37,027 SQ.FT.
 - PRESENT BUILDING COVERAGE IS: = 3,770.00 SQ.FT.
 - ALLOWABLE BUILDING COVERAGE AS PER VILLAGE OF ARDSLEY ZONING SCHEDULE FOR R-3 ZONE IS: = 28% OF THE AREA OF LOT = 10,368 SQ.FT
 - BASIC PERMITTED LAND COVERAGE = 6,900 PLUS 12% OF LOT AREA IN EXCESS OF 40,000 SQ.FT = 6,900 SQ.FT
 - MAXIMUM PERMITTED LAND COVERAGE = 8,100 PLUS 14% OF LOT AREA IN EXCESS OF 40,000 SQ.FT = 8,100 SQ.FT
 - BASIC PERMITTED FLOOR AREA COVERAGE = 6,000 PLUS 4% OF LOT AREA IN EXCESS OF 40,000 SQ.FT = 6,000 SQ.FT
 - MAXIMUM PERMITTED FLOOR AREA COVERAGE = 7,150 PLUS 5% OF LOT AREA IN EXCESS OF 40,000 SQ.FT = 7,150 SQ.FT

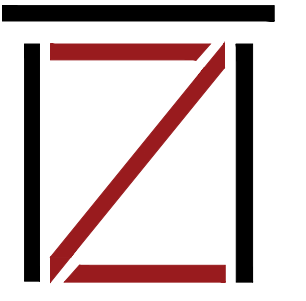
5 R-3 DISTRICT: ONE-FAMILY RESIDENTIAL DISTRICT TABLE

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ELJAMAL RESIDENCE

9 CROSS ROAD, ARDSLEY, NY 10502
 ZONE:R3 SECTION:6.120 BLOCK:103, LOT:10



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 F 914.896.5681

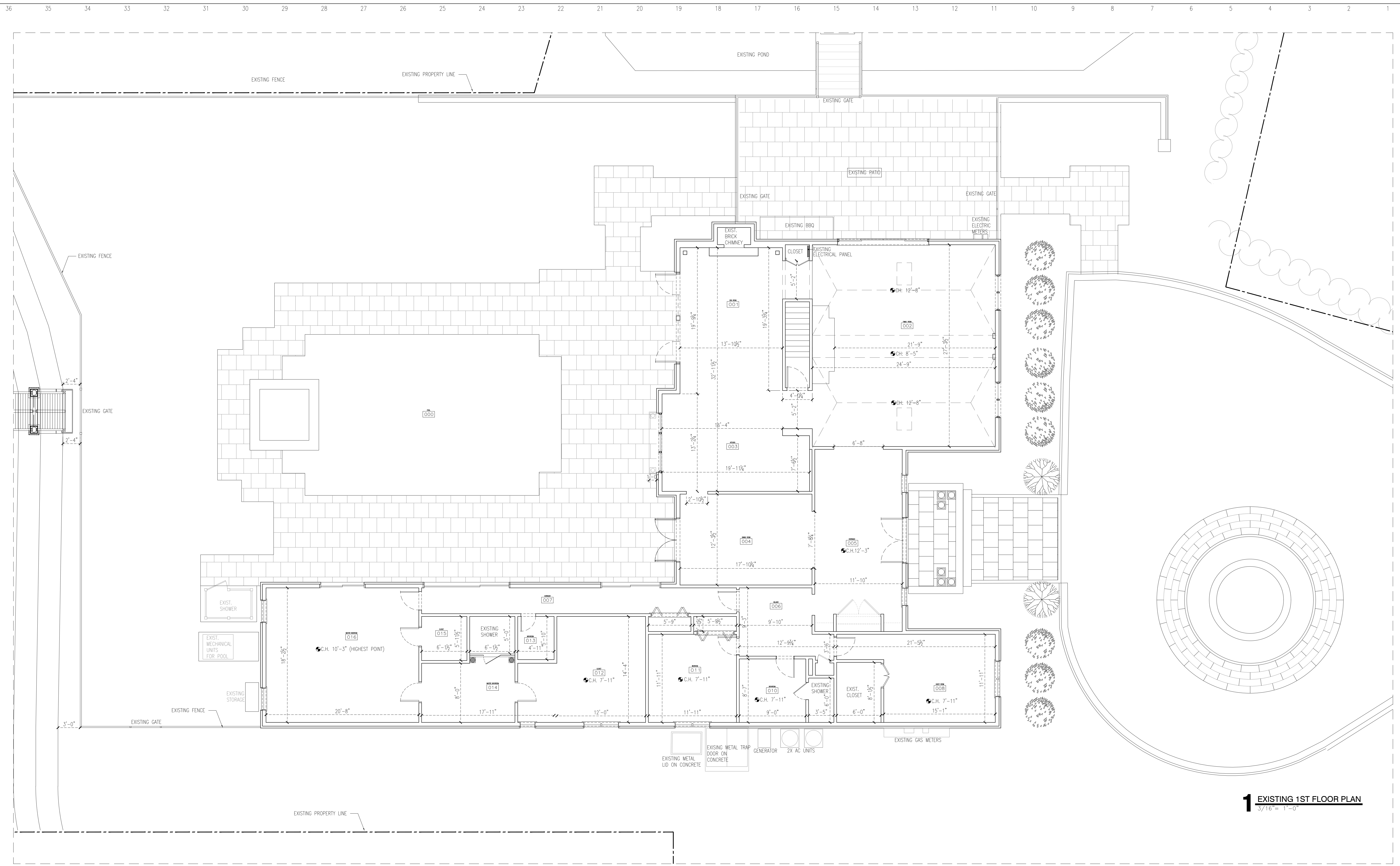
No.	Description	Date
8	Issued For Zoning	09.10.2021
7	Issued For Zoning	07.13.2021
6	Issued For Planning Board	12.04.2020
5	Issued For DOB	01.15.2020
4	Issued For DOB	09.19.2019
3	Issued For DOB	11.11.2018
2	Issued For Bidding	09.07.2018
1	Issued For Client	09.07.2018

PROJECT: **ELJAMAL RESIDENCE**

EXISTING PLAN



Floor: 1st fl.
 Project #: 17-106
 DWG:
A-100.00

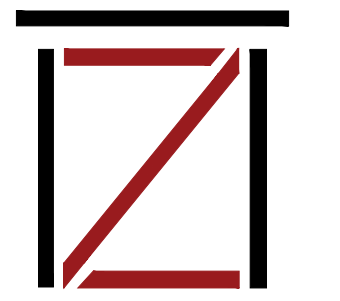


1 EXISTING 1ST FLOOR PLAN
 3/16" = 1'-0"

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ELJAMAL RESIDENCE

9 CROSS ROAD, ARDSLEY, NY 10502
 ZONE:R3 SECTION:6.120 BLOCK:103, LOT:10



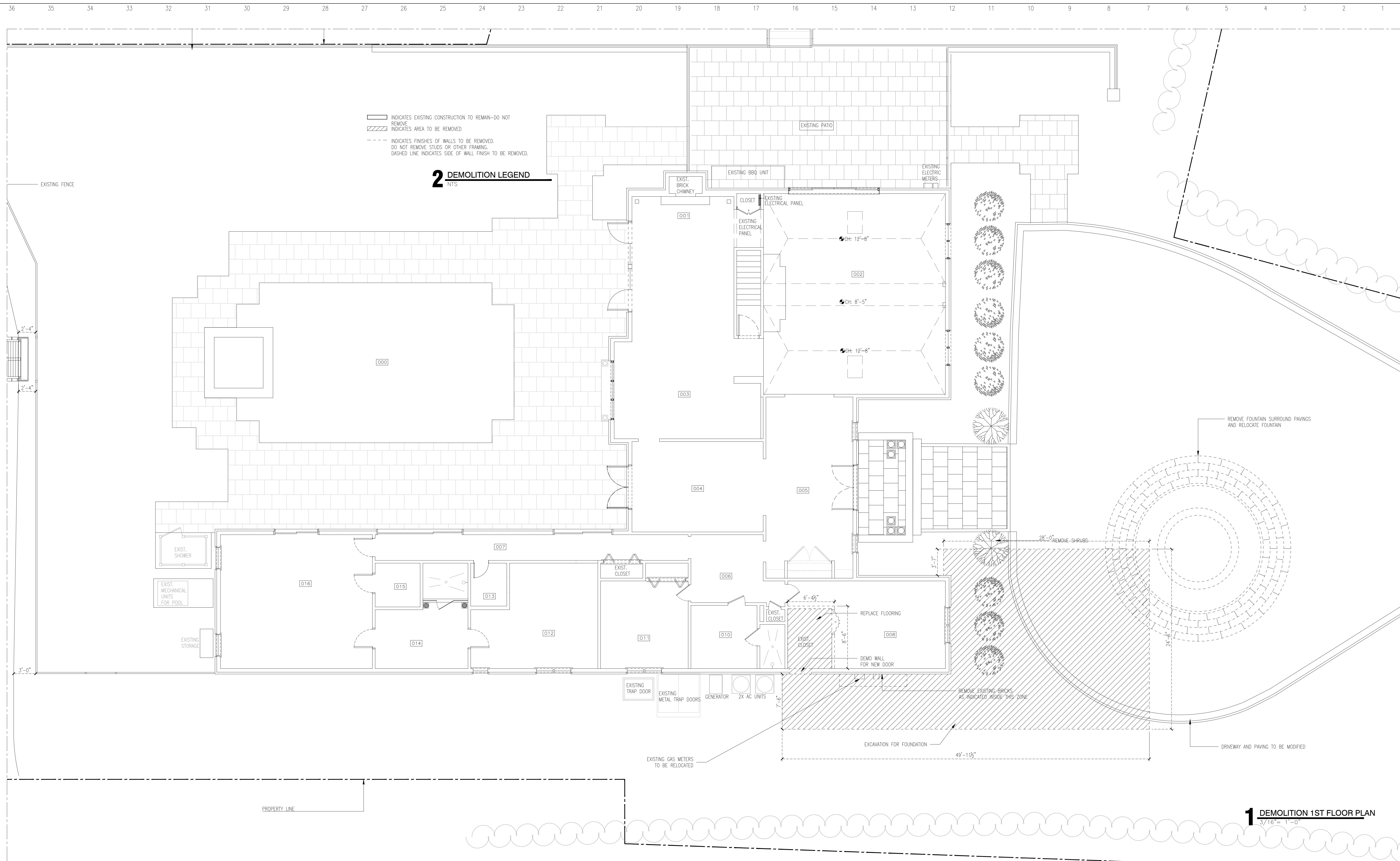
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- INDICATES EXISTING CONSTRUCTION TO REMAIN—DO NOT REMOVE.
- ▨ INDICATES AREA TO BE REMOVED.
- - - INDICATES FINISHES OF WALLS TO BE REMOVED. DO NOT REMOVE STUDS OR OTHER FRAMING. DASHED LINE INDICATES SIDE OF WALL FINISH TO BE REMOVED.

2 DEMOLITION LEGEND



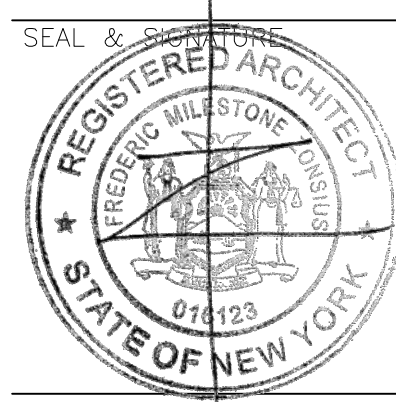
1 DEMOLITION 1ST FLOOR PLAN

3/16" = 1'-0"

No.	Description	Date
6	Issued For Zoning	07.13.2021
5	Issued For Planning Board	12.04.2020
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3	Issued For DOB	11.11.2018
2	Issued For Bidding	09.07.2018
1	Issued For Client	09.07.2018

PROJECT: **ELJAMAL RESIDENCE**

DEMOLITION AND EXCAVATION PLAN



Floor: 1st fl.
 Project #: 17-106

DWG:

DM-101.00

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ELJAMAL RESIDENCE

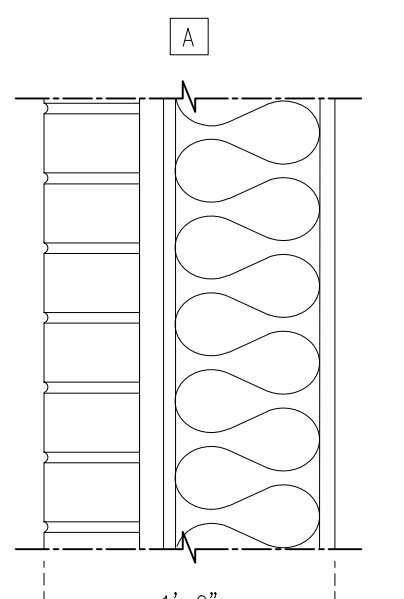
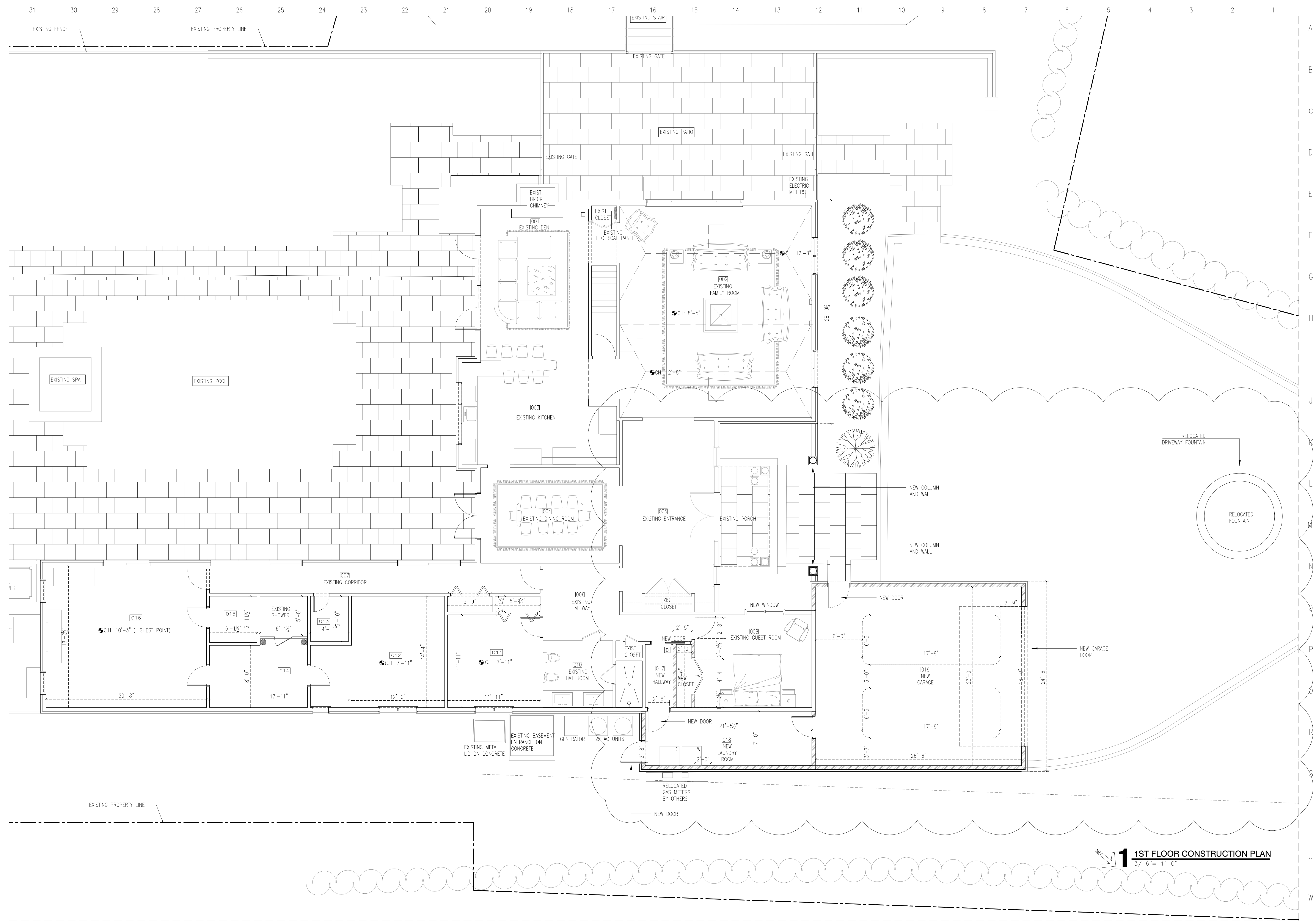
9 CROSS ROAD, ARDSLEY, NY 10502
 ZONE:R3 SECTION:6 BLOCK:103, LOT:10



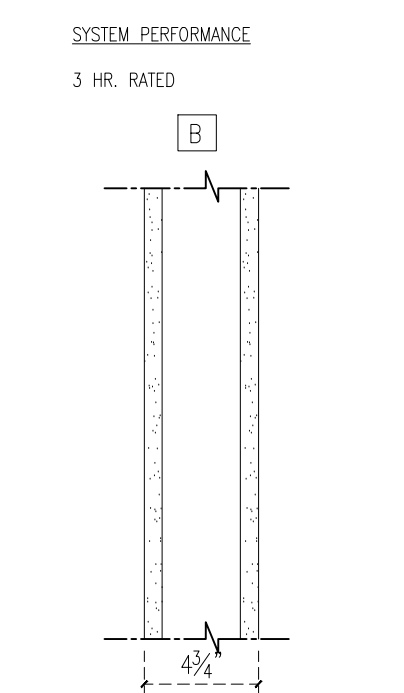
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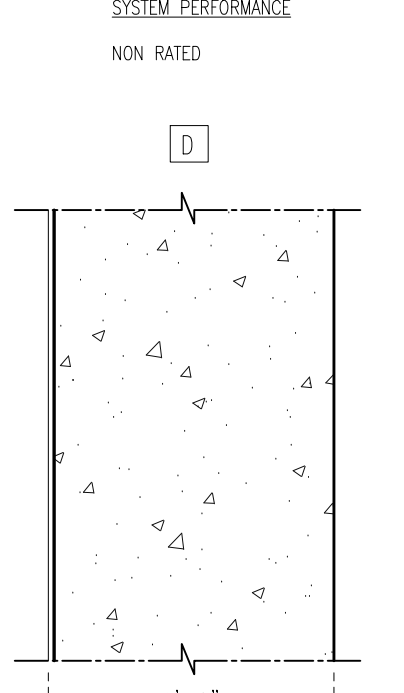
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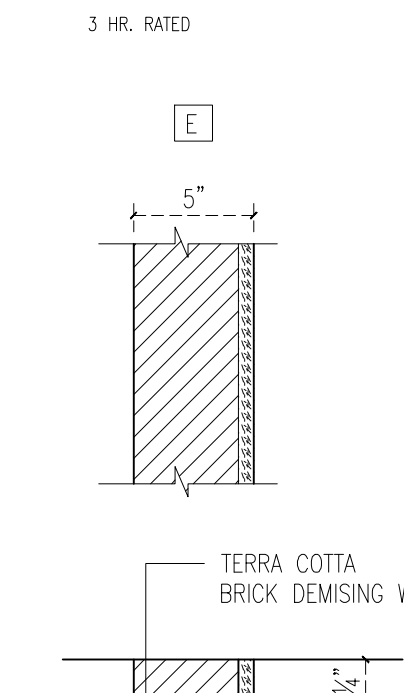
EXTERIOR WALL
 - 2x6 WOOD STUDS 16" O.C.
 - INSULATION
 - 1 LAYERS 1/2" GWR EACH SIDE
 - 4" BRICKS ON THE EXTERIOR SIDE
 - SKIM COAT INTERIOR SIDE



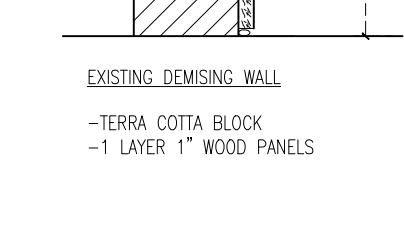
SYSTEM PERFORMANCE
 3 HR. RATED



TYPICAL PARTITION
 - 3-1/2" USG C-H STUDS
 - 20 GAUGE 16" O.C.
 - 1 LAYERS 1/2" GWR EACH SIDE
 - SKIM COAT



FOUNDATION WALL
 - 12" CONCRETE WALL 3000 PSI MN
 - RIGID INSULATION



TERRA COTTA BRICK DEMISING WALL
 - TERRA COTTA BLOCK
 - 1 LAYER 1" WOOD PANELS

SYSTEM PERFORMANCE
 2 HOUR RATED

2 WALL TYPES

1/2" = 1'-0"

1 1ST FLOOR CONSTRUCTION PLAN

3/16" = 1'-0"

No.	Description	Date
13	Issued For Zoning	09.10.2021
12	Issued For Zoning	07.13.2021
11	Client Revision	07.12.2021
10	Client Revision	07.02.2021
9	Client Revision	06.22.2021
8	Issued For Planning Board	12.04.2020
7	Issued For DOB	01.15.2020
6	Issued For Client Review	08.02.2018
5	Issued For DOB	11.11.2018
4	Issued For Bidding	11.02.2018
3	Issued For Client Review	09.07.2018
2	Issued For Client	09.05.2018
1	Issued For Client Approval	09.12.2017

PROJECT: ELJAMAL RESIDENCE

1ST FLOOR CONSTRUCTION PLAN

SEAL & SIGNATURE

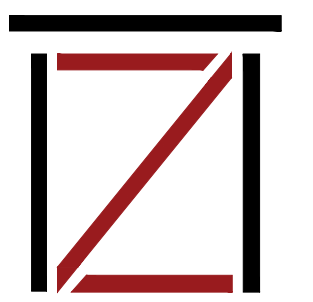
PROJECT: ELJAMAL RESIDENCE
 1ST FLOOR CONSTRUCTION PLAN
 Floor: 1st fl.
 Project #: 17-106
 DWG:
A-103.00

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F Z A D ARCHITECTURE + DESIGN

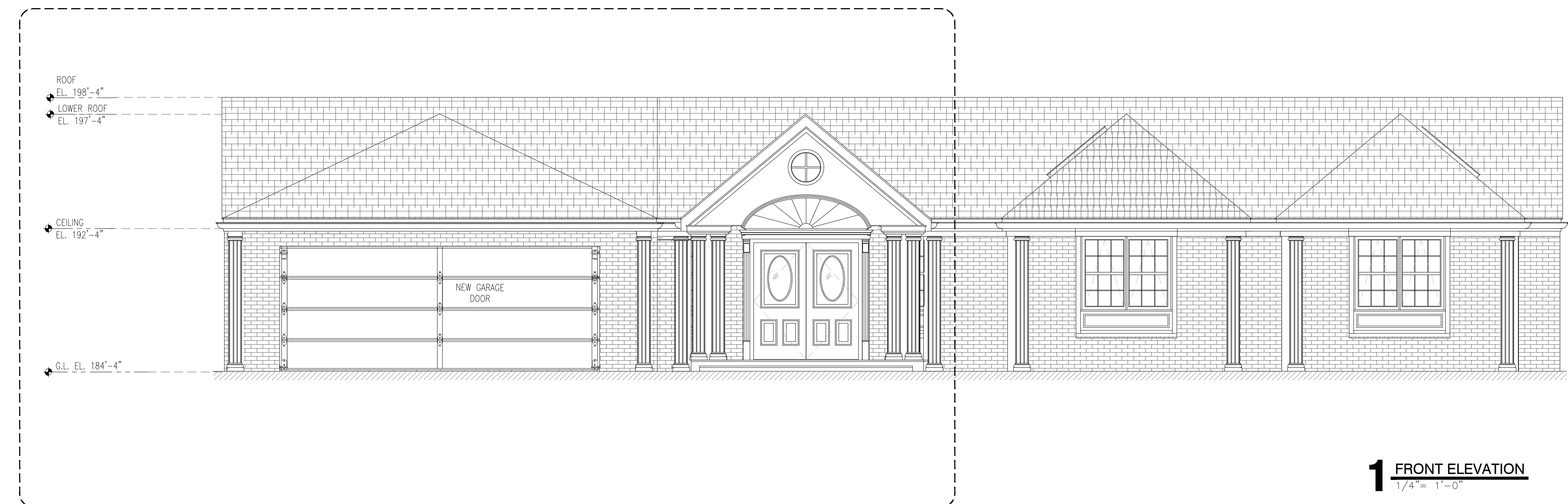
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PROJECT: **ELJAMAL RESIDENCE**

EXTERIOR ELEVATIONS



1 FRONT ELEVATION
 1/4" = 1'-0"



Floor: 1st fl.
 Project #: 17-106

DWG: **A-400.00**

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