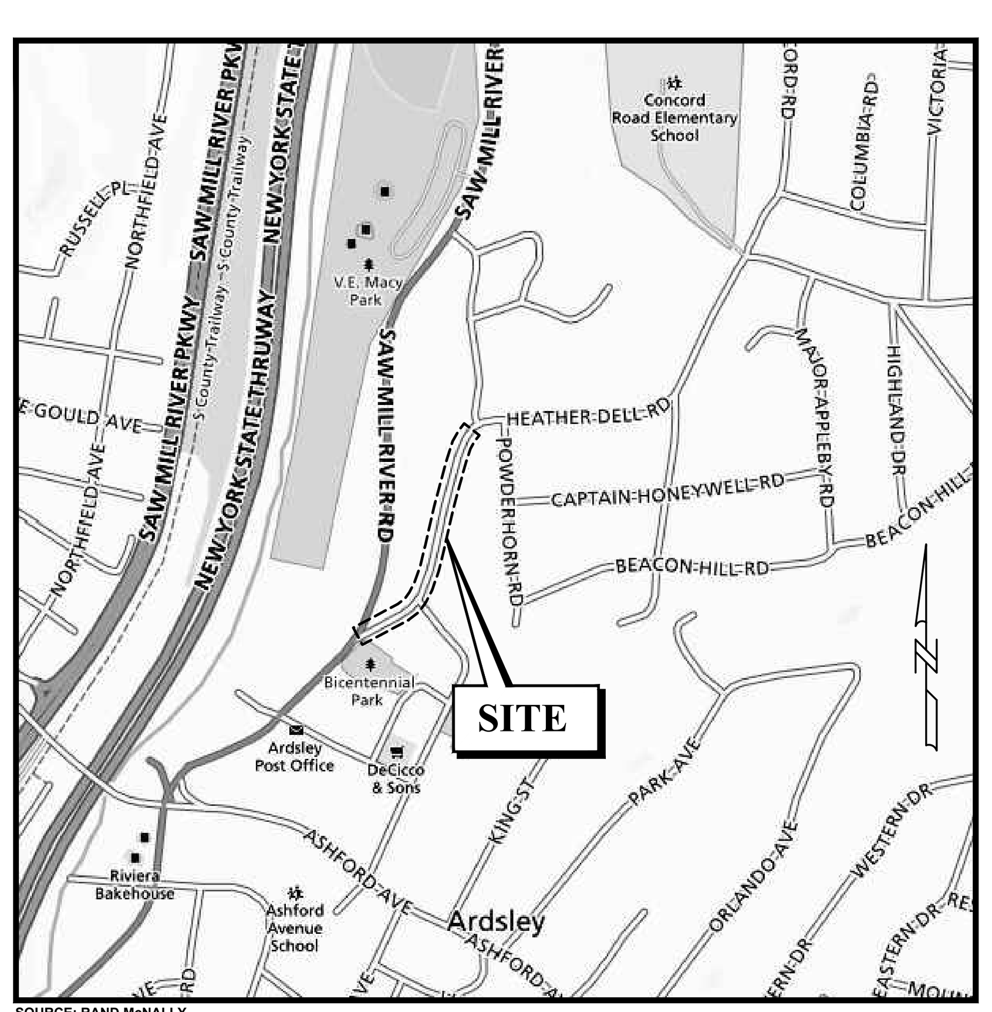


LOCATION MAP

N.T.S.

LEGEND

- EXIST. RIGHT-OF-WAY BOUNDARY
- EXIST. ADJOINING PROPERTY LINE
- EXIST. CONTOUR LINE
- EXIST. WATER MAIN
- EXIST. WATER VALVE
- EXIST. FIRE HYDRANT
- EXIST. SAN. SEWER MAIN
- EXIST. SAN. MANHOLE
- EXIST. GAS MAIN
- EXIST. GAS VALVE
- EXIST. STORM PIPE
- EXIST. CATCH BASIN
- EXIST. FENCE
- EXIST. UTILITY POLE
- EXIST. OVERHEAD WIRE(S)
- EXIST. GUY WIRE
- EXIST. ELECTRICAL BOX
- EXIST. TRAFFIC LIGHT POLE
- EXIST. SIGN

20 0 20 40 60

Scale 1" = 20'

Topographic survey (2019) provided by TEC Land Surveying, 15 Tioronda Avenue, Beacon, NY 12508.

REV.	DATE	DESCRIPTION

TITLE: **EXISTING CONDITIONS & DEMOLITION PLAN (SHEET 1)**

PROJECT:

PROPOSED
HEATHERDELL ROAD
SIDEWALK IMPROVEMENT
& GUIDE RAIL PROJECT

VILLAGE OF ARDSLEY, WESTCHESTER COUNTY, NEW YORK

JAMES J. HAHN ENGINEERING, P.C.
Putnam Business Park
1689 Route 22
Brewster, New York 10509
Tel: (845) 279-2220

SCALE	DATE
1" = 20'	3/16/20
DRAWING NO.	SHEET NO.
C-1	1 OF 6

Topographic survey (2019) provided by TEC Land Surveying, 15 Tioronda Avenue, Beacon, NY 12508.

REV.	DATE	DESCRIPTION

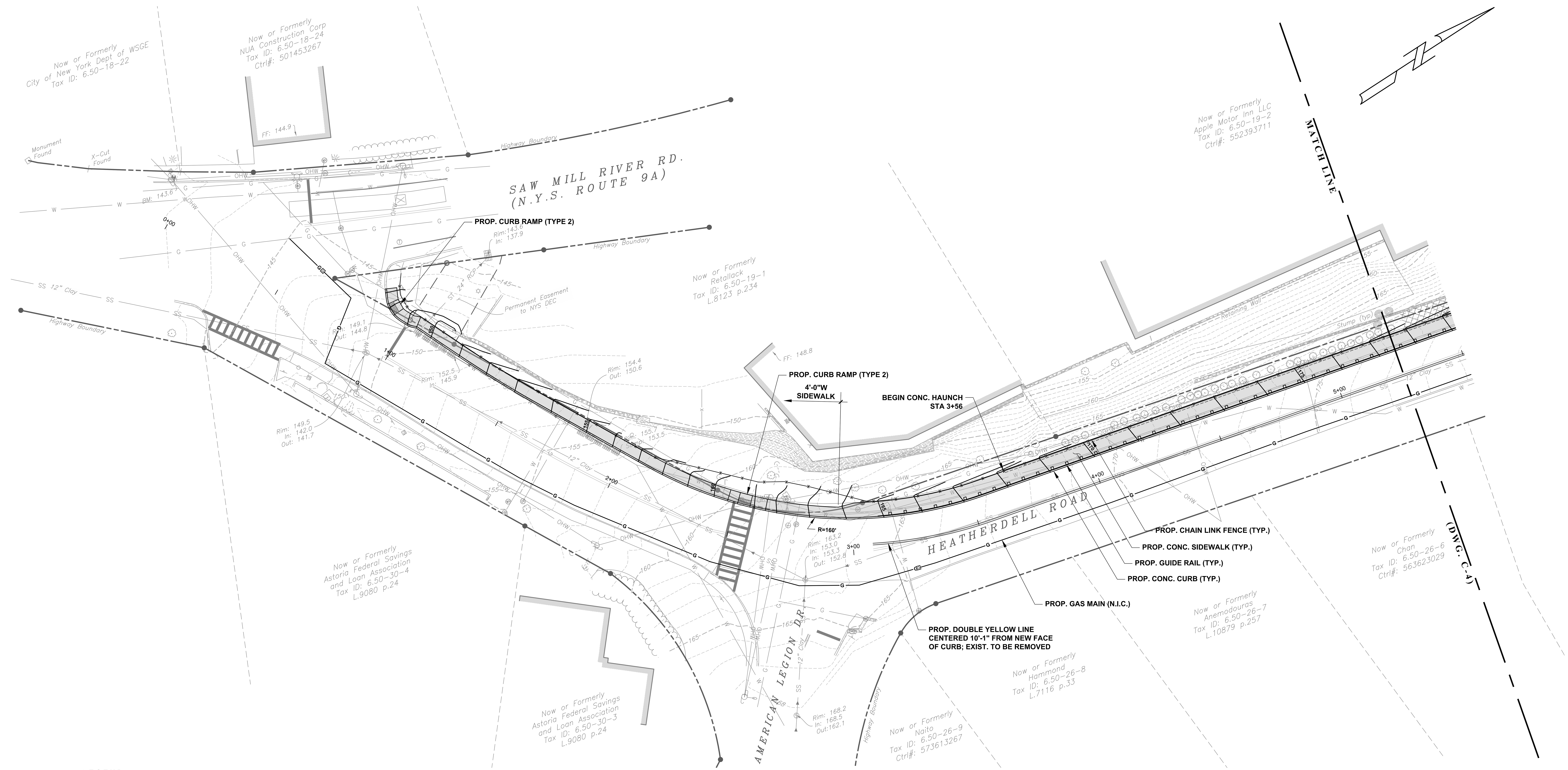
UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS DRAWING IS A VIOLATION OF SECTION 7209 (2) OF THE NEW YORK STATE EDUCATION LAW. THIS PLAN IS NULL AND VOID FOR CONSTRUCTION PURPOSES WITHOUT THE SIGNATURE AND SEAL OF THE DESIGN ENGINEER.

JAMES J. HAHN ENGINEERING, P.C.
Putnam Business Park
1689 Route 22
Brewster, New York 10509
Tel: (845) 279-2220

TITLE
EXISTING CONDITIONS & DEMOLITION PLAN (SHEET 2)

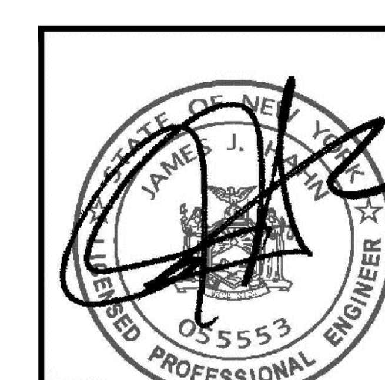
PROJECT
PROPOSED
HEATHERDELL ROAD
SIDEWALK IMPROVEMENT
& GUIDE RAIL PROJECT
VILLAGE OF ARDSLEY, WESTCHESTER COUNTY, NEW YORK

SCALE	DATE
1" = 20'	3/16/20
DRAWING NO.	SHEET NO.
C-2	2 of 6



LEGEND

- EXIST. RIGHT-OF-WAY BOUNDARY
- EXIST. ADJOINING PROPERTY LINE
- EXIST. CONTOUR LINE
- EXIST. WATER MAIN
- EXIST. WATER VALVE
- EXIST. FIRE HYDRANT
- EXIST. SAN. SEWER MAIN
- EXIST. SAN. MANHOLE
- EXIST. GAS MAIN
- EXIST. GAS VALVE
- EXIST. STORM PIPE
- EXIST. CATCH BASIN
- EXIST. FENCE
- EXIST. UTILITY POLE
- EXIST. OVERHEAD WIRE(S)
- EXIST. GUY WIRE
- EXIST. ELECTRICAL BOX
- EXIST. TRAFFIC LIGHT POLE
- EXIST. SIGN
- PROP. CONC CURB
- PROP. CHAIN LINK FENCE
- PROP. GUIDE RAIL
- PROP. CONTOUR LINE
- PROP. CATCH BASIN
- PROP. GAS MAIN (N.I.C.)
- PROP. GAS VALVE (N.I.C.)
- PROP. SILT FENCE



REV.	DATE	DESCRIPTION

TITLE: SITE PLAN (SHEET 1)

PROJECT:

PROPOSED HEATHERDELL ROAD SIDEWALK IMPROVEMENT & GUIDE RAIL PROJECT

VILLAGE OF ARDSLEY, WESTCHESTER COUNTY, NEW YORK

JAMES J. HAHN ENGINEERING, P.C.
Putnam Business Park
1689 Route 22
Brewster, New York 10509
Tel: (845) 279-2220

SCALE: 1" = 20'
DATE: 3/16/20
DRAWING NO.: C-3

LEGEND

EXIST. RIGHT-OF-WAY BOUNDARY	PROP. CONC CURB
EXIST. ADJOINING PROPERTY LINE	PROP. CHAIN LINK FENCE
EXIST. CONTOUR LINE	PROP. GUIDE RAIL
EXIST. WATER MAIN	PROP. CONTOUR LINE
EXIST. WATER VALVE	PROP. CATCH BASIN
EXIST. FIRE HYDRANT	PROP. GAS MAIN (N.I.C.)
EXIST. SAN. SEWER MAIN	PROP. GAS VALVE (N.I.C.)
EXIST. SAN. MANHOLE	PROP. SILT FENCE
EXIST. GAS MAIN	
EXIST. GAS VALVE	
EXIST. STORM PIPE	
EXIST. CATCH BASIN	
EXIST. FENCE	
EXIST. UTILITY POLE	
EXIST. OVERHEAD WIRE(S)	
EXIST. GUY WIRE	
EXIST. ELECTRICAL BOX	
EXIST. TRAFFIC LIGHT POLE	
EXIST. SIGN	

NOTE:
EARTH SLOPES EXCEEDING 1 ON 2 SHALL BE STABILIZED WITH A TURF REINFORCEMENT MAT AND SHALL NOT EXCEED A SLOPE OF 1 ON 1.

20 0 20 40 60
Scale 1" = 20'

REV.	DATE	DESCRIPTION

UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS DRAWING IS A VIOLATION OF SECTION 7209 (2) OF THE NEW YORK STATE EDUCATION LAW. THIS PLAN IS NULL AND VOID FOR CONSTRUCTION PURPOSES WITHOUT THE SIGNATURE AND SEAL OF THE DESIGN ENGINEER.

JAMES J. HAHN ENGINEERING, P.C.
Putnam Business Park
1689 Route 22
Brewster, New York 10509
Tel: (845) 279-2220

TITLE
SITE PLAN (SHEET 2)

PROJECT
PROPOSED
HEATHERDELL ROAD
SIDEWALK IMPROVEMENT
& GUIDE RAIL PROJECT

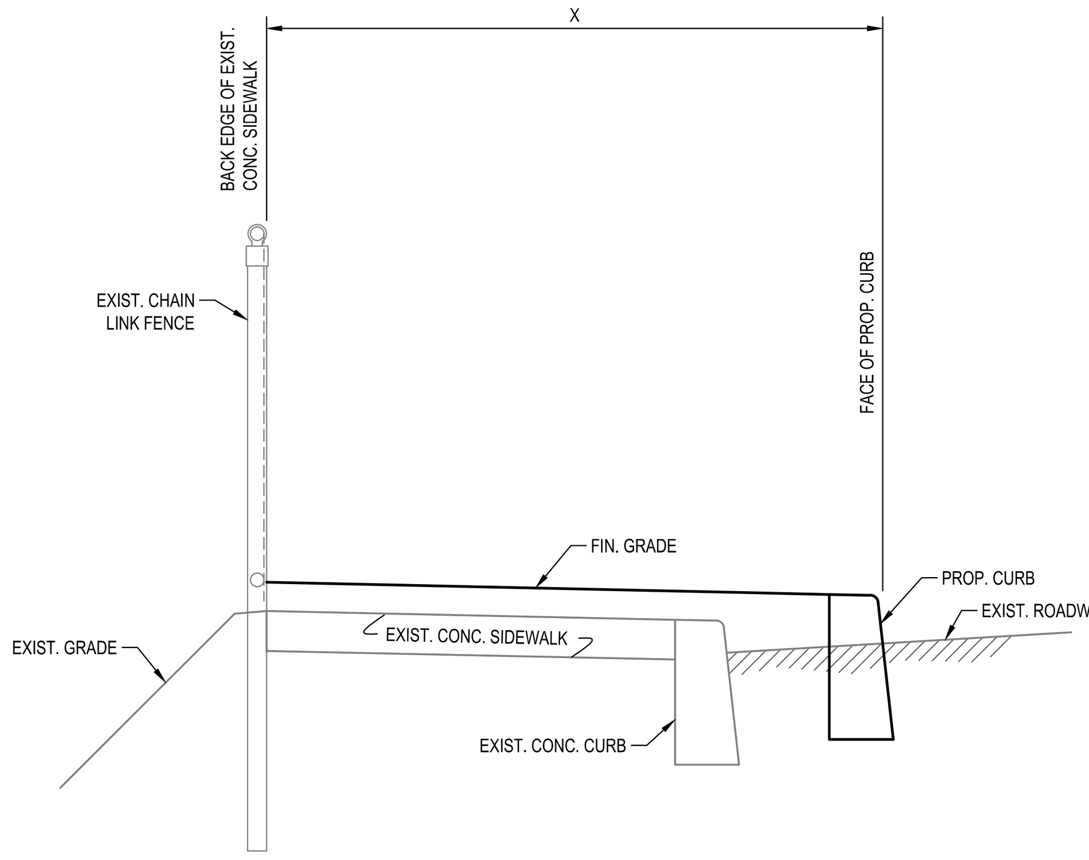
VILLAGE OF ARDSLEY, WESTCHESTER COUNTY, NEW YORK

SCALE	DATE
1" = 20'	3/16/20
DRAWING NO.	SHEET NO.
C-4	4 of 6

GENERAL NOTES

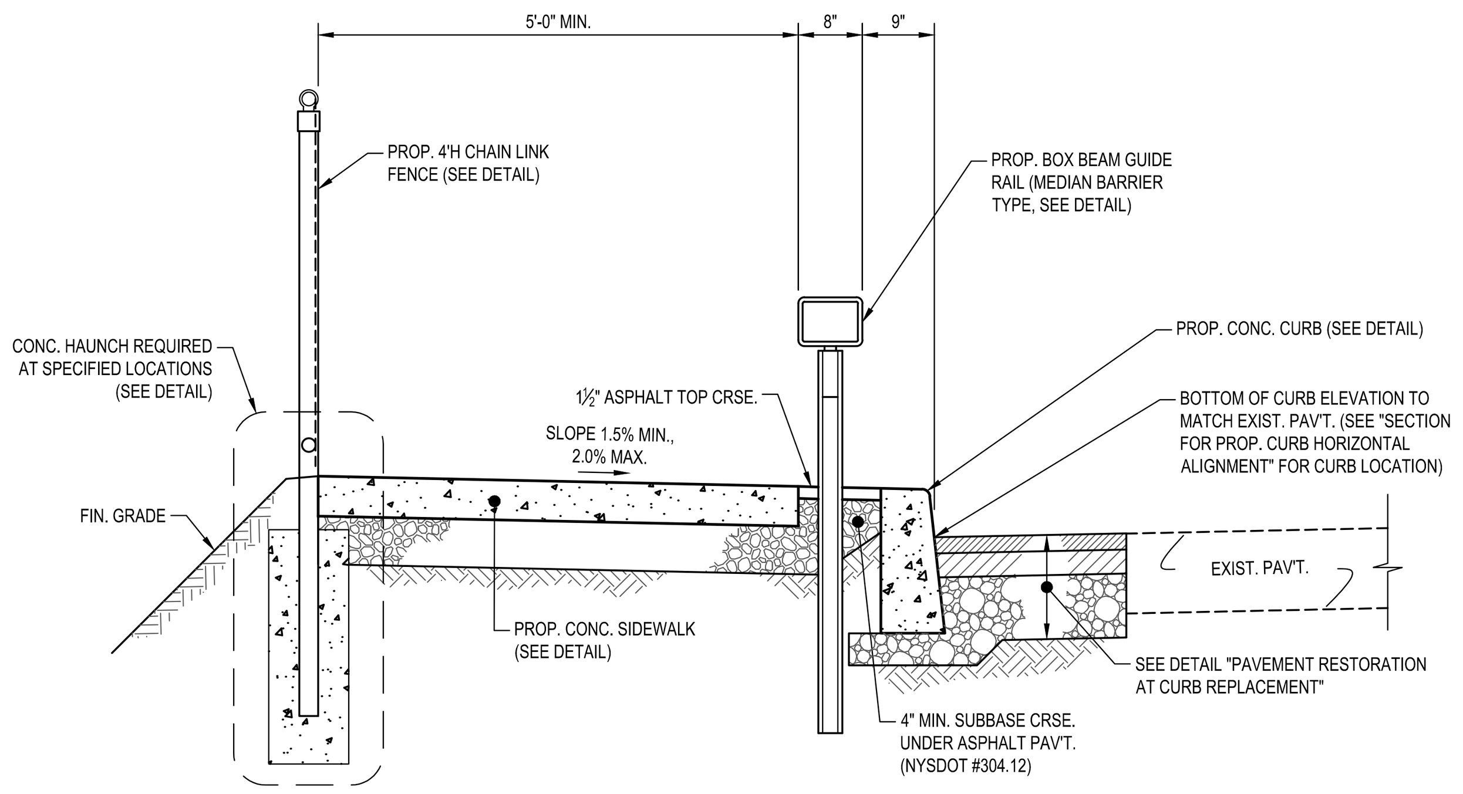
1. All work and materials shall be in accordance with these plans, specifications, any revisions thereto, and the rules and regulations of the Village of Ardsley.
2. The subsurface information shown hereon is not guaranteed as to accuracy or completeness. The Contractor shall verify the location of all existing utility lines whether in public right–of–way, in easements, or in private property prior to starting any excavation and shall be responsible for the same. The Contractor shall be responsible for contacting the Underground Facilities Protective Organization, pursuant to N.Y.S. Law, 16 NYCRR Code 753.
3. The Contractor shall be responsible for the relocation of any utility service line or valve which is in interference with the proposed work.
4. Existing trees shall be preserved and protected wherever possible and shall only be removed with the approval of the Engineer. Tree roots shall be avoided wherever possible. Where tree roots cannot be avoided, they shall be cut cleanly. Tree roots shall be kept moist while trenches are open.
5. The Contractor shall verify all existing and proposed elevations in the field.
6. The maintenance and protection of traffic schemes, both pedestrian and vehicular, shall be the responsibility of the Contractor. Access to all commercial, institutional and residential parking facilities shall be maintained at all times. A safe means of pedestrian access to and from all points within the contract limit shall be provided. The Contractor must submit traffic maintenance and staging schemes in writing to the Engineer for approval. All traffic maintenance devices, including, but not limited, to temporary signs, barricades, steel plates, lights and warning signals, shall be constructed and displayed in accordance with the rules and regulations of the Village of Ardsley and the Federal MUTCD.
7. The Contractor shall provide the Engineer with a telephone number of the person responsible in the case of an emergency, 24 hours a day, 7 days a week.
8. All damage to public or private facilities caused by the Contractor's operation shall be repaired to the satisfaction of the Owner at the Contractor's expense.
9. The Contractor shall submit shop drawings for all works to the Engineer. No construction shall be allowed until the shop drawings are approved.
10. The Contractor shall comply with O.S.H.A. Standard 29 CFR – Part 1926.650, .651 and .652 for all excavations.
11. Refuse from demolition shall become the property of the Contractor. It shall be
12. The Contractor shall prevent the formation of any low spots where water can collect behind new curb or sidewalk and any possible redirection of runoff onto private property and shall take whatever corrective measures are necessary. The Contractor is responsible, at no cost to the Owner, to correct any deleterious water ponding areas.
13. Existing valves and manhole covers to remain shall be adjusted to finished grades where required.
14. Existing pavement shall be sawcut in a straight line where it is to be bounded by new pavement.
15. The pavement and subbase thicknesses noted on these plans are after compaction.
16. Fill material shall be free from organic matter, loam and frozen material. Soft or spongy areas after compaction shall be removed, the pocket drained and refilled with select material.
17. All existing site features, including, but not limited to, pavement, curbing, grass, landscaping, piping, utility lines, walls, fencing, and structures, disturbed or damaged by construction shall be restored by the Contractor to a condition equal to or better than those currently existing and as directed by the Engineer.
18. Disturbed grass or earth areas shall be provided with 4 inches minimum of topsoil and seeded or sodded as described in the specifications.
19. Engineer may require additional erosion and sedimentation controls if deemed appropriate to mitigate unforeseen siltation and erosion of disturbed soils.

PROPOSED HORIZONTAL OFFSET	
STATION	X
0+86 TO 1+98	MAINTAIN EXISTING CURB ALIGNMENT
1+98 TO 3+55	TRANSITION FROM EXISTING CURB ALIGNMENT AT STA. 1+98 TO 6'-5" AT STA. 3+55 W/ 160' RADIUS TANGENTIAL CURVE
3+55 TO 9+33	6'-5"



SECTION FOR PROP. CURB HORIZONTAL ALIGNMENT

N.T.S.

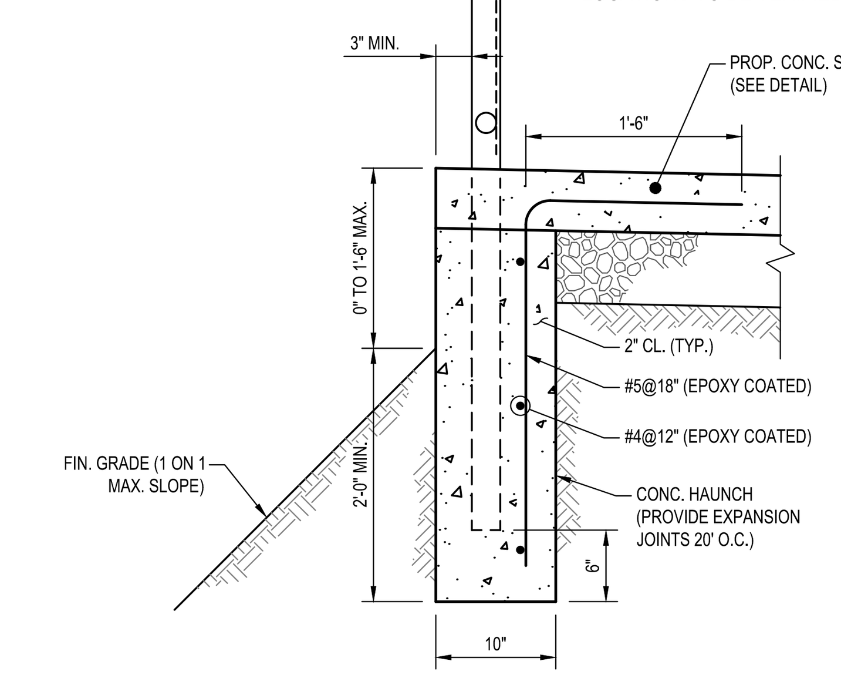


TYPICAL SIDEWALK SECTION AT GUIDE RAIL

SCALE: 1/2" = 1'-0"

CONCRETE HAUNCH LOCATIONS
STA. 3+56 TO 8+46

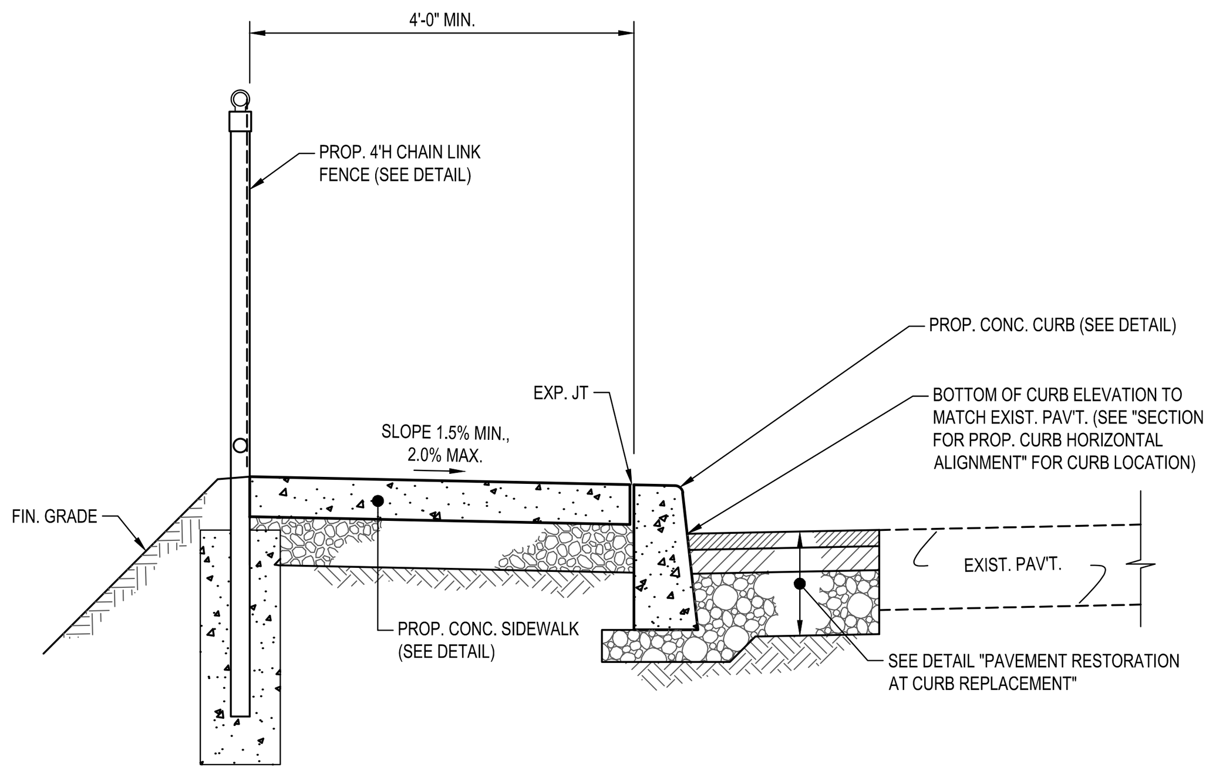
NOTE:
LOCATIONS TO BE VERIFIED IN FIELD W/ ENGINEER.



SECTION

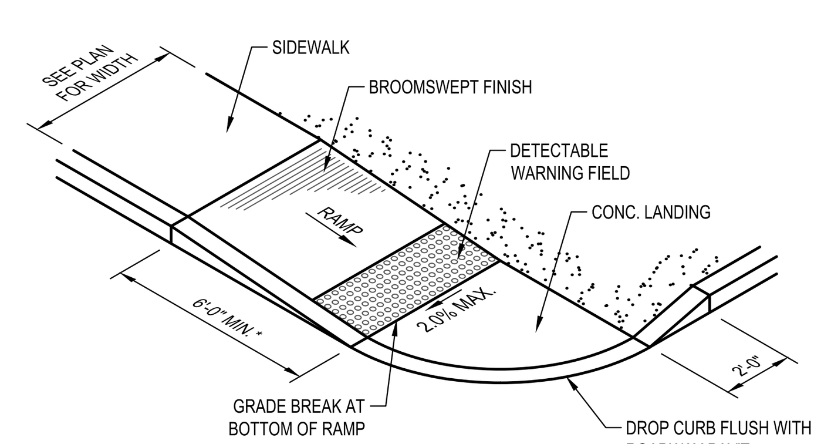
CONCRETE HAUNCH

SCALE: 3/4" = 1'-0"



TYPICAL SIDEWALK SECTION - NO GUIDE RAIL

SCALE: 1/2" = 1'-0"

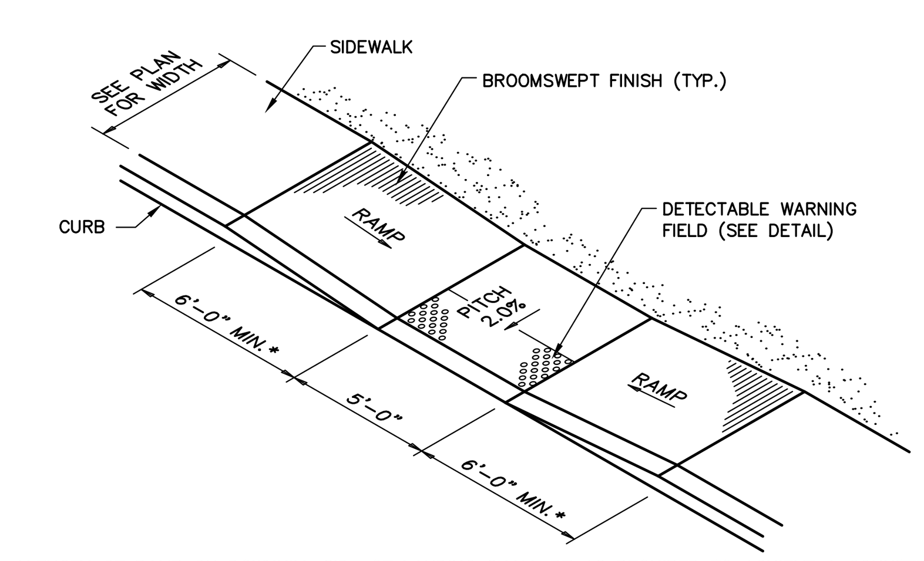


* LENGTH OF RAMP ON DOWNHILL SIDE OF LANDING SHALL BE AS REQUIRED TO ACHIEVE A COUNTERSLOPE WITH AN ALGEBRAIC DIFFERENCE NOT EXCEEDING 12.5 AND SHALL NOT BE LESS THAN 2'-0".

ISOMETRIC VIEW

PEDESTRIAN RAMP - TYPE 1

N.T.S.



*LENGTH OF RAMP ON DOWNHILL SIDE OF LANDING SHALL BE AS REQUIRED TO ACHIEVE A COUNTERSLOPE WITH AN ALGEBRAIC DIFFERENCE NOT EXCEEDING 12.5 AND SHALL NOT BE LESS THAN 2'–0".

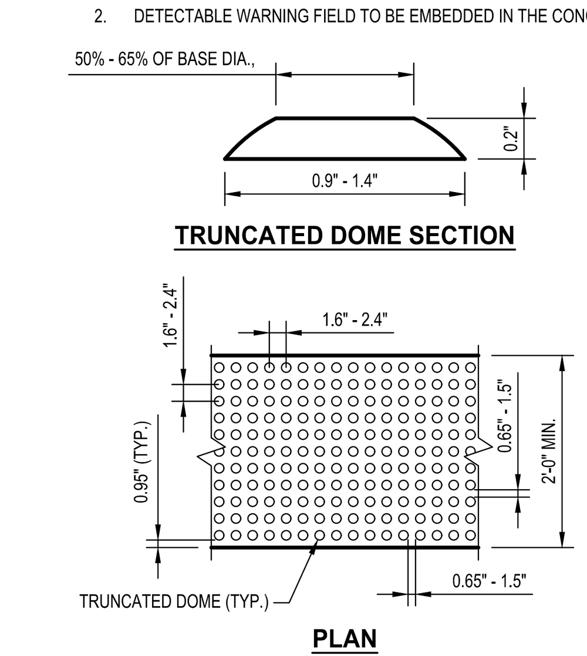
ISOMETRIC VIEW

PEDESTRIAN RAMP – TYPE 2

N.T.S.

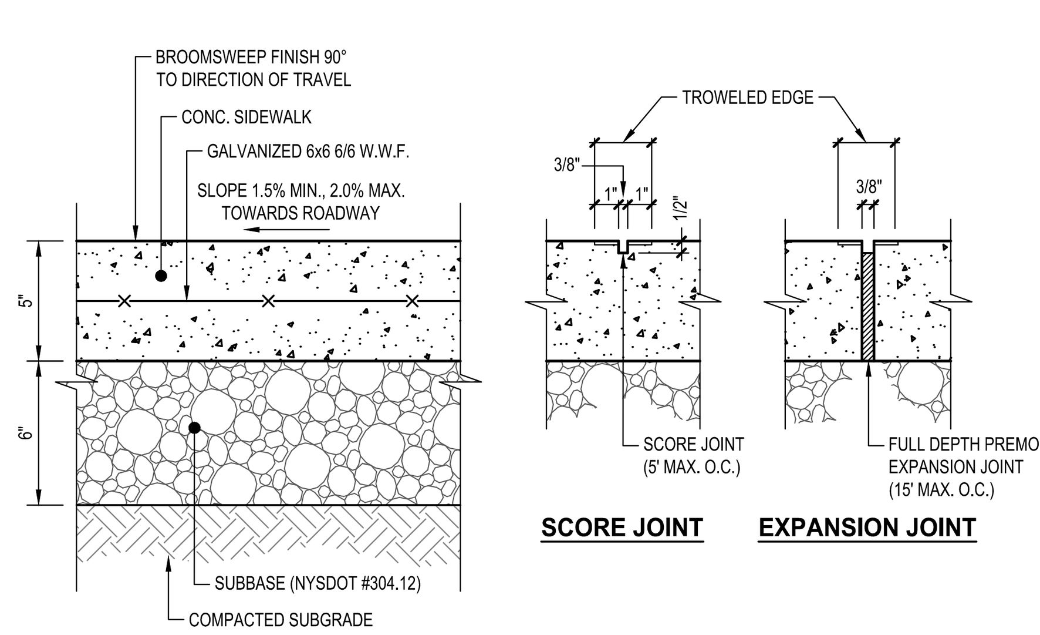
NOTES:

1. ROWS OF DOMES TO ALIGN PERPENDICULAR OR RADIAL TO THE LOWER GRADE BREAK ON THE RAMP RUN.
2. DETECTABLE WARNING FIELD TO BE EMBEDDED IN THE CONCRETE .



DETECTABLE WARNING FIELD

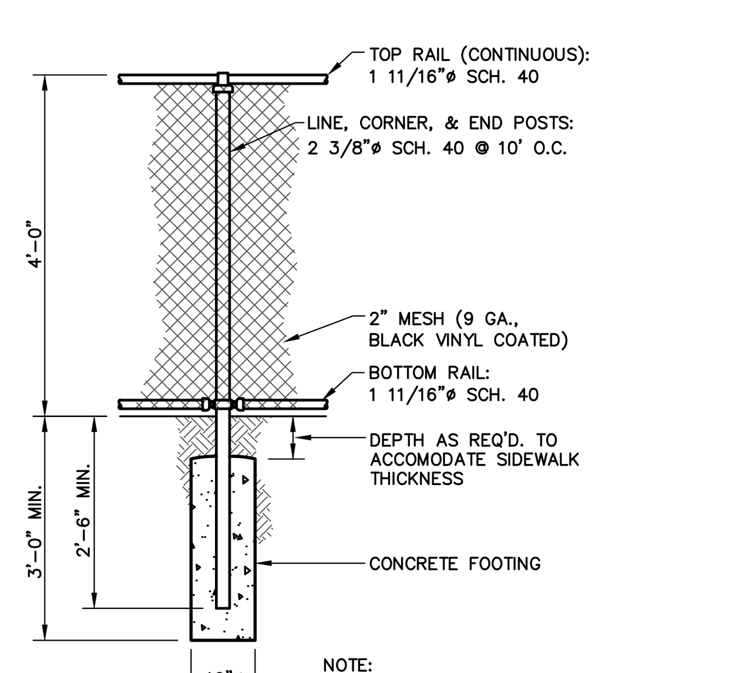
N.T.S.



SECTION

CONCRETE SIDEWALK

N.T.S.



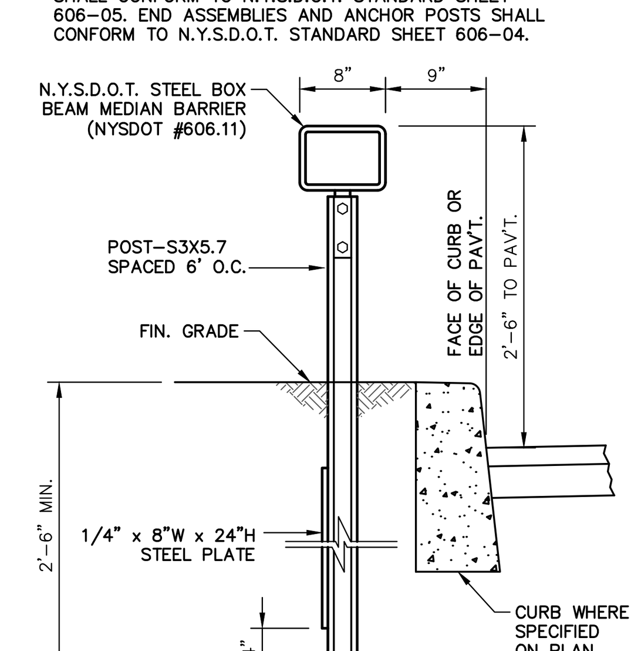
NOTE:
RAILS, POSTS, FABRIC AND ACCESSORIES SHALL BE VINYL THERMAL FUSED AND BONDED.

SECTION

CHAIN LINK FENCE

N.T.S.

NOTE:
BOX BEAM MEDIAN BARRIER AND POST INSTALLATION SHALL CONFORM TO N.Y.S.D.O.T. STANDARD SHEET 606–05. END ASSEMBLIES AND ANCHOR POSTS SHALL CONFORM TO N.Y.S.D.O.T. STANDARD SHEET 606–04.



SECTION

BOX BEAM GUIDE RAIL (MEDIAN BARRIER)

N.T.S.

REV.	DATE	DESCRIPTION

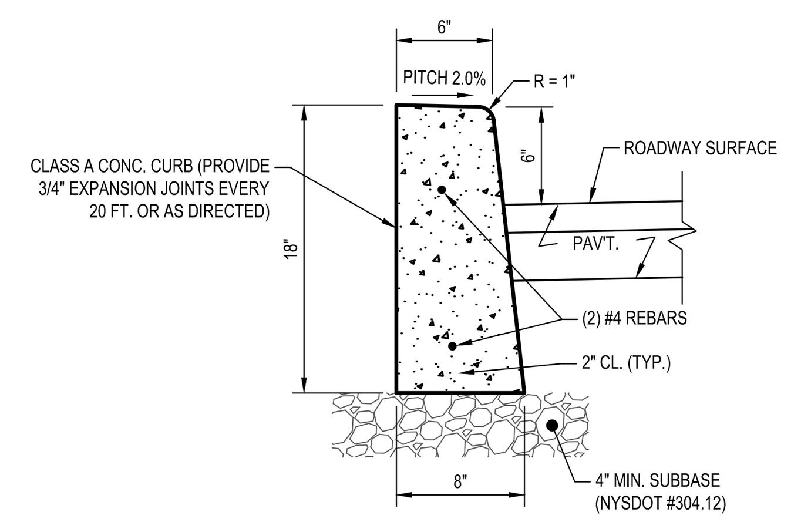
TITLE: DETAILS & NOTES

PROJECT: PROPOSED HEATHERDELL ROAD SIDEWALK IMPROVEMENT & GUIDE RAIL PROJECT

VILLAGE OF ARDSLEY, WESTCHESTER COUNTY, NEW YORK

JAMES J. HAHN ENGINEERING, P.C.
Putnam Business Park
1689 Route 22
Brewster, New York 10509
Tel: (845) 279-2220

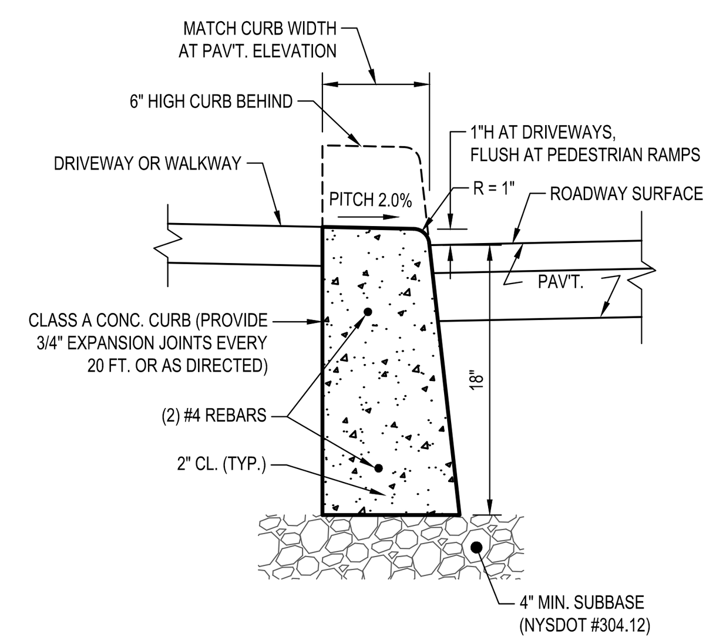
SCALE	DATE
AS NOTED	3/16/20
DRAWING NO.	SHEET NO.
C-5	5 OF 6



NOTE: EXPOSED CURB SURFACES TO RECEIVE TWO COATS OF SEALER PER SPECIFICATIONS.

CONCRETE CURB

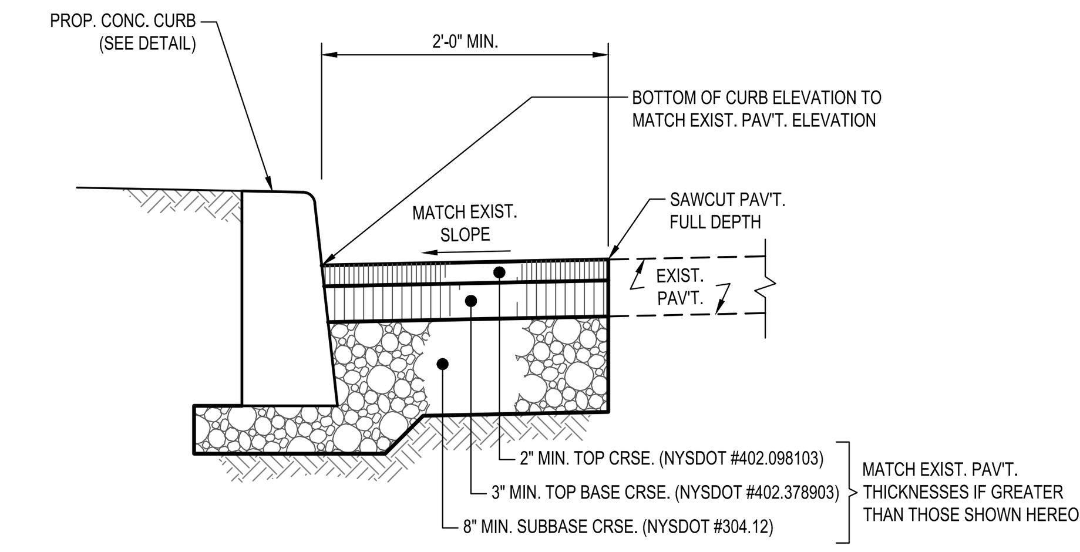
N.T.S.



NOTE: EXPOSED CURB SURFACES TO RECEIVE TWO COATS OF SEALER PER SPECIFICATIONS.

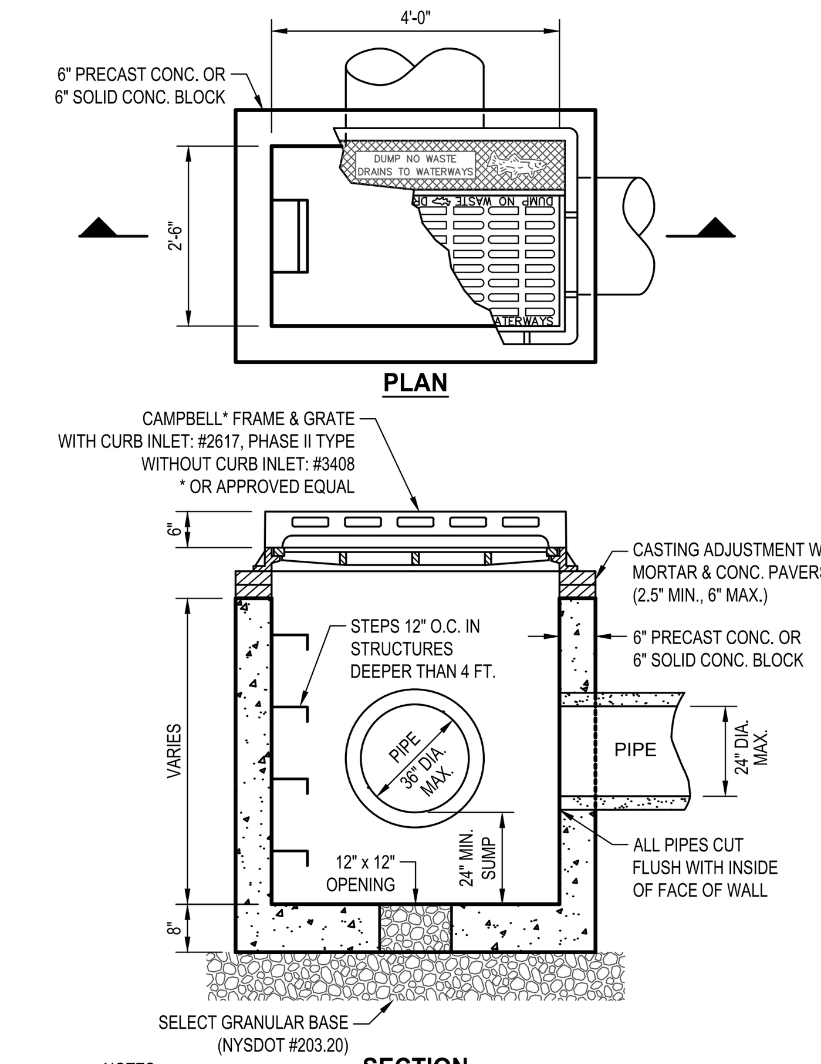
CONCRETE DROP CURB

N.T.S.



PAVEMENT RESTORATION AT CURB REPLACEMENT

N.T.S.



NOTES:

1. CATCH BASINS SHALL MEET REQUIREMENTS FOR H-20 LOADING.
2. CATCH BASIN RIM SHALL BE SET AT AN ELEVATION 1/4" BELOW THE SURROUNDING FINISHED GRADE.
3. LARGER STRUCTURES WITH CONCRETE TOP SLABS ARE REQUIRED WHEN STORM PIPES EXCEED SIZES SHOWN .

STANDARD CATCH BASIN

N.T.S.

ShearForce10 Recommended Anchors		
Soil Type	***Minimum Anchor**	**Alternate Anchors**
Cohesive, well compacted or undisturbed	8"x2"x8" wire U-staple	18" Fabric Pin, 8" Plastic Stake
Cohesive, loose	12"x2"x12" wire U-staple	18" Fabric Pin, 12" Plastic Stake
Non-Cohesive, well compacted or undisturbed	12"x2"x12" wire U-staple	24" Fabric Pin, 12" Plastic Stake
Non-Cohesive, loose	18"x2"x18", 3/8" Rebar U-staple	36" Percussion Earth Anchor

*U-shaped anchors are recommended as they can be shared between adjacent rolls when seaming, reducing total anchors needed during installation.

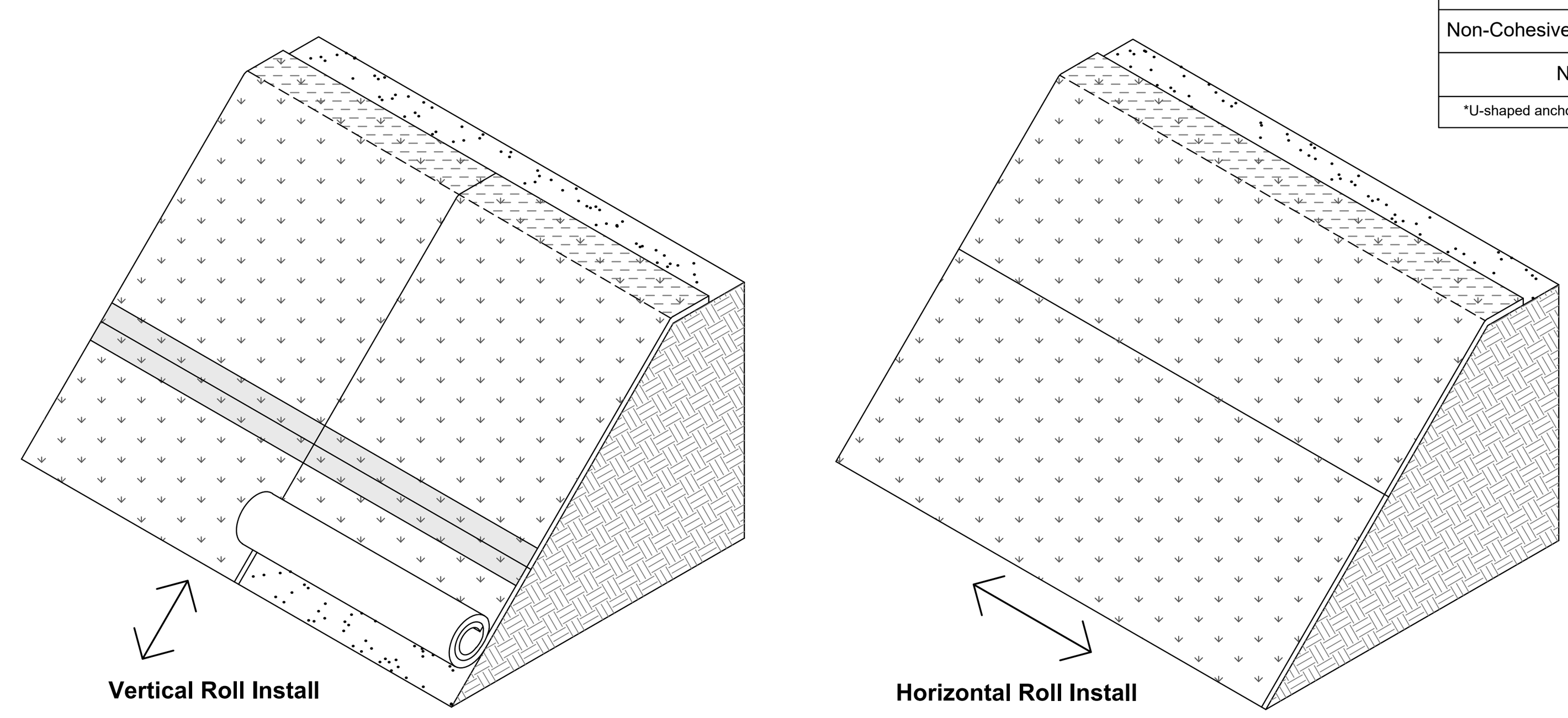


Fig 1

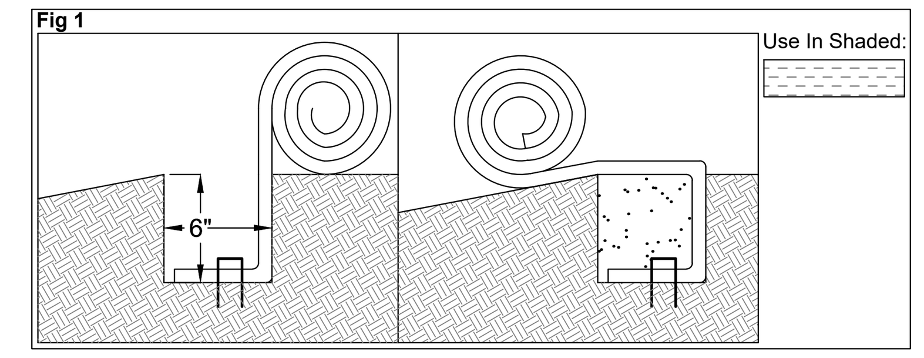


Fig 2

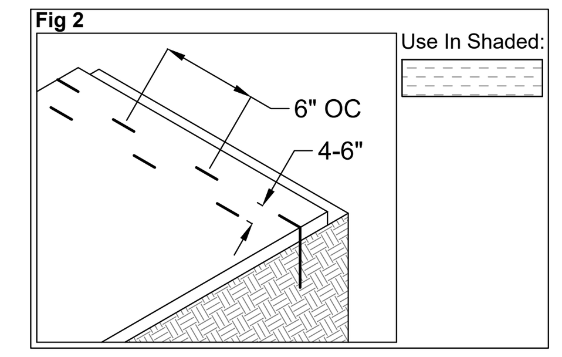


Fig 3

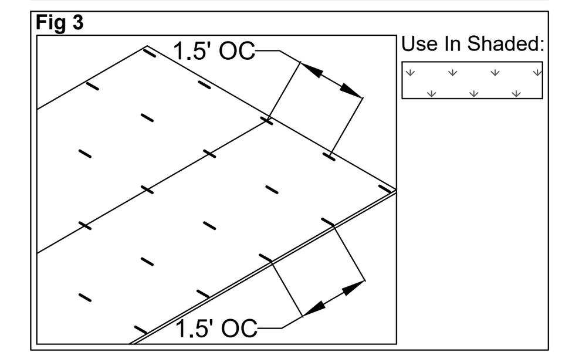
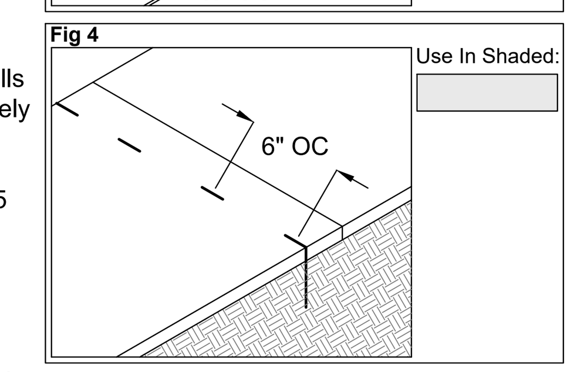


Fig 4



Installation Guidelines

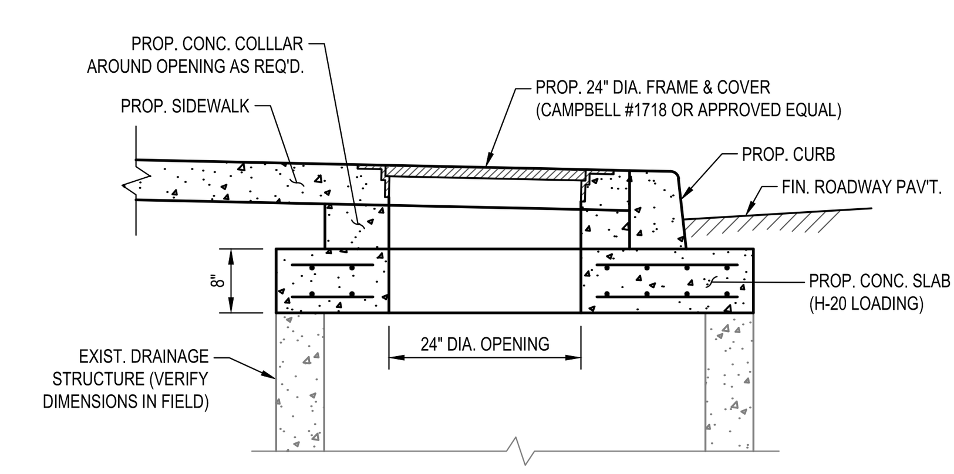
1. **Select appropriate anchors for matting based on soil type and consistency (See Recommended Anchors Table).**
2. **Prepare seedbed.**
   Prepare a smooth seedbed on the soil surface and eliminate any existing rills, soil clods, sticks or rocks larger than 2-inches in diameter.
3. **Apply seed and fertilizer.**
   Apply seed, fertilizer and other amendments at the specified rates, either by broadcasting, drilling or hydro-seeding.
4. **Position and anchor leading edge of mats at the top of, or over the shoulder of the slope** with one of the following acceptable methods:
   - 4.1. **6-inch Covered Anchor Trench (Figure 1)**
     Construct a 6-inch wide by 6-inch deep anchor trench across the top width of the slope. Position the leading edge of the mat (or side edge for horizontal installations) in the bottom of the trench, with the topside (simulated turf surface) facing down. Make sure mat roll is properly aligned with slope direction. Position any adjacent rolls according to Step 6, and anchor edges of all mats into bottom of trench on 1-foot centers. Backfill trench, compact soil and apply additional seed to compacted soil surface. Unroll material over compacted anchor trench (Fig 1).
   - 4.2. **Double Row Anchor Check (Figure 2)**
     Where trenching is not practical or desired, an anchor check mat be used alternatively to secure the leading edge of the mats. Position the leading edge of the mats (or side edges for horizontal installations) with the topside (simulated turf surface) facing up, ensuring that mat rolls are properly aligned with slope direction. Position any adjacent rolls according to Step 6. Secure leading edges of mats with a row of anchors spaced 6-inches apart, with a second staggered row of anchors spaced 6-inches apart, approximately 4 - 6-inches behind the first row (Fig 2).
5. **Anchor mat body. (Figure 3)**
   Unroll material down (vertically) or across (horizontally) the slope face, slightly stretch and relax mat to remove any wrinkles. Let unrolled mats rest in sunlight for a minimum of 15 minutes to normalize surface temperature before anchoring. Fasten with anchors on 1.5-foot centers, according to Fig 3. Use additional anchors as necessary to smooth any remaining wrinkles and ensure that mat is in intimate contact with the underlying soil surface.
6. **Seam adjacent rolls. (Figure 3)**
   Butt roll edges together and anchor on 1.5-foot centers (Fig 3). A small gap of less than 1/2-inch at the seam between rolls is acceptable and will not affect performance.
7. **Seam consecutive roll ends (vertical roll installations only). (Figure 4)**
   Butt together (no overlap) consecutive roll ends and securely fasten leading edge of downslope rolls with a Single Row Anchor Check, by installing a single row of anchors spaced 6-inches apart across the mat width (Fig 4).

Additional Tips for Fast & Effective Installation

- Install mat with simulated turf on top and fabric backing against soil surface.
- For best vegetative results, do not install on top of any additional erosion control blanket, TRM, or fabric.
- Continuous fabric contact with the underlying soil surface is very important for effective product performance. Unroll mat and let rest in sunlight for a minimum of 15 minutes to normalize surface temperature before anchoring the mat body. Work out any wrinkles in material before anchoring. If there are areas where some wrinkles remain, additional anchors may be necessary to ensure good fabric-to-soil contact.
- In bends or reaches that are not straight, miter cut roll joints to prevent wrinkles in material.
- Use a heavy duty utility knife or commercial-grade shears to cut material as necessary.
- When seaming cut roll ends or edges, DO NOT OVERLAP. Simply butt together cut ends or edges and seam together with a single row of anchors spaced 6-inches apart.

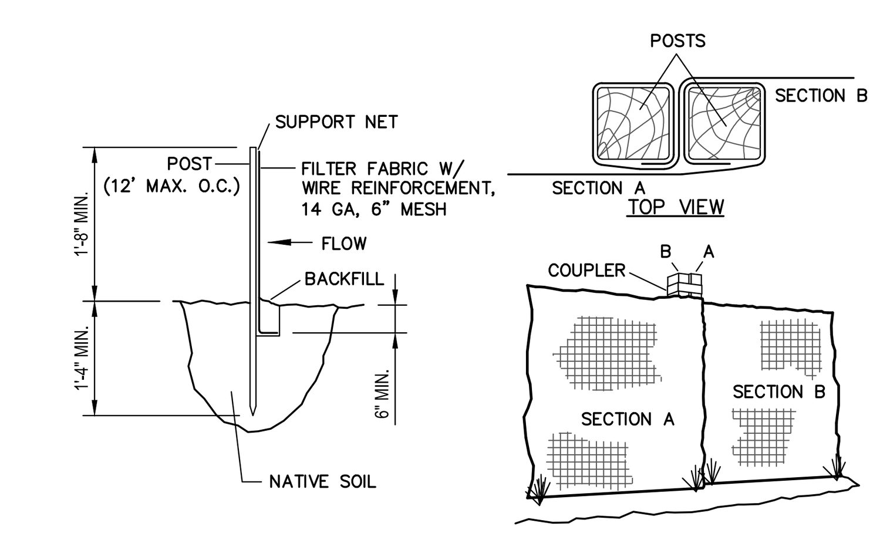
TURF REINFORCEMENT MAT

N.T.S.



ACCESS MANHOLE & CONCRETE SLAB

N.T.S.

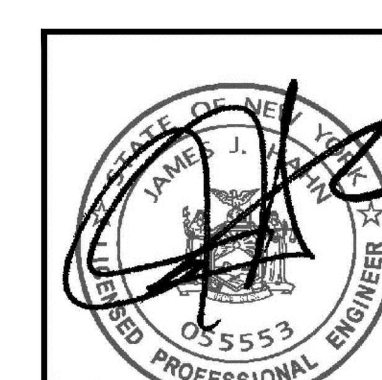


INSTALLATION NOTES

1. EXCAVATE A 4"W x 6"D TRENCH ALONG THE LOWER PERIMETER OF THE SITE.
2. UNROLL A SECTION AT A TIME AND POSITION THE POSTS AGAINST THE BACK (DOWN–STREAM) WALL OF THE TRENCH (NET SIDE AWAY FROM THE DIRECTION OF FLOW).
3. DRIVE THE POST INTO THE GROUND UNTIL THE NETTING IS APPROXIMATELY 2 INCHES FROM THE TRENCH BOTTOM.
4. LAY THE TOE–IN FLAP OF FABRIC ONTO THE UNDISTURBED BOTTOM OF THE TRENCH, BACKFILL THE TRENCH AND TAMP THE SOIL. STEEPER SLOPES REQUIRE AN INTERCEPT TRENCH.
5. JOIN SECTIONS AS SHOWN ABOVE.

SILT FENCE

N.T.S.



REV.	DATE	DESCRIPTION

TITLE: **DETAILS**

PROJECT: **PROPOSED HEATHERDELL ROAD SIDEWALK IMPROVEMENT & GUIDE RAIL PROJECT**

VILLAGE OF ARDSLEY, WESTCHESTER COUNTY, NEW YORK

JAMES J. HAHN ENGINEERING, P.C.
Putnam Business Park
1689 Route 22
Brewster, New York 10509
Tel: (845) 279-2220

SCALE	DATE
AS NOTED	3/16/20
DRAWING NO.	**SHEET NO.**
C-6	6 OF 6